



AGENDA
ZONING BOARD OF APPEALS
Buechner Room, 1st Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
Arlington Heights IL 60005
September 16, 2025
7:00 PM

- I. CALL TO ORDER
- II. ROLL CALL OF MEMBERS
- III. APPROVAL OF MINUTES
 - A. Minutes - 8/11/25
 - B. 1015 N. Forrest Ave. - Findings 8/11/25
 - C. 401 N. Pine Ave. - Findings 8/11/25
 - D. 604 W. Techny Rd. - Findings 8/11/25
- IV. OLD BUSINESS
- V. NEW BUSINESS
 - A. 805 S. Walnut Ave. - ZBA5-019
 - B. 613 S. Bristol Ln. - ZBA25-025
 - C. 608 N. Dunton Ave. - ZBA25-027
 - D. 406 N. Beverly Ln. - ZBA25-028
 - E. 814 S. Fernandez Ave. - ZBA25-029
 - F. 1002 N. Chestnut Ave. - ZBA25-030
- VI. OTHER BUSINESS
- VII. PUBLIC COMMENT

Anyone wishing to speak on a subject not on the Agenda may speak at this time. Please limit your comments to three minutes.

- VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact the Health &

*Human Services Department, at 33 S. Arlington Heights Road, Arlington Heights, IL 60005,
healthmail@vah.com or 847/368-5760.*

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 1015 NORTH FORREST AVENUE - ZBA #25-023

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 11th day of August, 2025 at the hour of
7:00 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairperson
TOM DRAKE
JEFFREY LANAGHAN
FRANK PORTERA

ALSO PRESENT:

DAN OSOBA, Planner I
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: All right, so I'd like to call to order the Zoning Board of Appeals meeting for Monday, August 11th, 2025 and do roll call.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Here.

MR. OSOBA: Mr. Selbka.

(No response.)

MR. OSOBA: Mr. O'Connor.

(No response.)

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. OSOBA: Mr. Siavelis.

(No response.)

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Here.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Here.

Here for the Zoning meeting?

AUDIENCE MEMBER: No, Committee of the Whole.

CHAIRPERSON JAFFE: Second floor?

MR. OSOBA: Third floor.

CHAIRPERSON JAFFE: Third floor.

AUDIENCE MEMBER: Thanks.

CHAIRPERSON JAFFE: All right, let's proceed with the Pledge of Allegiance.

Everyone face the flag in the rear of the room.

(Pledge of Allegiance recited.)

CHAIRPERSON JAFFE: All right, next we need to approve the minutes from last month's meeting.

Has everyone had an opportunity to review the minutes and did they find any errors?

(No response.)

COMMISSIONER LANAGHAN: I was not there, I'll abstain.

CHAIRPERSON JAFFE: Got it.

All right, nothing being called out, is there a motion to approve the minutes?

COMMISSIONER DRAKE: Motion to approve.

COMMISSIONER PORTERA: Second.

CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: Okay, next, I'm going to go over the hearing procedures for the audience.

So, first, quorum in voting. If less than six members are present, option the petitioners to continue meeting. It takes four affirmative votes to approve a variance regardless of the number of Board members in attendance. If denied a petitioner cannot reapply for a whole year. So, folks, tonight you've got to go four for four; otherwise, you can petition for a continuance.

The variation hardship. So, the forms that you all filled out have been submitted in packets to this Board that has reviewed them. But you're effectively asking for an exception, so we want to understand your logic and reasoning and justification. So, you're going to have to explain four elements necessary for this Board to be able to grant that variation:

1. That the proposed use will not alter the essential character of the locality and be compatible with the existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances which may include the length of time the subject property has been vacant as zoned;
3. That the proposed variation is in harmony with the spirit and intent of this Chapter; and
4. That the variation requested is the minimum variation necessary to allow reasonable use of the property.

A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated. So, again, we've read them, but our expectation is that you walk us through your logic and reasoning and justification.

The Chairperson will open the agenda item and provide introductory remarks; it then will be followed by a Staff presentation which is a brief overview of the project and the variance request. The applicant will then have the opportunity to present its case in favor of zoning relief by way of documents or testimony. The applicants and any witnesses testifying must be sworn under oath and must state and spell their respective names for the record.

Public comment. Members of the public may speak on the application. Speakers must be sworn under oath and state and spell their name clearly. Anyone who has formally registered in advance of the hearing as an objector shall be permitted to speak first.

We do not have any formal objectors tonight?

MR. OSOBA: No.

CHAIRPERSON JAFFE: Okay, so then I'll just skip to the end. Public comment, you can all see on the agenda there is public comment. So, if you speak on petitions, we ask that you speak to that petition. If you have general commentary about the Village or anything else for that matter, there is a separate time in the agenda at the end of the meeting for you to do that.

Once the applicant has made their closing statement, they can present any follow-up testimony or evidence. The Board will then deliberate and make a motion to close public testimony. We will deliberate and vote on the matter. All ZBA final decisions must be in writing. If the agenda packet does not include a draft final order that is acceptable to the ZBA, the substantive motion should be to direct Staff to prepare an appropriate final order for approval at a subsequent meeting.

With that, we'll proceed directly to new business, which is Agenda Item A. 1015 North Forrest Avenue, ZBA Case #25-023.

Is the Petitioner present?

MR. PEART: All right, good morning, everyone.

CHAIRPERSON JAFFE: State your name and address for the record.

MR. PEART: Yes. Jordan Peart, 1015 North Forrest Avenue.

(Witness sworn.)

MR. OSOBA: The subject property, 1015 North Forrest Avenue, is zoned R-3 Residential Single-Family District. The Petitioner is proposing to allow a gravel driveway to the rear of the home. A new home is currently under construction on the site and the gravel drive will connect the rear garage and provide required access to North Forrest Avenue. Driveways are required to be constructed of asphalt or concrete. Green infrastructure applications may be

utilized in lieu of concrete or asphalt surfaces but are subject to Village Engineer approval.

Therefore, the Petitioner is requesting the following variation:

- A variation from Chapter 28, Section 10.2-11(1)(a) to allow gravel driveway surface where concrete or asphalt is required.

MR. PEART: So, we are here today to really ask for a variance to offer a more environmentally friendly and backyard friendly approach to connecting the detached and attached part of our garages. So, given our rear detached garage is going to see very limited vehicle use, it's really primarily going to be used for access for a golf cart and some outdoor equipment. So, there will be no daily parking or pass through traffic in that rear backyard.

We feel a full asphalt or concrete solution would be unnecessary from an impervious surface perspective. It will kind of disrupt our backyard and the green space that we're hoping for. There's potential increase for water runoff. So, really, our proposed option, I know we submitted a variance to have gravel, that was just because we knew there was code to have either asphalt or concrete.

We do have two solutions. Our main one, which is preferred, is to keep that area between the two garages as grass. So, this provides required access while still maintaining green space and maximizing infiltration, water absorption. We've also spoken to our neighbor who has kindly joined us as well, and he's in support of the variance and would be open to the green area as well.

So, that is our --

(Audience member spoke out.)

CHAIRPERSON JAFFE: Sir, you're out of order. We'll wait, thank you.

MR. PEART: Okay, so if the Board feels that a permanent surface is necessary, we are prepared to work with the Village and the engineer. I know they mentioned in the notes a green infrastructure surface, so we would definitely like to work with you if our first approach or preferred option is not doable. You know, in all cases, you know, we're really trying to seek balance between the functional requirement of having that detached garage and access, you know, the Village's stormwater objectives, and also just preserve the character of our backyard. So, thank you.

CHAIRPERSON JAFFE: So, on the green, what's the term?

MR. PEART: Green infrastructure.

CHAIRPERSON JAFFE: I know Dan, you and I exchanged notes about this. So, sir, you said one of your options would be just leaving it as grass?

MR. PEART: Correct, no connection point between the attached garage and the detached.

CHAIRPERSON JAFFE: So, if they were to apply for this, Engineering would still have some discretion over what they would approve? It could be grass, it could be permeable pavers, it could be a number of different materials, correct?

MR. OSOBA: Green infrastructure would require some level of service. Just having grass surface would be a separate variation request to a separate section because access is required to all driveways, or all garages, excuse me, and that driveway surface has to be a type of green infrastructure application, concrete or asphalt. That green infrastructure is relatively open but that can be up to the interpretation of the Village engineer in terms of what type it is. But it would not be, under the current variation request, just grass. It would have to be a separate request.

CHAIRPERSON JAFFE: So, you don't want to do asphalt or concrete. If gravel

and grass doesn't work, what else are you open to?

MR. PEART: So, we're open to either, ideally the grass, if that's a no go, we're open to whatever the engineer's comments around green infrastructure, whether that's geotextiles, permeable pavers or whatnot, whatever would work. That was the first time I'm hearing that term.

So, we've come up with a solution. We just are trying to avoid having, you know, impervious, solid asphalt or concrete driveway just because there's not going to be traffic, we think it's disrupting our backyard, right? So, we're not intending to send cars back there to and from. So, really a golf cart which, you know, I don't think maybe an asphalt or concrete makes sense.

CHAIRPERSON JAFFE: Other questions?

COMMISSIONER LANAGHAN: So, the obvious one to me is then do you need to keep that rear garage? You said you're putting a golf cart back there. It seems like you're building a brand new house, correct?

MR. PEART: Yes.

COMMISSIONER LANAGHAN: You probably tore down the other one.

MR. PEART: Correct.

COMMISSIONER LANAGHAN: But you left this one back there which requires some sort of access up to the front?

MR. PEART: Yes, we thought it was a unique feature when we won the home and we thought, you know, it's a nice additional square footage. We heard about the previous owners and how they utilized it. We thought it was a cool feature, somewhat rare and wanted to maintain that. We did find that it was approved by the Village. Obviously, it's somewhat, I don't know if out of code is the right terminology, but it's larger than usual, but yes, we bought the property with the intent to keep it and would like to.

COMMISSIONER LANAGHAN: Okay, that makes sense. I'm not sure I completely buy that the asphalt, gravel, whatever, you know, to me those are both going to be visually disruptive to your backyard if you're trying to keep it green. I don't think Engineering is going to approve, and I couldn't support just a grass because of, again, that would be a completely different variance. I think doing some sort of green infrastructure, be it in pervious pavers, I'm sure there are some various things that the engineer could work with you on. I know I've seen some where, you know, grass grows up through it. It doesn't look so much, but you can --

MR. PEART: Yes, I've seen these plastic like grid systems.

COMMISSIONER LANAGHAN: Yes.

MR. PEART: You can even fill it in with gravel, and that's what, I want to make sure it was clear, it would be, you know, if green wasn't approved, it would be decorative gravel, like crushed blue. Something nice. We just don't want this heavy concrete surface that's connecting the two.

COMMISSIONER LANAGHAN: Yes.

MR. PEART: So, we want a low profile to kind of blend in with the surrounding area --

COMMISSIONER LANAGHAN: Got you.

MR. PEART: -- and if we had to go through a separate variance process, I know we submitted for the gravel, but we'd be open to doing that as well.

COMMISSIONER LANAGHAN: Yes, okay.

CHAIRPERSON JAFFE: So, Dan, if the Petitioner is willing to submit the

application for the green infrastructure request, is that still a request for a variance or is that just part of his normal process for having that material installed?

MR. OSOBA: That would be part of the normal permit process, so he would be submitting a building permit showing the specifications for the green infrastructure and the Village engineer would review that. Based on the review that the Engineering Department did for this application, they would be open to green infrastructure options rather than gravel, but it would still certainly have to be something that would be reviewed by the Village engineer. If he chose to do a green infrastructure option, a variance would not be required because it's allowed by code if the Village engineer approves it.

CHAIRPERSON JAFFE: So, based on everything you're hearing --

MR. PEART: Yes, I'm getting whispers from my wife.

CHAIRPERSON JAFFE: Are you willing to go the route of submitting a request with the Village for a green infrastructure project?

MR. PEART: Yes, if that was our only option. That was definitely something we'd want to work with the Village to accomplish, if we're ruling out gravel all together and trying to avoid the asphalt and concrete, yes.

CHAIRPERSON JAFFE: So, from the order of -- or I'm sorry, did you want to say something?

MRS. PEART: He's my husband.

CHAIRPERSON JAFFE: Okay, I'm sorry, we have a process here.

MRS. PEART: Sorry, thank you. My name is Tori, Jordan's wife. Thank you all for listening to us.

CHAIRPERSON JAFFE: Please state your name and address for the record.

MRS. PEART: Tori Peart, 1015 North Forrest Avenue. So, just to clarify, you're saying we cannot do the gravel driveway even if we have the infrastructure material below the gravel driveway that essentially is what the engineer said?

MR. PEART: Because we've seen the green infrastructure, whether it's the grid system, and then you fill it in with gravel to make it be green. So, that's where we just want to be clear.

MRS. PEART: We just want to understand what our options are before we're promising we want to go the green route.

CHAIRPERSON JAFFE: I think what we're saying, and we haven't gotten to deliberation yet, but if you're kind of sensing the line of questioning, Engineering is saying code is asphalt or concrete.

MR. PEART: Yes.

MRS. PEART: Right.

CHAIRPERSON JAFFE: You didn't want to do asphalt or concrete, so you're requesting gravel. Engineering is not supportive of gravel. My sense from the Board, myself included, is given those comments and given this is brand new construction, we're not seeing the hardship so we would not support your request for gravel. Where we're going here is we're trying to strike a deal where if a green infrastructure project is something that you would be amenable to, it sounds like the Engineering Department is also willing to entertain that.

MRS. PEART: Right.

CHAIRPERSON JAFFE: So, you can, now what the actual materials are and what it looks like, I don't think we can confirm or guarantee what they would look like, but --

MRS. PEART: Right, right.

CHAIRPERSON JAFFE: -- all we can confirm or guarantee is if it's not going to be asphalt or concrete, it's not going to be gravel.

MRS. PEART: Right.

CHAIRPERSON JAFFE: So, it's going to be something and it can't be grass.

MRS. PEART: Right. So, your second part of that was do we need to move forward to get, or how do we proceed in the event it's none of those three things?

CHAIRPERSON JAFFE: So, if you're saying that you're open to doing the request for the green infrastructure project, that would not require a variance. So, I think there was somebody in the audience who might want to speak, so I would permit public comment. But at that point, I think we'd just --

MR. OSOBA: Withdraw it.

CHAIRPERSON JAFFE: Yes, because we're not approving or denying because they're no longer requesting a variance.

MR. OSOBA: We could either approve or we could withdraw the application and not move forward with the variance if you were going to go through the green infrastructure route. The other alternative and maybe a more flexible alternative would be to continue it to the next meeting, and then if we decide to go to the green infrastructure route and you submit plans to the Village engineer to get the rubber stamp of yes, this is good to go, then we can say that the application is withdrawn and not needed to be continued to the engineer.

Does that make sense?

COMMISSIONER DRAKE: So, we would approve in that scenario an extension?

MR. OSOBA: You would continue it to the next meeting.

COMMISSIONER DRAKE: A continuance.

MR. OSOBA: And if it's required, if, you know, the green infrastructure option is not something the Village engineer, or you're working with continuously, it's not something that's working out, then you can come back and particularly request the gravel again unless that's not something that you want to do all together and you may withdraw your application then. So, it's ultimately kind of what you want to do now.

MR. PEART: Okay.

MRS. PEART: Thank you.

MR. PEART: Yes, we'd like to pursue the green infrastructure and just work with the Village or the engineer to come up with a solution that works for both parties.

CHAIRPERSON JAFFE: So, then we would withdraw.

MR. OSOBA: Yes.

CHAIRPERSON JAFFE: Right? So, just because I know there was somebody here who did want to speak.

MR. PEART: Yes.

CHAIRPERSON JAFFE: So, why don't you have a seat?

MR. PEART: Okay.

CHAIRPERSON JAFFE: And then we'll hear public comment, and then as part of our deliberation, we can agree to just dismiss it, correct?

MR. OSOBA: Correct. A variation wouldn't be required based on the Petitioner's testimony of what they would like to pursue.

CHAIRPERSON JAFFE: Okay, so you can have a seat. The gentleman, I'll ask if he wants to speak, and you will then have the opportunity to rebut anything he says, and then we'll move on.

MR. PEART: Okay, sounds good. Thank you.

MRS. PEART: Thank you.

CHAIRPERSON JAFFE: Sir, did you want to speak?

MR. STEVENS: Yes, sir.

CHAIRPERSON JAFFE: Okay, you've got to come up to the front.

MR. STEVENS: No problem. Hello, gentlemen and ladies.

CHAIRPERSON JAFFE: Please state your name.

MR. STEVENS: My name is Leroy Stevens. I live at 1011 North Forrest. I'm the guy to the south of the project here. My north property line abuts their south property line.

The garage we're talking about is probably 25 feet wide by maybe 50 feet deep. It's two stories. On the bottom, you can park four cars. On top, you've got equal amount with a staircase up there. The former owners were in the construction business. They had a couple of vans; they had a couple of other things. That's then, this is now.

Whatever use they want to put it to doesn't really bother me. I'm not so much concerned whether it's asphalt, concrete or gravel as I am the elevation, and this has nothing to do with this hearing today. It really has nothing with elevations. That's going to be the Engineering Department.

I think if they want to do what they want to do, they have to get this Board to grant their variance so that they don't have to have concrete or asphalt. Then I think the ball would shift to Engineering to come up with what would be an appropriate material to put in there other than concrete or asphalt. I think that's how it works. So, if they wanted to explore other green ways, I think they and the Board would probably be better off just continuing it for a week or two or four so they could huddle with Engineering and see what Engineering would go with.

So, I'm not against gravel, but I think there's probably better ways. Again, whatever it is, it's got to be the right way. They can't shift their water to my lot and I don't think that's what they're trying to do. Thank you.

CHAIRPERSON JAFFE: Thank you.

COMMISSIONER LANAGHAN: Thank you.

CHAIRPERSON JAFFE: Did you want to respond to that? You don't have to. If you'd like to, you can. If you don't want to, you don't have to.

MR. PEART: No, I just want to say thank you to Mr. Stevens.

MR. STEVENS: No problem.

CHAIRPERSON JAFFE: All right, so is there anybody else who would like to comment on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, we'll close it down for deliberation.

So, it sounds like where we left things and based on the input from the Petitioner, they want to go the route of submitting the request for the green infrastructure project which would not require a variance. So, we could effectively offer them the opportunity to withdraw or dismiss the request for variance.

COMMISSIONER LANAGHAN: I think I heard from Dan that continuance might be the most flexible for them so they could chat with Engineering, and if they come up with a solution in the next month, great. If they don't, come back here or whatever or, you know, they could withdraw at that point in time.

CHAIRPERSON JAFFE: I thought I heard the Petitioner say that they wanted to go with the --

COMMISSIONER LANAGHAN: Which is fine. I'm happy to withdraw and not worry about it anymore. That's fine, too.

CHAIRPERSON JAFFE: So, I know we're closed for deliberation, but just to make sure the Board heard you correctly, if you could come back up? Are you going with option one or option two? Option one being you submit the request, you don't request a continuance, you withdraw the variance and you're basically free to go, or you're saying for option two, you'd like to request a continuance so you can have those discussions and come back before this Board at a future date which, Dan, do we know at this point when that would be?

MR. OSOBA: September 8th.

CHAIRPERSON JAFFE: Okay, to explore the green infrastructure options, that's option two.

MR. OSOBA: Well, option two would be to explore further variances if needed. If green infrastructure applications were submitted to the Village engineer and not amenable and that's not something that would work, then you could submit your variance again to the Board to do a different surface that does not comply with code such as gravel or other surfaces that may not need Engineering stamps.

COMMISSIONER LANAGHAN: For my own clarification, if they withdraw, they're not subject to the one-year penalty. They could apply for a different variance or the same variance later?

MR. OSOBA: That is correct, yes.

MR. PEART: So, it sounds like withdrawing and then just working with the Village engineer to explore a green solution is the route we'd like to go. Thank you.

CHAIRPERSON JAFFE: You're welcome. So, thank you, everybody, for that clarification. So, that being said --

COMMISSIONER LANAGHAN: Do we need a vote or anything for them to withdraw?

MR. OSOBA: It would be a vote to dismiss the variance request as it's not needed.

CHAIRPERSON JAFFE: Before I ask if there's a motion, does anybody else have any comments they want to make and put on the record?

(No response.)

CHAIRPERSON JAFFE: Okay, is there a motion to dismiss the request for the variance?

COMMISSIONER DRAKE: I move that we allow the Petitioner to just dismiss or remove this petition.

COMMISSIONER LANAGHAN: Second.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

MR. PEART: Thank you.

MRS. PEART: Thank you.

CHAIRPERSON JAFFE: Have a good night.

COMMISSIONER LANAGHAN: Best of luck.
(Whereupon, the public hearing on the above-mentioned
petition was adjourned at 7:23 p.m.)

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 401 NORTH PINE AVENUE - ZBA #25-024

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 11th day of August, 2025 at the hour of
7:23 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairperson
TOM DRAKE
JEFFREY LANAGHAN
FRANK PORTERA

ALSO PRESENT:

DAN OSOBA, Planner I
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: Okay, Agenda Item B. 401 North Pine Avenue, ZBA

Petition #25-024.

MR. PURDOM: Hello.

CHAIRPERSON JAFFE: Hello. State your name and address for the record.

MR. PURDOM: I'm Kevin Purdom with 401 North Pine Avenue.

(Witness sworn.)

MR. OSOBA: The property at 401 North Pine Avenue is zoned R-3 Residential Single-Family District. The Petitioner is proposing to construct a second-story addition in the rear of the existing single-family dwelling along with a deck and a pergola located in the side and rear yard. The existing home is set back 4.06 feet from the interior side yard where a minimum side setback is 6.6 feet. The Petitioner is proposing to maintain this nonconforming setback for the second-story addition. The proposed deck is also encroaching into the required 6.6-foot side setback and maintaining that same nonconforming setback as the existing home and building addition at 4.06 feet. The pergola, which is considered an accessory structure, may only be located in the rear of the property and is partially proposed within the side yard.

Therefore, the Petitioner is requesting the following variations:

- A 2.54-foot variation from Chapter 28, Section 5.1-3.3(b) to allow a second-story addition with a side yard setback of 4.06 feet instead of the required 6.6-foot minimum, and an additional two feet for the eave;
- A 2.54-foot variation from Chapter 28, Section 6.6-5.1 to allow a deck to encroach in the required side yard with a side setback of 4.06 feet instead of the required 6.6-foot minimum; and
- A variation from Chapter 28, Section 6.5-2 to allow a portion of a pergola in the side yard where accessory structures are only permitted in the rear yard.

MR. PURDOM: All right, so my clients just bought the house five months ago and they're looking to do some work before they move in. It's just the husband and wife who live there. They really love the character of the house and were deciding to do a dormer addition to the back of the house, adding a new deck where the patio is, and then a pergola that comes out to protect the window and the door.

All we're asking for is to build in line with the existing house both the deck, the pergola, and the second story where it goes into the existing nonconforming setback. All other codes are met. We think that it's, we actually tried pushing it in to three feet for where it would be on the side and it completely kills the deck. It looks a little weird. You have all that wasted space before the landscaping that's right on the side.

It just actually makes more sense to do it in line. It looks better and I think it's a reasonable ask, and I believe that's it.

COMMISSIONER LANAGHAN: You said the existing deck is on top of an existing patio; is that correct?

MR. PURDOM: There's an existing patio that's going to be removed.

COMMISSIONER LANAGHAN: So, it's staying on the same spot, that you're not enlarging it?

MR. PURDOM: Right, but since it's a patio, it can be in that side setback, but --

COMMISSIONER LANAGHAN: Got you.

MR. PURDOM: -- the deck or the pergola cannot be.

COMMISSIONER LANAGHAN: Got you, okay.

CHAIRPERSON JAFFE: Do you know the approximate age of the house?

MR. PURDOM: Pre-50's I believe. So, it's an older house with a lot of character

and they wanted to preserve that.

CHAIRPERSON JAFFE: Do you know if the property owners talked to any of the neighbors about the project? And, if so --

MR. PURDOM: They haven't heard anything. Since they just moved in, they aren't living in it full time yet. They're still moving back and forth. But they haven't heard anything negative or positive. They've seen a bunch of people look at the sign. but no one has come out to say anything.

CHAIRPERSON JAFFE: Tom or Frank?

COMMISSIONER PORTERA: You confirm the two existing non-conforming, I guess characteristics of the house, that those variances are existing non-conforming; is that right?

MR. PURDOM: Yes. Actually, all three are. It's the deck, the pergola, and the second story which goes to the existing building line.

COMMISSIONER PORTERA: And it's on a corner lot, too.

MR. PURDOM: Yes, correct.

COMMISSIONER PORTERA: That's all I have.

CHAIRPERSON JAFFE: Jeff, anything else?

COMMISSIONER LANAGHAN: No. You know, we've seen similar stuff. I mean, you've got to stay more or less on top of the existing structure, so that makes all the sense in the world. I was asking about the deck just to make sure that it was on top of an existing type of structure so there's no other impact to what would have been there. It's already been there; they're just upgrading it basically.

CHAIRPERSON JAFFE: All right, thank you, Kevin.

Is there anybody in the audience who wishes to comment?

(No response.)

CHAIRPERSON JAFFE: Okay, we'll close it down for Board deliberation.

Jeff, did you want to start?

COMMISSIONER LANAGHAN: Yes, happy to. You know, corner side lots or corner lots always seem to be the ones we see the most of. They have the strangest setbacks and side yard configurations, and a lot of people consider them front yards or what have you. So, they're keeping it very much in line with what the original house was and what the original intent was. I love to see older houses get redone, so I think I'm definitely in favor of this one.

COMMISSIONER DRAKE: Yes, they satisfy all the requirements as far as I'm concerned. There was no push-back from the three Staff departments. So, I know where that property is, I think it's going to be a nice use, what they're trying to do.

COMMISSIONER PORTERA: Yes, I agree. Nothing further for me.

CHAIRPERSON JAFFE: Okay, is there a motion?

COMMISSIONER LANAGHAN: Move to approve the variances as submitted.

COMMISSIONER PORTERA: Second.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations.

MR. PURDOM: Thank you.

CHAIRPERSON JAFFE: Have a good night.

MR. PURDOM: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:29 p.m.)

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 604 WEST TECHY ROAD - ZBA #25-026

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 11th day of August, 2025 at the hour of
7:29 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairperson
TOM DRAKE
JEFFREY LANAGHAN
FRANK PORTERA

ALSO PRESENT:

DAN OSOBA, Planner I
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: Okay, next, Agenda Item C. 604 West Techy Road, ZBA Petition #25-026.

Hello.

MR. PADMANABHA: Hello, good evening, members of the Board. My name is Prakash Padmanabha. I'm the resident of 604 West Techy Road; I'm the owner of 604 West Techy Road.

Should I talk about the project?

(Witness sworn.)

MR. BOJIN: The property is zoned R-3 Residential Single-Family District, and the Petitioner is proposing to install a pergola in the side yard. Code prohibits accessory structures such as pergolas to be built in the side yard. Therefore, the Petitioner is requesting the following variation:

- A variation from Chapter 28, Section 6.5-2 to allow a pergola in the side yard where accessory structures are only permitted in the rear yard.

Thank you.

MR. PADMANABHA: All right, I'm here today to respectfully request a variation to install the pergola. This house was built probably in the 80's. It's a corner lot. As you can see, the entrance of the house is facing the Techy Road, and I do have a garage next to the house. So, the way they created and built the patio back in those days, it kind of, it's in the side yard, it's the corner of the side yard and the backyard.

I do have an existing patio there. I do have an outdoor couch there, so whenever it rains, I line up my three kids to move the sofas, like the cushions of the couches inside. So, I want to install a pergola just to, you know, protect the couch from the rain and the sun. So, that's my request, sir.

CHAIRPERSON JAFFE: I drove by your property, so that would be within the fenced area of your backyard?

MR. PADMANABHA: Within the fenced area, within the patio, right, the existing patio.

CHAIRPERSON JAFFE: Okay, any questions?

COMMISSIONER LANAGHAN: Just one for Staff, just for my own clarification. James Court would be their front yard; is that correct?

MR. BOJIN: Yes, that is correct.

COMMISSIONER LANAGHAN: Okay, yes, got you.

CHAIRPERSON JAFFE: Have you talked to any of your neighbors about the project?

MR. PADMANABHA: Yes, we did. No, no concerns.

CHAIRPERSON JAFFE: Okay, any other questions for the Petitioner?

(No response.)

CHAIRPERSON JAFFE: All right, thank you.

You can have a seat. I don't think there's anybody else here who wants to comment, so we'll close it down for deliberation.

Yes, after I read the paperwork, I wanted to see for myself so I actually took a ride by today and that was probably the only question I was going to have is, you know, confirming that it's within the fenced area of the backyard which I couldn't see that being a concern to anybody within the locality. Given it's not, and having to move various stuff in and out of the house every time it rains, I think this is a reasonable request.

COMMISSIONER PORTERA: Agree.

CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER DRAKE: I move that we approve this petition as presented.

COMMISSIONER PORTERA: Second.

MR. BOJIN: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. BOJIN: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. BOJIN: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. BOJIN: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations.

MR. PADMANABHA: Awesome. Thank you so much.

CHAIRPERSON JAFFE: You're welcome.

Do we have other business?

MR. OSOBA: Just a brief announcement. The Zoning Board of Appeals application form, the actual application form has been updated. It's going to be on the Village website within the next week. I'll also make a copy of it to everybody just so you have an updated application form. It just clarified a couple of things and just from a procedural perspective of what we expect of submittals so that we have a better idea of how many petitions we'll get next year.

CHAIRPERSON JAFFE: Okay, that's cool.

COMMISSIONER LANAGHAN: I like that idea.

CHAIRPERSON JAFFE: Yes.

MR. PADMANABHA: Are we through?

COMMISSIONER LANAGHAN: Yes, you are. Thank you so much. Good luck.

CHAIRPERSON JAFFE: Thank you.

All right, was that the only other item of other business?

MR. OSOBA: Yes.

CHAIRPERSON JAFFE: Public comment?

(No response.)

CHAIRPERSON JAFFE: Is there a motion to adjourn?

COMMISSIONER LANAGHAN: So moved.

COMMISSIONER DRAKE: Second.

CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: We're adjourned.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:33 p.m.)

STATE OF ILLINOIS)
) SS.
COUNTY OF KANE)

I, RON LeGRAND, SR., depose and say that
I am a digital court reporter doing business in the State of
Illinois; that I reported verbatim the foregoing proceedings and
that the foregoing is a true and correct transcript to the best of
my knowledge and ability.

RON LeGRAND, SR.

SUBSCRIBED AND SWORN TO
BEFORE ME THIS _____ DAY OF
_____, A.D. 2025.

NOTARY PUBLIC

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

AUGUST 11, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 1015 N. Forrest Ave. – Peart Residence

Applicant: Jordan & Victoria Peart

Zoning Relief Requested:

- A variation from Chapter 28, Section 10.2-11(1)(a) (Parking – In Yards) to allow gravel driveway surface where concrete or asphalt is required.

Date of Publication: 7/26/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Drake, Lanaghan, Portera

Having heard and considered the testimony and evidence at the public hearing of August 11, 2025, the ZBA makes the following findings of fact:

The Petitioner is proposing to allow a gravel driveway to the rear of the home, which extends from an attached garage to the existing detached garage structure at the rear of the property. A new home is currently under construction on the site and the gravel drive would connect the rear garage and provide required access to the N. Forrest Avenue right-of-way. Driveways are required to be constructed of concrete or asphalt. Green infrastructure applications may be utilized in lieu of concrete or asphalt surfaces subject to Village Engineer approval.

The Petitioner elected to withdraw ZBA Petition 25-023 at the public hearing and work with the Village on green infrastructure solutions.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- The proposed variation is in harmony with the spirit and intent of this Chapter; and
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any): Relief Not Granted; Petition Withdrawn

Reason for Determination:

Based on the information contained in the application and the testimony, evidence presented at the public hearing and the Petitioner's request to withdraw the petition during the public hearing, the ZBA voted to dismiss the petition resulting in the following vote:

4 ayes 0 nays 3 absent 0 abstain

Date: August 11, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

AUGUST 11, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 401 N. Pine Ave. – Colletti Residence

Applicant: Kevin Purdom – JRC Design Build

Zoning Relief Requested:

- A 2.54-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.06-feet instead of the required 6.6-foot minimum and an additional 2-feet for the eave.
- A 2.54-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a deck to encroach in the required side yard with a side setback of 4.06-feet instead of the required 6.6-foot minimum.
- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a portion of a pergola in the side yard where accessory structures are only permitted in the rear yard.

Date of Publication: 7/26/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Drake, Lanaghan, Portera

Having heard and considered the testimony and evidence at the public hearing of August 11, 2025, the ZBA makes the following findings of fact:

The Petitioner is proposing to construct a second-story addition in the rear of the existing single-family dwelling along with a deck and pergola located in the side and rear yard. The existing home is setback 4.06-feet from the interior side yard where a minimum side yard setback of 6.6-feet is required. The Petitioner is proposing to maintain this non-conforming setback for the second-story addition. The proposed deck is also encroaching into the required 6.6-foot setback and maintaining the same non-conforming setback as the existing home and building addition at 4.06-feet. The pergola, which is considered an accessory structure, may only be located in the rear of the property and is partially proposed within the required side yard.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 2.54-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.06-feet instead of the required 6.6-foot minimum and an additional 2-feet for the eave.
- A 2.54-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a deck to encroach in the required side yard with a side setback of 4.06-feet instead of the required 6.6-foot minimum.
- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a portion of a pergola in the side yard where accessory structures are only permitted in the rear yard.

Reason for Determination:

The Petitioner testified as to the hardship, existing conditions of the subject property, and similar improvements in the surrounding neighborhood. The Zoning Board commented that the variance is minimal, the existing conditions are being maintained and there are no issues from adjacent property owners.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

4 ayes 0 nays 3 absent 0 abstain

Date: August 11, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS
ZONING BOARD OF APPEALS
PUBLIC HEARING
AUGUST 11, 2025
FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 604 W. Techny Rd. – Padmanabha Residence

Applicant: Prakash Padmanabha

Zoning Relief Requested:

- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a pergola in the side yard where accessory structures are only permitted in the rear yard.

Date of Publication: 7/26/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Drake, Lanaghan, Portera

Having heard and considered the testimony and evidence at the public hearing of August 11, 2025, the ZBA makes the following **findings of fact**:

The property is zoned R-3 and has a total land area of 15,008 square feet. The petitioner is proposing to construct a front yard porch that is 36 feet and one-half inch wide, and 6.5 feet deep. This addition would have a front yard setback of 34.26 feet where 39.23 feet is required.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- The proposed variation is in harmony with the spirit and intent of this Chapter; and
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a pergola in the side yard where accessory structures are only permitted in the rear yard.

Reason for Determination:

The petitioner testified that the existing footprint of the house made it impractical to install the pergola in the rear yard. The Zoning Board commented that the variance is consistent with the character of the neighborhood and would be the minimum necessary to allow reasonable use of the side yard.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

4 ayes 0 nays 3 absent 0 abstain

Date: August 11, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
9/16/2025**

Item: 805 S. Walnut Ave. - ZBA5-019
Department: Planning & Community Development

Item Description:

REQUEST

A 3.02-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 2.98-feet instead of the required 6.0-foot minimum and an additional 1.0-foot for the eave.

ATTACHMENTS:

1. Exhibits_805 S Walnut Ave

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: September 16, 2025
Date Prepared: September 9, 2025
Project Title: Kroes Residence
Address: 805 S. Walnut Ave.

Background Information

Petition Number: ZBA #25-019
Petitioner: Brian & Carrie Kroes
Address: 805 S. Walnut Ave.
Arlington Heights IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The petitioner is proposing a second-story addition above the existing attached garage adjacent to the south side of the property. The existing home is setback 2.98-feet from the interior (south) side yard where a minimum side yard setback of 6.0-feet is required. The petitioner is proposing to maintain this non-conforming side setback from the second-story addition. Therefore, the petitioner is requesting the following variation:

- A 3.02-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 2.98-feet instead of the required 6.0-foot minimum and an additional 1.0-foot for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/29/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/29/25	
3. Letter that was Mailed	✓	8/29/25	
4. Photographs of Sign on Property	✓	8/29/25	

Photographs of Existing Structure





NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Tuesday, September 16, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 3.02-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 2.98-feet instead of the required 6.0-foot minimum and an additional 1.0-foot for the eave.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning-mail@yah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 113 (except the North 15 feet thereof) and the North 25 feet of Lot 112 in Fairview, being a subdivision of part of the southeast quarter of Section 31, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois. Commonly known as: 805 S. Walnut Avenue, Arlington Heights IL 60005

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language Interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@yah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Aug. 30, 2025 (303673)

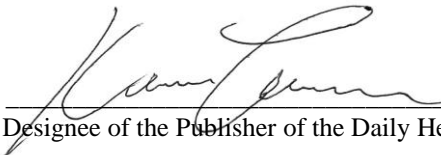
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 08/30/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY  _____
Designee of the Publisher of the Daily Herald

Control # 303673



Village of Arlington Heights



To: Brian & Carrie Kroes
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-019
Project: 805 S. Walnut Avenue
Date: September 10, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the variance to Chapter 28, 5.1-3.3(b) to allow a second story addition with a side yard setback of 2.98-feet instead of the required 6.0-foot minimum and an additional 1.0-foot for the eave. If you have any questions, please contact dosoba@vah.com:

Planning and Community Development

1. The proposed addition is nicely designed to fit with the existing house and surrounding context. This project is favorable for an administrative (Staff) design approval, pending the outcome of the ZBA review.

Building and Life Safety

1. Approved with Note: 1. A 1-hour fire-resistance rating is required for the exterior wall, as the fire separation distance is less than 5 feet.

Engineering

1. No comments.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Carrie & Brian Kroes

being the owner of the property commonly known as: 805 S. Walnut

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section _____

Chapter 28, of the Arlington Heights Municipal Code, in order to: obtain a variance
for side yard set back

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): We would
add an addition above garage for additional bedroom
& bathroom, furthering the value of the property.

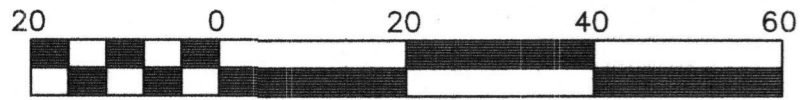
I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): We lived in our home for ten
years, growing our family & will upgrade the home
to meet the needs of our family & the surrounding homes.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): _____
This addition will improve the property & meet the
same standards as neighboring properties.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): By allowing the requested variance, we
can add an additional bedroom for our growing
family.

Signed: Carrie Kroes
Petitioner

Date: 6/4/25



Scale 1" = 20'

T.K.D. Land Surveyors, Inc.

P.O. BOX 1463, Arlington Heights, IL 60006
 Phone: (847) 702-1845 Fax: (847)429-1608
 tkdlandsurveyors@att.net

SOUTH LINE OF MAPLE STREET

PLAT OF SURVEY
OF

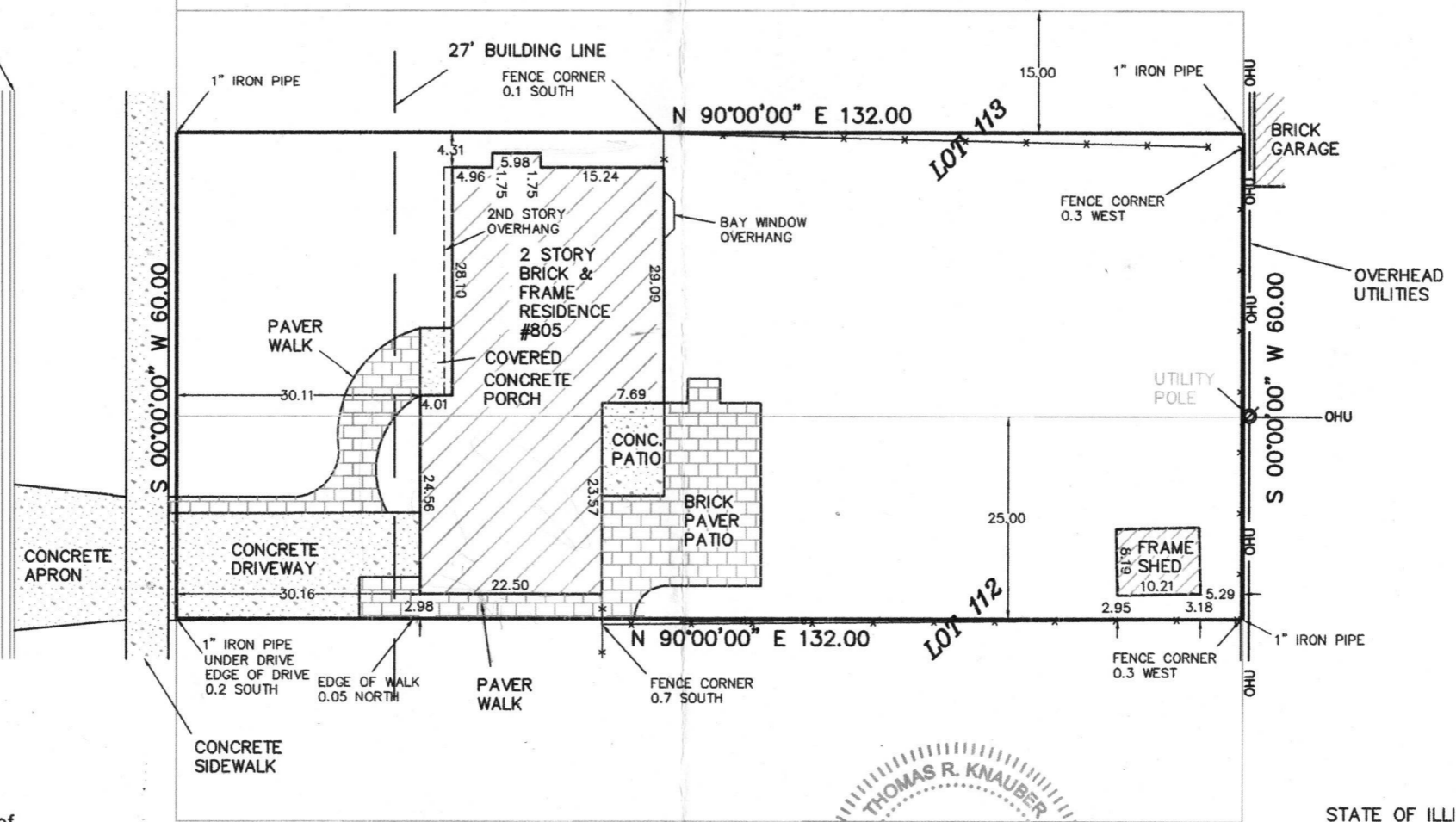
LOT 113 (EXCEPT THE NORTH 15 FEET THEREOF) AND THE NORTH 25 FEET OF LOT 112 IN FAIRVEIW, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



BASIS OF BEARING (ASSUMED)

CONCRETE CURB & GUTTER

S. WALNUT AVENUE
 ASPHALT PAVEMENT
 60' RIGHT OF WAY



MEASURED LOT AREA = 7,920 SQ. FT. (0.18 ACRES)

- * All dimensions shown are given in feet & decimal parts thereof
- * No angles or distances are to be assumed by scaling
- * Legal description, building lines and easements are taken from recorded subdivision plat and/or other available documentation. Refer to title policy, deed or local jurisdiction for building setbacks and easements not shown hereon and report any discrepancies.

NOTE:
 DUE TO EXCESSIVE SNOW AND/OR ICE AT TIME OF SURVEY
 WE CANNOT ASSUME LIABILITY OF GROUND FEATURES
 NOT SHOWN OR IMPROPERLY SHOWN HEREON.

LEGEND

- x — x — x CHAIN LINK FENCE
- □ — □ — □ WOOD FENCE



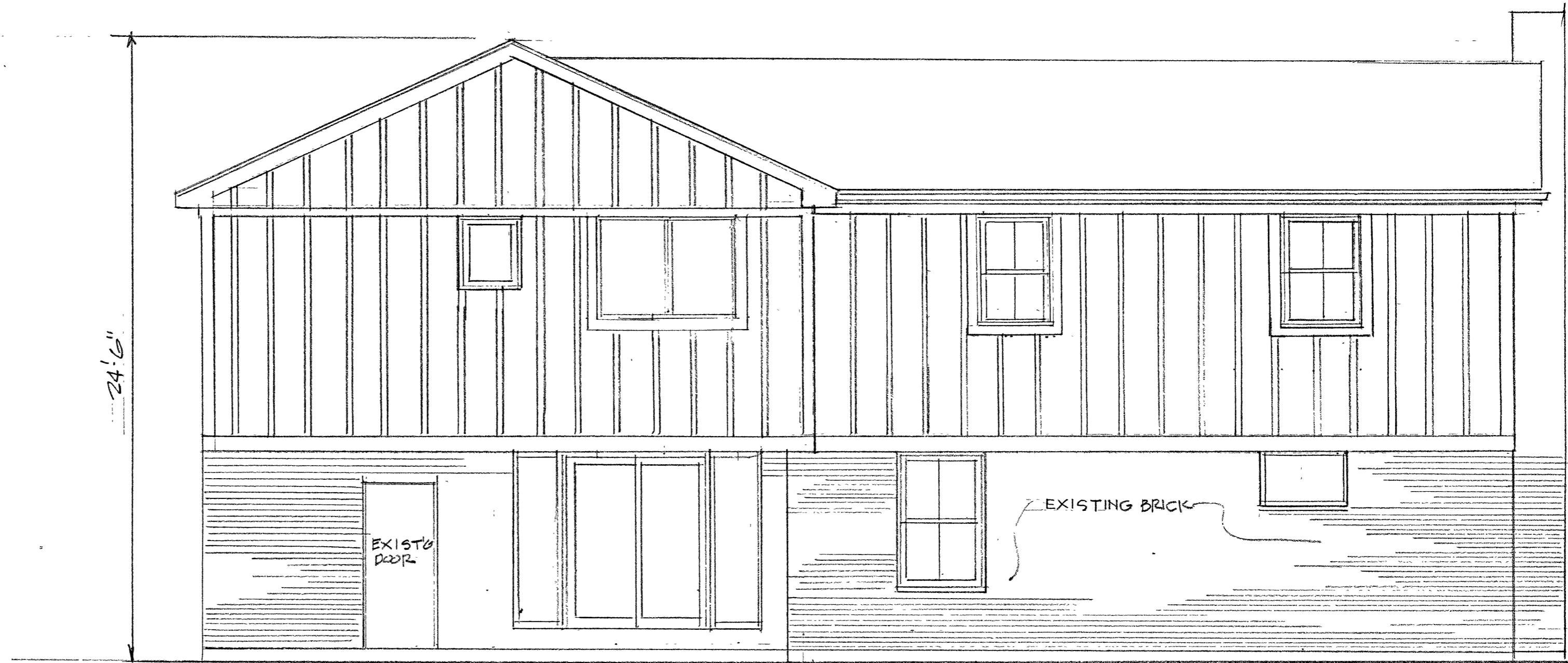
STATE OF ILLINOIS)
 COUNTY OF COOK) ss.

I, Thomas R. Knauber, an Illinois Professional Land Surveyor do hereby certify that I have surveyed the above described property, and that the above plat is a correct representation of said survey.

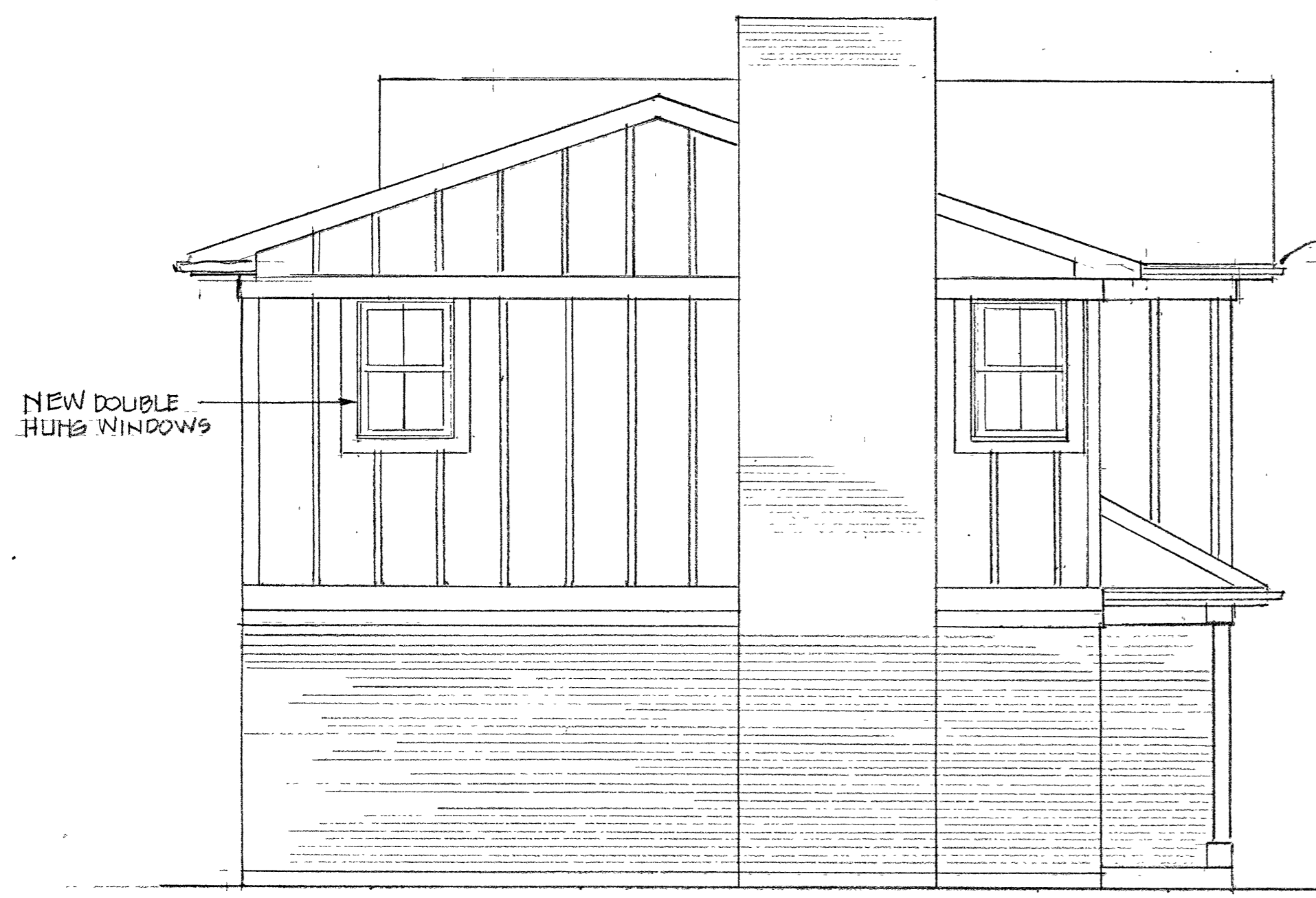
Lic. Exp. 11-30-16
 Thomas R. Knauber Illinois P.L.S. #035-003405
 Dated: February 25, 2015
 Field work completed: February 25, 2015
 Professional Design Firm Lic. No. 184.005204
 This professional service conforms to the current Illinois minimum standards for a boundary survey.

Scale: 1"=20'
 Job # 15-035
 Address: 805 S. Walnut Ave.
 Arlington Heights, IL 60005
 P.I.N. 03-31-410-026
 Ordered by: Rick Erickson

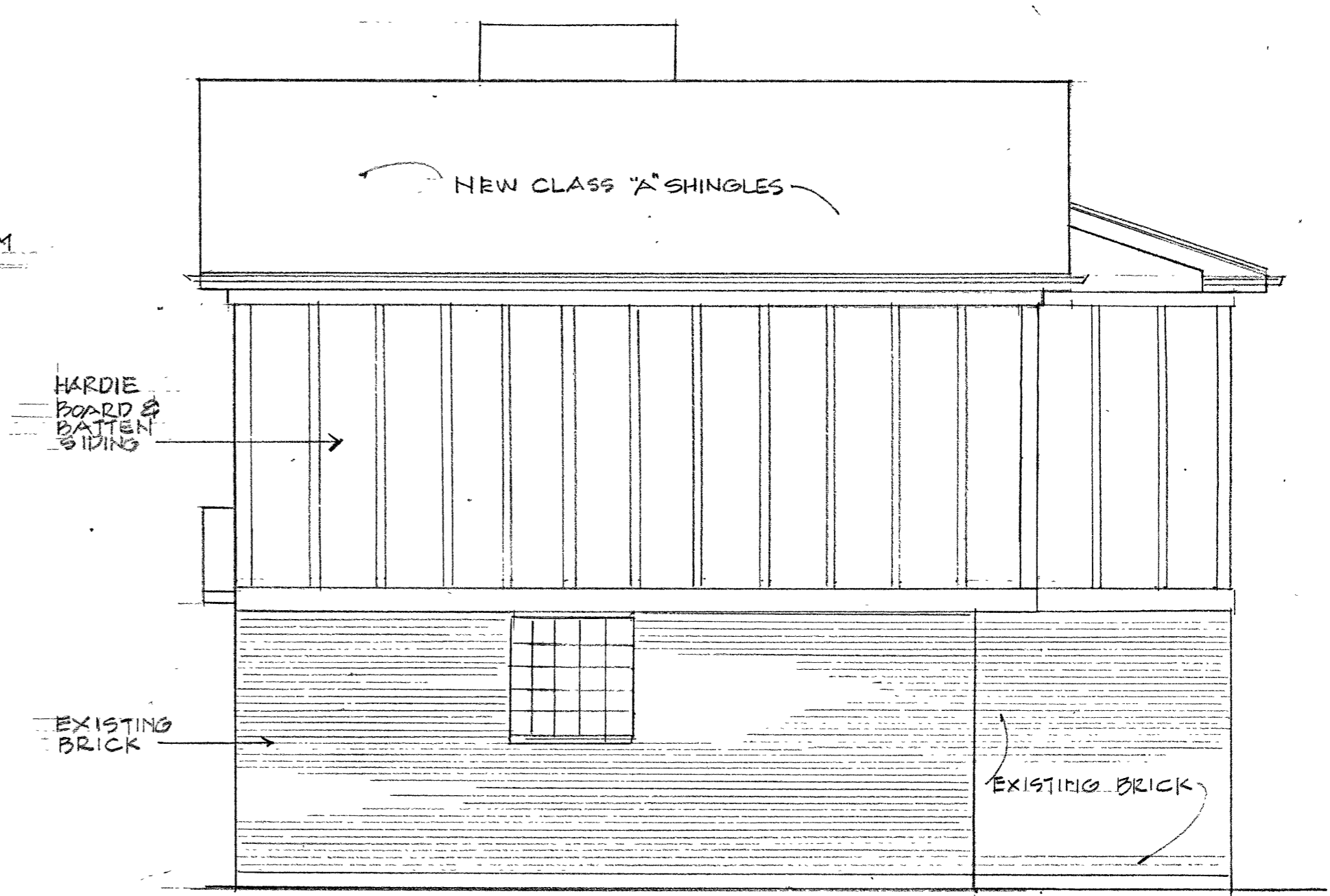
THIS SURVEY IS VALID ONLY WITH EMBOSSED SEAL



REAR (EAST) ELEVATION
1/4" = 1'-0"



LEFT SIDE (SOUTH) ELEVATION
1/4" = 1'-0"



RIGHT SIDE (NORTH) ELEVATION
1/4" = 1'-0"

NEW SECOND FLOOR PLAN AT 805 S. WALNUT



PROPOSED FRONT ELEVATION
1/4" = 1'-0"



EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

SECOND FLOOR ADDITION LOCATED AT
805 S. WALNUT AVE, ARLINGTON HEIGHTS IL



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
9/16/2025

Item: 613 S. Bristol Ln. - ZBA25-025
Department: Planning & Community Development

Item Description:

REQUEST

A 404 square-foot variation from Chapter 28, Section 5.1-3.4(a)(1) (Maximum Floor Area Ratio) to allow a floor area ratio of 3,662 square-feet instead of the allowed 3,258 square-feet.

ATTACHMENTS:

1. Exhibits_613 S Bristol Ln

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: September 16, 2025
Date Prepared: September 9, 2025
Project Title: Tyler Residence
Address: 613 S. Bristol Ln.

Background Information

Petition Number: ZBA #25-025
Petitioner: Kevin Purdom – JRC Design Build
Address: 1275 E. Davis St.
Arlington Heights, IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

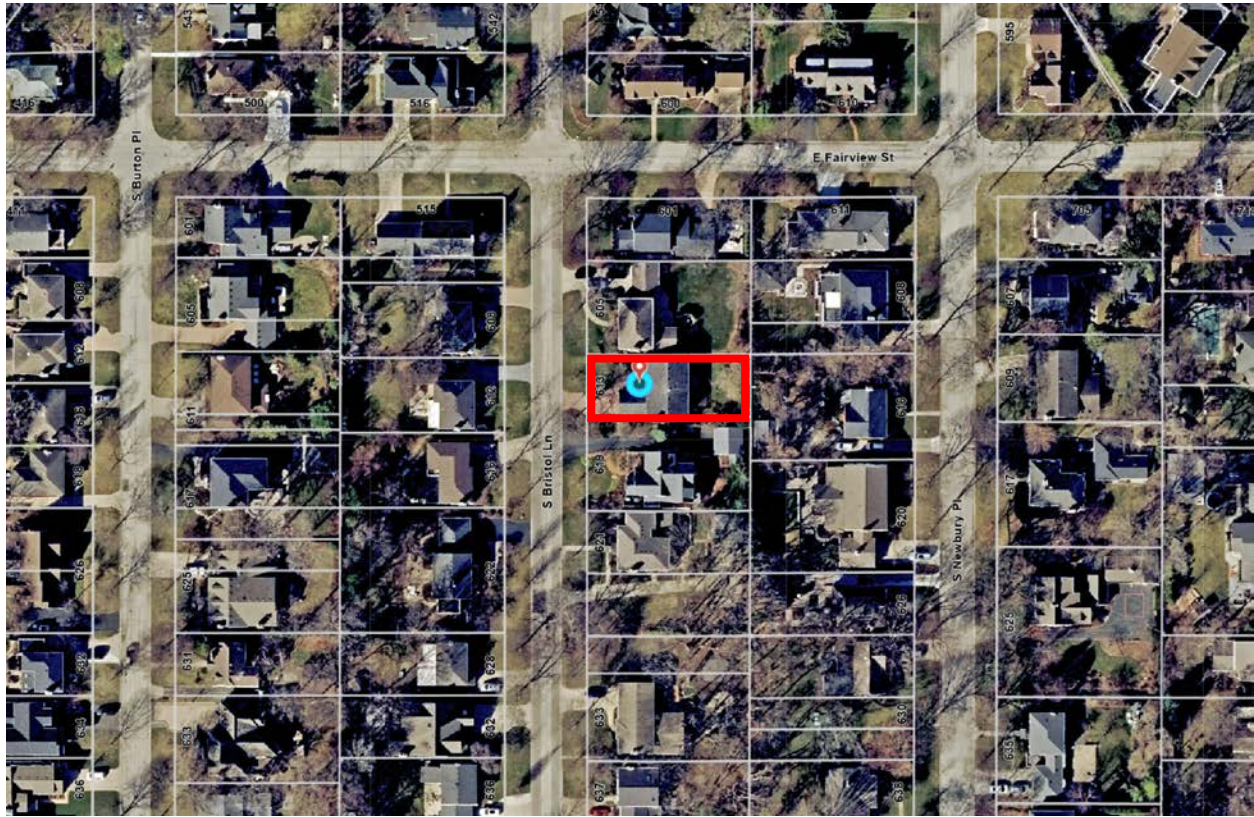
The petitioner is proposing a first-story addition in the rear yard and a second-story addition on the front of the existing home. In the R-3 District, the maximum floor area ratio (FAR) is 0.45 for lots less than 8,750 square-feet. The subject property is 7,240 square-feet, which yields a maximum square-footage of 3,258 square-feet. With the petitioner's proposed building additions, the dwelling will have 3,662 square-feet, or an FAR of 0.51, where 3,258 square-feet, or an FAR of 0.45, is the maximum. Therefore, the petitioner is requesting the following variation:

- A 404 square-foot variation from Chapter 28, Section 5.1-3.4(a)(1) (Maximum Floor Area Ratio) to allow a floor area ratio of 3,662 square-feet instead of the allowed 3,258 square-feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/29/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/29/25	
3. Letter that was Mailed	✓	8/29/25	
4. Photographs of Sign on Property	✓	8/29/25	

Photographs of Existing Structure



NOTICE OF PUBLIC HEARING

Hearing for: A variation from Chapter 28, Section 5.1-3.4(a)(1) to allow
a floor area ratio of 3.662 square-feet instead of the
allowed 3.258 square-feet

Hearing Location: Village of Arlington Heights
33 S. Arlington Heights Road

DATE: SEPTEMBER 16 2025

TIME: 7:00 PM

PUBLIC ATTENDANCE & COMMENTS INVITED

For details call:
JRC Design Build
847-255-2322

Or:
Village of Arlington Heights
Department of Planning and
Community Development
Phone: (847) 368-5200



NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Tuesday, September 16, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 404 square-foot variation from Chapter 28, Section 5.1-3.4(a)(1) (Maximum Floor Area Ratio) to allow a floor area ratio of 3,662 square-feet instead of the allowed 3,258 square-feet.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning-mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 631 (Except the south 20 feet thereof) and the south half of Lot 632 in Scarsdale, being a subdivision of part of the west half of the east half of the west half of Section 32, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois. Commonly known as: 613 S. Bristol Lane, Arlington Heights IL 60005

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Aug. 30, 2025 (303675)

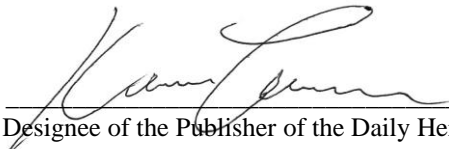
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 08/30/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY  _____
Designee of the Publisher of the Daily Herald

Control # 303675



Village of Arlington Heights



To: Kevin Purdom, JRC Design Build
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-025
Project: 613 S. Bristol Lane
Date: September 10, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the variance from Chapter 28, Section 5.1-3.4(a)(1) (Maximum Floor Area Ratio) to allow a floor area ratio of 3,662 square-feet instead of the allowed 3,258 square-feet. If you have any questions, please contact dosoba@vah.com:

Planning and Community Development

1. The proposed addition/exterior renovation is a nice enhancement to the appearance of the existing home. The architectural design is favorable for an Administrative (Staff) design approval, pending the outcome of the ZBA review.

Building and Life Safety

1. No comments.

Engineering

1. No comments.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Kevin Purdom - JRC Design Build

being the owner of the property commonly know as: 613 S Bristol Lane

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.4

Chapter 28, of the Arlington Heights Municipal Code, in order to: Build a rear kitchen addition and a second story bedroom addition on the front, which goes over the allowed FAR requirement.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): All other setbacks, zoning and code requirements will be met except for the FAR overage.

We are building within the existing footprint on the second floor.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): This is a relatively small lot for the family size that is growing and the family needs more bedrooms and kitchen space.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): The addition is compatible with the design of the neighborhood and the two story portion will be compatible with the existing massing in the area.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): In order to accomodate the needs of the growing family we are asking for this variance. We are not expanding past the existing footprint on the second floor addition and we are only encroaching onto existing patio space in the backyard.

Signed: 
Petitioner

Date: 07/07/2025

LEGEND	
A = ASSUMED	NW = NORTHWEST
C = CALCULATED	P.O.B. = POINT OF BEGINNING
CH = CHORD	P.O.C. = POINT OF COMMENCEMENT
CL = CENTERLINE	R = RECORD
D = DEED	RAD = RADIUS
E = EAST	R.O.W. = RIGHT OF WAY
F.I.P. = FOUND IRON PIPE	S = SOUTH
F.I.R. = FOUND IRON ROD	S.I.P. = SET IRON PIPE
FT. = FEET/FOOT	S.I.R. = SET IRON ROD
L = ARC LENGTH	SE = SOUTHEAST
M = MEASURED	SW = SOUTHWEST
N = NORTH	W = WEST
NE = NORTHEAST	

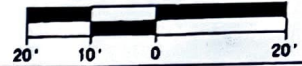
—X—X—	CHAIN LINK FENCE
—O—O—	WOOD FENCE
—•—•—	METAL FENCE
—Δ—Δ—	VINYL FENCE
—•••••	EASEMENT LINE
—- - - -	SETBACK LINE
—•••••	INTERIOR LOT LINE

PLAT OF SURVEY OF

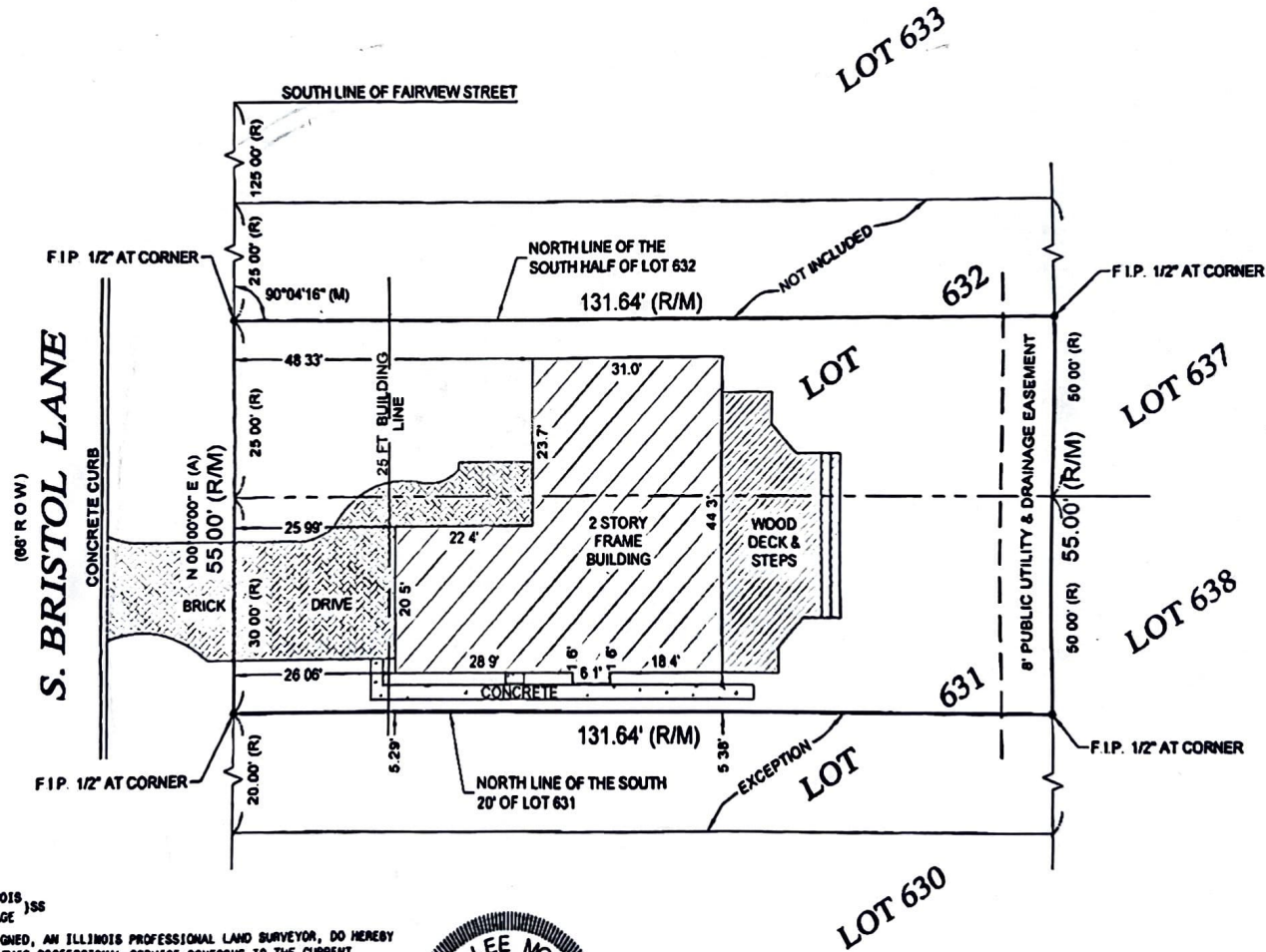
LOT 631 (EXCEPT THE SOUTH 20 FEET THEREOF) AND THE SOUTH HALF OF LOT 632 IN SCARSDALE, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE EAST HALF OF THE WEST HALF OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA OF SURVEY:

CONTAINING 7240.2 SQ. FT. OR 0.17 ACRES MORE OR LESS



BASIS OF BEARING:
EAST LINE OF S. BRISTOL LANE AS FOUND MONUMENTED AND OCCUPIED PER RECORD SUBDIVISION.
N 00°00'00" E (A)



STATE OF ILLINOIS)
COUNTY OF DUPAGE)

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 19TH DAY OF APRIL, A.D., 2017,
AT LISLE, ILLINOIS.

J. L. Morrison
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2317
LICENSE EXPIRATION DATE NOVEMBER 30, 2018
ILLINOIS SURVEYOR REGISTRATION NO. 184-001245



NOTE:

1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 613 S. BRISTOL LANE
ARLINGTON HEIGHTS, ILLINOIS

CLIENT DROST KIVLAHAN MCMANON & O'CONNOR LLC

FIELDWORK DATE (CREW) 04/17/2017 (DS/BV)

DRAWN BY: LV REVISED:



Morris Engineering, Inc.
515 Warrenville Road, Lisle, IL 60532
Phone (630) 271-0770
FAX (630) 271-0774
WEBSITE WWW.ECIVIL.COM

ADDITION TO THE TYLER RESIDENCE



1275 E. DAVIS, ARLINGTON HEIGHTS, IL 60005
 PHONE: (847)255-2322
 EMAIL: KEVINJCDB@GMAIL.COM
 © 2025 COPYRIGHT. ALL RIGHTS RESERVED

ADDITION TO THE TYLER RESIDENCE

613 S BRISTOL LANE
 ARLINGTON HEIGHTS, IL 60005

DATE
 1- 06/10/2025

ISSUE DATE
 1- 06/10/2025 1 - BID

PROJECT DATA

PROJECT LOCATION:	613 S BRISTOL LANE	
ZONING DISTRICT:	R-3	
LOT AREA:	7,240 SF	
PIN:	03-32-400-045-0000	
MAX LOT COVERAGE:(35%)	2,534 SF	
PROPOSED LOT COVERAGE:	2,102 SF	
MAX FAR: (45%)	3,258 SF	
PROPOSED FAR:	3,662 SF	
MAX IMPERVIOUS COVERAGE (50%)	3,620 SF	
MAX FRONT YARD IMPERVIOUS (50%)	715 SF ALLOWED	550 SF PROPOSED
PROPOSED IMPERVIOUS COVERAGE:	3,604 SF	
MAX BUILDING HEIGHT:	25'-0"	
PROPOSED BUILDING HEIGHT:	EX TO REMAIN	
LOCATION AREAS:		
BASEMENT	1,578 SF	
FIRST FLOOR	1,777 SF	
SECOND FLOOR	1,824 SF	
GARAGE	461 SF	
TOTAL SQUARE FOOTAGE:	3,601 SF	

SHEET INDEX - ARCHITECTURAL

3D	3D VIEWS	1- 06/10/2025
A0	COVER SHEET	1- 06/10/2025
A1	EXISTING DRAWINGS	1- 06/10/2025
A2	FOUNDATION & BASEMENT PLANS	1- 06/10/2025
A3	FIRST FLOOR PLAN	1- 06/10/2025
A4	SECOND FLOOR PLAN	1- 06/10/2025
A5	ROOF PLAN & STAIR DETAILS	1- 06/10/2025
A6	ELEVATIONS	1- 06/10/2025
A7	STRUCTURAL DETAILS	1- 06/10/2025
A8	SPECIFICATIONS	1- 06/10/2025
MEP1	FIRST & SECOND FLOOR MEP PLANS	1- 06/10/2025

PROJECT SCOPE OF WORK

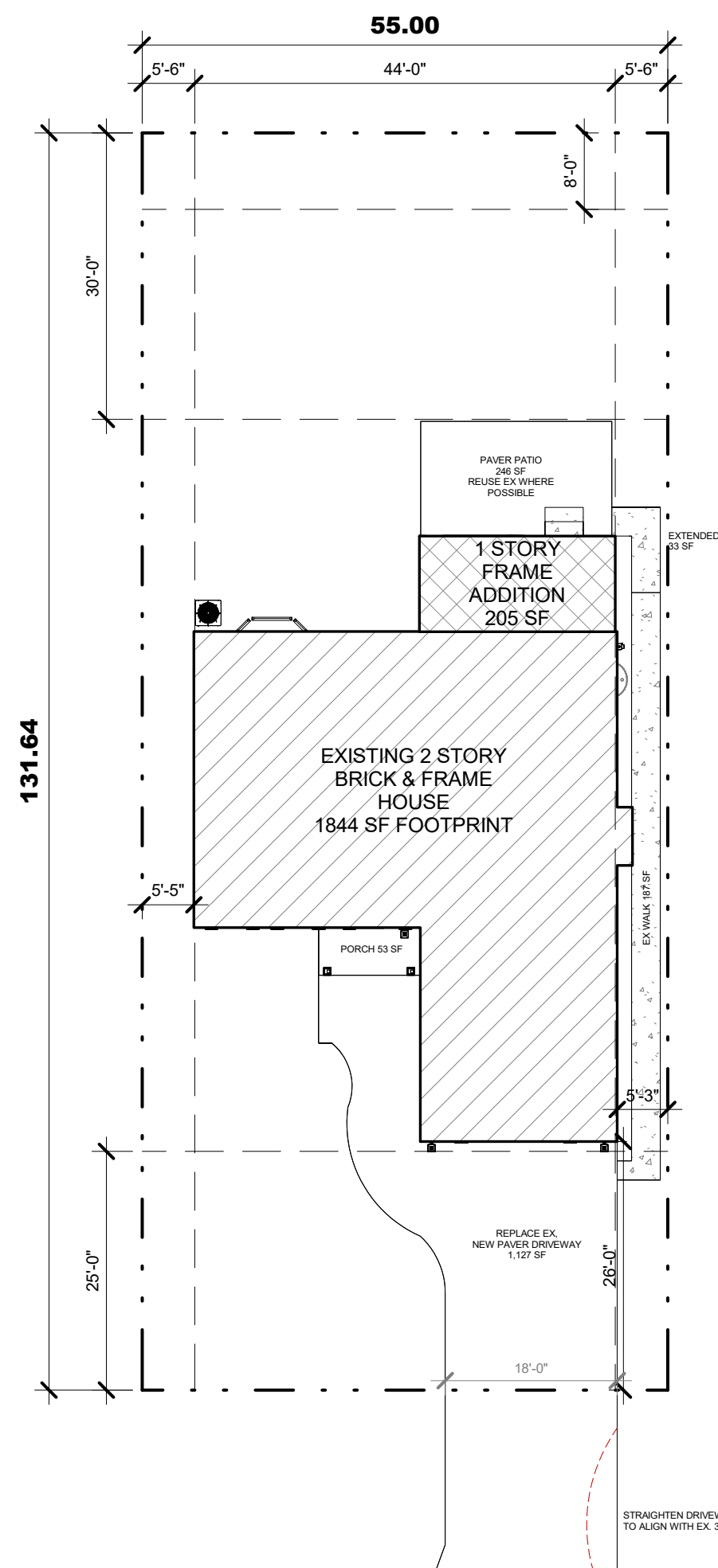
- OPTION 1: DESIGN BUILD A 18 X 10 KITCHEN ADDITION WITH A COMPLETELY NEW KITCHEN REMOVE THE DIVIDING WALL. **ADD A BASEMENT.**
- OPTION 2: DESIGN BUILD A 28 X 10 KITCHEN/DINING ROOM ADDITION WITH A COMPLETELY NEW KITCHEN REMOVE THE DIVIDING WALL. **ADD A BASEMENT**
- OPTION 3: DESIGN BUILD A 20 X 22-BEDROOM, BATHROOM AND LAUNDRY ROOM OVER THE GARAGE.
- OPTION 4: DESIGN BUILD A MUD/POWDER ROOM AND PANTRY BEHIND GARAGE ENTRY.
- OPTION 5: DESIGN BUILD A COVERED 10 X 5 FRONT PORCH.
- OPTION 6: RESIDE ENTIRE HOME WITH JAMES HARDIE PREMIUM SIDING ALL NEW ALUMINUM SOFFIT, FASCIA AND GUTTERS AND A NEW GAF HD ROOF.
- REPLACE THE DRIVEWAY AND FRONT WALK WITH CONCRETE. FILL IN BRICK NEED TO GET QUOTE
- ADD A 400SF CONCRETE PATIO IN THE BACK.
- REMOVE CARPET AND REPLACE WITH HARDWOOD INCLUDING TRIM WORK.

ABBREVIATIONS

A.B.	ANCHOR BOLT	L.	LINEN
ABV	ABOVE	LAM.	LAMINATE
A.C.	AIR CONDITIONING	LAV.	LAVATORY
ACOUS.	ACOUSTIC	LL	LIVE LOAD
ADJ.	ADJUSTABLE	LP	LOW POINT
A.F.F.	ABOVE FINISH FLOOR	LP	MAXIMUM
ALUM.	ALUMINUM	MC	MEDICINE CABINET
ALT.	ALTERNATE	MECH	MECHANICAL
A.P.	ACCESS PANEL	MED	MEDIUM
APPROX.	APPROXIMATE	MIN	MINIMUM
ARCH.	ARCHITECTURAL	MISC	MISCELLANEOUS
@	AT	ML	MICROLAM
BD	BOARD	MO	MASONRY OPENING
BI	BUILT-IN	MRBL	MARBLE
BLDG	BUILDING	MTL	METAL
BOT.	BOTTOM	MW	MICROWAVE
BT	BOTTOM OF	NC	NOT IN CONTRACT
BRG.	BEARING	NO	NUMBER
BRG. PL.	BEARING PLATE	NOM	NOMINAL
B.U.R.	BUILT UP ROOFING	NTS	NOT TO SCALE
CRPT	CARPET	OVN	OVEN
CABT	CABINET	OA	OVERALL
C.I.	CAST IRON	OC	ON CENTER
C.J.	CEILING JOISTS	OPP	OPPOSITE
C.J.T.	CONSTRUCTION JOINTS	OPT.	OPTIONAL
CL	CENTERLINE	PERF.	PERFORATED
CLG.	CEILING	PL	PLATE
CL	CLOSET	P LAM	PLASTIC LAMINATE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
C O	CASED OPENING	PSF	POUNDS PER SQUARE FOOT
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC.	CONCRETE	PVC	POLYVINYLCHLORIDE
CONST.	CONSTRUCTION	QT	QUARRY TILE
CONT.	CONTINUOUS	R	RADIUS
C.T.	CERAMIC TILE	RD	ROD OF DRAIN
C.W.	COLD WATER	R & S	ROD AND SHELF
DEMO.	DEMOLITION	REC	RECESSED
DIA.	DIAMETER	REF	REFRIGERATOR
DIAG.	DIAGONAL	REG	REGULAR
DIM.	DIMENSION	REINF	REINFORCE
DISP.	DISPOSAL	RM	ROOM
DIV.	DIVISION	RO	ROUGH OPENING
DL	DEAD LOAD	RR	ROOF RAFTERS
DN.	DOWN	SECT	SECTION
DWG.S.	DRAWINGS	SHLV	SHELVES
D.S.	DOWNSPOUT	SHT	SHEET
D.W.	DISHWASHER	SHWR	SHOWER
EA.	EACH	SHTG	SHEATHING
EX.	EXISTING	SIM	SIMILAR
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SL	SLIDING
EQ	EQUAL	SPEC	SPECIFICATION
EXP.	EXPANSION	SQ	SQUARE
ELEC.	ELECTRICAL	SF	SQUARE FOOT
ELEV.	ELEVATION	SS	SANITARY SUMP
EQUIP.	EQUIPMENT	STD	STANDARD
EQUIV.	EQUIVALENT	STL	STEEL
E.W	EACH WAY	STOR	STORAGE
F	FURNACE	STRUCT	STRUCTURE
FD	FLOOR DRAIN	SUSP	SUSPENDED
FE	FIRE EXTINGUISHER	T & B	TOP AND BOTTOM
FF	FINISH FLOOR	TI	TOP OF
FIN.	FINISH	TEL	TELEPHONE
FIXT	FIXTURE	T & G	TONGUE AND GROOVE
FLR	FLOOR	THK	TRUST JOIST
FLASHG	FLASHING	TJ	TOP OF PLATE
FDN	FOUNDATION	TV	TELEVISION
FO	FACE OF	TV	TYPICAL
FS	FOOTING SUMP	UC	UNDER COUNTER
FTG	FOOTING	UN	UNLESS OTHERWISE NOTED
FURN	FURNACE	VCT	VINYL COMPOSITION TILE
G/A	GALVE	VERT	VERTICAL
GALV	GALVANIZED	VIF	VERIFY IN FIELD
GFI	GROUND FAULT INTERRUPT	W/	WITH
GLU-LAM	GLUE LAMINATED BEAM	WC	WATER CLOSET
GYP.	GYPSUM	WIC	WALK IN CLOSET
HD	HEAD	WD	WOOD
HR	HEADER	WDO	WINDOW
HT	HEIGHT	WH	WATER HEATER
HM	HOLLOW METAL	W/O	WITHOUT
HORZ	HORIZONTAL	WP	WATERPROOF
HP	HIGH POINT	WT	WEIGHT
HTG	HEATING	WWF	WELDED WIRE FABRIC
HVAC	HEATING VENTILATE AIR CONDITIONING		
INT.	INTERIOR		

SITE PLAN NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIVE LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.
- MAINTAIN EXISTING DRAINAGE PATTERNS. ANY DRAINAGE ISSUES THAT MAY ARISE FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT WILL BE ADDRESSED BY THE PERMITTEE. RESTORE PARKWAY AND PAVEMENT TO PRE-CONSTRUCTION CONDITIONS.



S BRISTOL LANE

ENERGY CODE COMPLIANCE NOTES

- ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS. CLIMATE ZONE: 5
 MAX. GLAZING U-FACTOR: 0.30
 ACTUAL U-FACTOR:
 MIN. SKYLIGHT U-FACTOR: 0.55
 ACTUAL SKYLIGHT U-FACTOR:
 SHGC: N/R
 MIN. CEILING R-VALUE: 49
 ACTUAL CEILING R-VALUE: 49
 MIN. FRAME WALL R-VALUE: 30 OR 20 + 5 OR 13+10
 ACTUAL WALL R-VALUE: 30 (CLOSED CELL FOAM INSULATION)
 MIN. FLOOR R-VALUE: 30
 ACTUAL FLOOR R-VALUE:
 MIN. BASEMENT R-VALUE: 15 OR 19
 ACTUAL BASEMENT R-VALUE:
 GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT TO ELECTRICAL PANEL INDICATING INSULATION AND ENERGY VALUES FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS. SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH DENSITY FRICTION FIT BATT INSULATION.
- ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CALK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2021 IECC REQUIREMENTS. ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM. ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.
- ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.
- ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE IC-RATED.
- PROVIDE PROGRAMMABLE THERMOSTATS FOR EACH ZONE WITH SETBACK AND MANUAL OVERRIDE.
- ALL DUCTWORK SHALL BE ADEQUATELY SEALED. ALL SUPPLY DUCTWORK IN UNCONDITIONED ATTIC TO HAVE R-8 INSULATION. ALL OTHER DUCTWORK TO HAVE R-6 INSULATION. HVAC CONTRACTOR SHALL PROVIDE EITHER POST-CONSTRUCTION OR ROUGH-IN TEST OF TOTAL AIR LEAKAGE FOR DUCT SYSTEMS.
- ALL MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEG F OR BELOW 55 DEG F SHALL BE INSULATED TO A MINIMUM OF R-3. ALL HOT WATER LINES TO HAVE R-3 PIPE INSULATION & MANUAL SWITCH FOR RECIRC. PUMP.
- ALL ACCESS HATCHES/DOORS TO UNCONDITIONED SPACE SHALL BE INSULATED & WEATHERSTRIPPED.
- 100% OF ALL LIGHTING TO HAVE HIGH-EFFICACY BULBS.
- FURNACE: +90% AFUE
 WATER HEATER: +95% AFUE
 A/C: 13+ SEER
 SHGC: 0.27 OR BTR
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE NO MORE THAN 0.3 CFM PER SF, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SF.

1 SITE PLAN - PROPOSED

A0 1/16" = 1'-0"

IMPERVIOUS SF

WALKS/DRIVEWAY	1,256 SF
PATIO/DECK/STAIRS	246 SF
HOUSE	1,588 SF
GARAGE	461 SF
PORCHES	53 SF
SHED	0 SF
TOTAL	3,604 SF

SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- E ELECTRIC SERVICE
- G GAS SERVICE
- (---) STORM SEWER
- (---) SANITARY SEWER
- W WATER SERVICE
- X FENCE

SITE SETBACKS (R-3)

	REQUIRED	PROPOSED
FRONTYARD	25'-0"	EX 25.99'
INTERIOR SIDEYARD 10% LOT WIDTH	5'-6"	EX 5.38'
INTERIOR SIDEYARD 10% LOT WIDTH	5'-6"	EX 5.32'
REARYARD	30'-0"	42.31'
HEIGHT - MEAN	MAX 25'-0"	EX TO REMAIN

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ	FLOOD HAZARDS CHAPTER VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WTHRNG	FROST LINE DEPTH	TERMITE					
25	115	NO	NO	NO	b	SEVERE	42"	MOD TO HEAVY	-4	YES	NOV 6/2000	2000	47.6

DESIGN CRITERIA

FLOOR	
SLEEPING ROOMS	40# LL - 10# DL
OTHER ROOMS	40# LL - 10# DL
VEH. GARAGES	50# LL - 10# DL
WALL	
60# PLF OR ACTUAL LOAD	
20 PSF WIND 0'-20' HEIGHT	
25 PSF WIND 21'-29' HEIGHT	
30 PSF WIND 30' HEIGHT AND ABOVE	
CEILING	
UNHAB W/O STOR	10# LL - 10# DL
UNHAB LIM STOR	20# LL - 10# DL
HAB W/ FIX STAIR	30# LL - 10# DL
WIND SPEED	
115 MPH	
3 SECOND GUST	
& 89 NOMINAL	
ROOF	
30# LL (SNOW) - 10# DL (ALL SLOPES)	
CATHEDRAL	
30# LL - 15# DL (ALL SLOPES)	
EXT DECK	
40# LL - 10# DL	
EXT BALCONY	
40# LL - 10# DL	
STAIRS	
40# LL + 300# CONCENTRATED LOAD	
GUARD & HANDRAILS	
200# LL AT ANY DIRECTION APPLIED AT THE TOP	
FROST DEPTH	
42" (3'-6")	
STRUCTURAL FRAMING LUMBER	
BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)	
GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875	
SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER	
MANUFACTURER - TRUS-JOIST	
PRODUCT - LVL HEADERS & BEAMS MICRO-LAM	

APPLICABLE CODES - ARLINGTON HEIGHTS

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:

BUILDING CODE	2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
PLUMBING CODE	2014 ILLINOIS PLUMBING CODE WITH AMENDMENTS
ENERGY CODE	2021 ILLINOIS ENERGY CONSERVATION CODE WITH STATE AMENDMENTS

- ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.
- MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.
- ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.

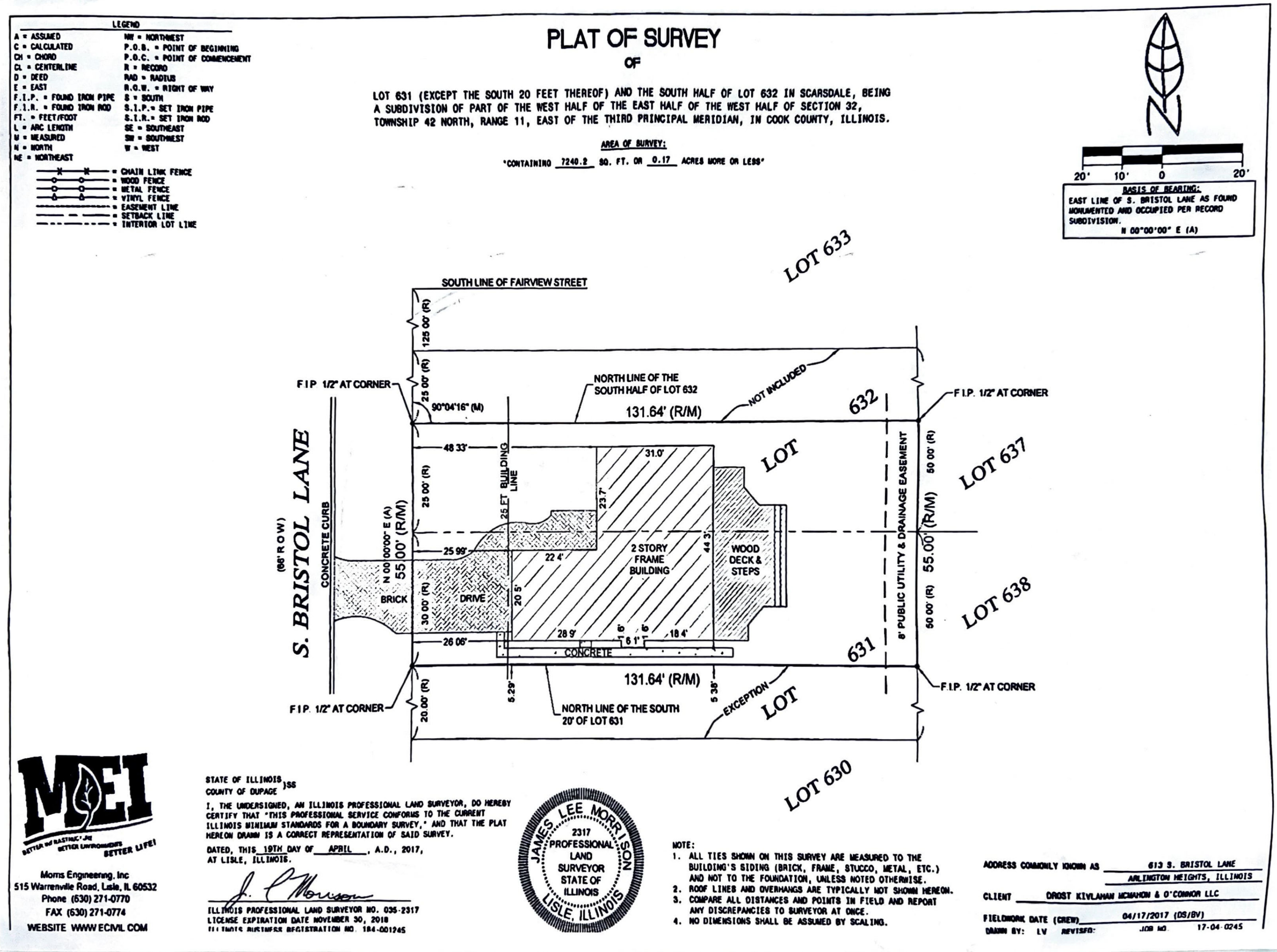
NOT FOR CONSTRUCTION

THESE DRAWINGS ARE NOT APPROVED OR STAMPED FOR CONSTRUCTION AND ARE FOR CONCEPT/DESIGN/BIDDING PURPOSES ONLY. DIMENSIONS, HEIGHTS, FINISHES, AND UTILITY LOCATIONS TO BE VERIFIED.

SHEET TITLE
 COVER SHEET

SHEET NUMBER

A0



**PLAT OF SURVEY
NTS**

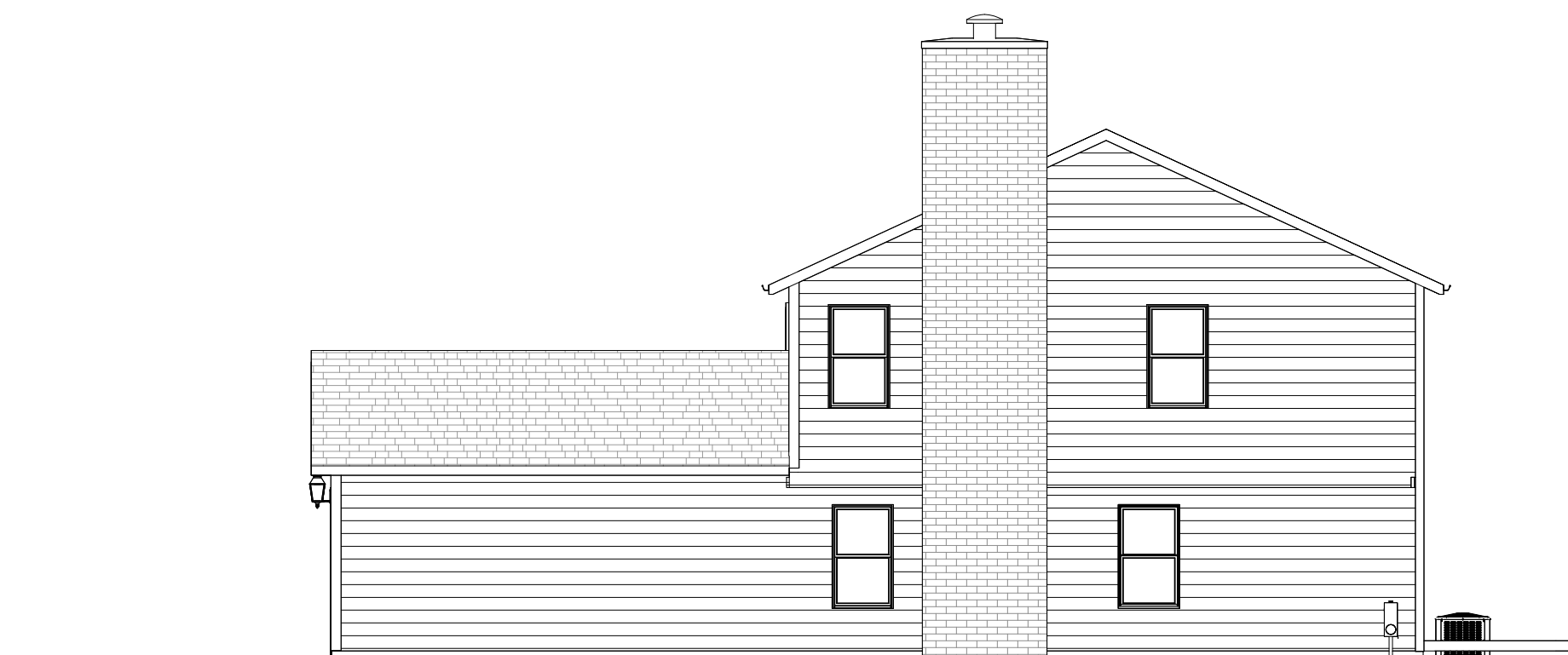


EXISTING ELECTRICAL PANEL

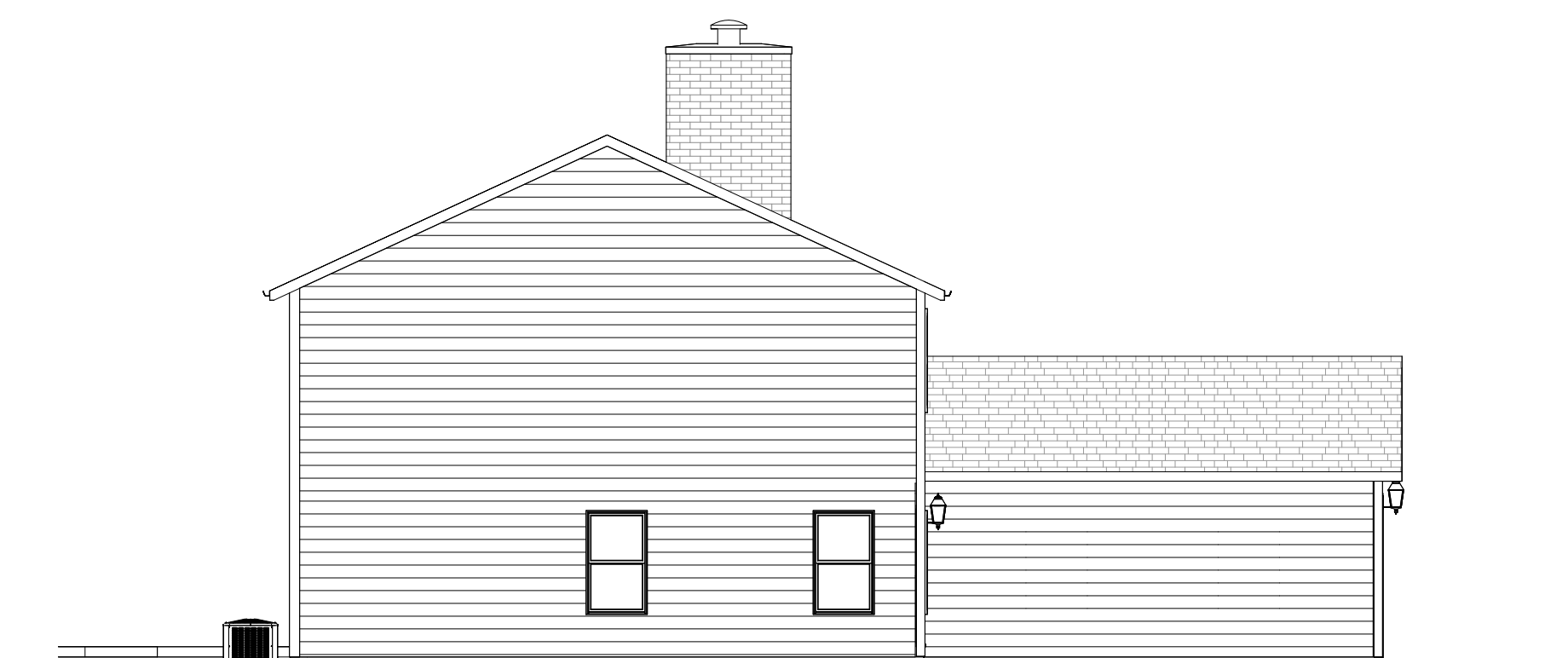
1 WEST ELEVATION - EXISTING FRONT
1/8" = 1'-0"



2 EAST ELEVATION - EXISTING REAR
1/8" = 1'-0"



3 SOUTH ELEVATION - EXISTING SIDE
1/8" = 1'-0"



4 NORTH ELEVATION - EXISTING SIDE
1/8" = 1'-0"



1275 E. DAVIS, ARLINGTON HEIGHTS, IL 60005
 PHONE: (847)255-2322
 EMAIL: KEVINJRCDB@GMAIL.COM
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**ADDITION TO THE
TYLER RESIDENCE**

613 S BRISTOL LANE
 ARLINGTON HEIGHTS, IL 60005

DATE
 1- 06/10/2025

ISSUE DATE
 1- 06/10/2025 1 - BID

NOT FOR CONSTRUCTION

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SHEET TITLE
 EXISTING DRAWINGS

SHEET NUMBER

A1

ADDITION TO THE TYLER RESIDENCE

613 S BRISTOL LANE
 ARLINGTON HEIGHTS, IL 60005

DATE

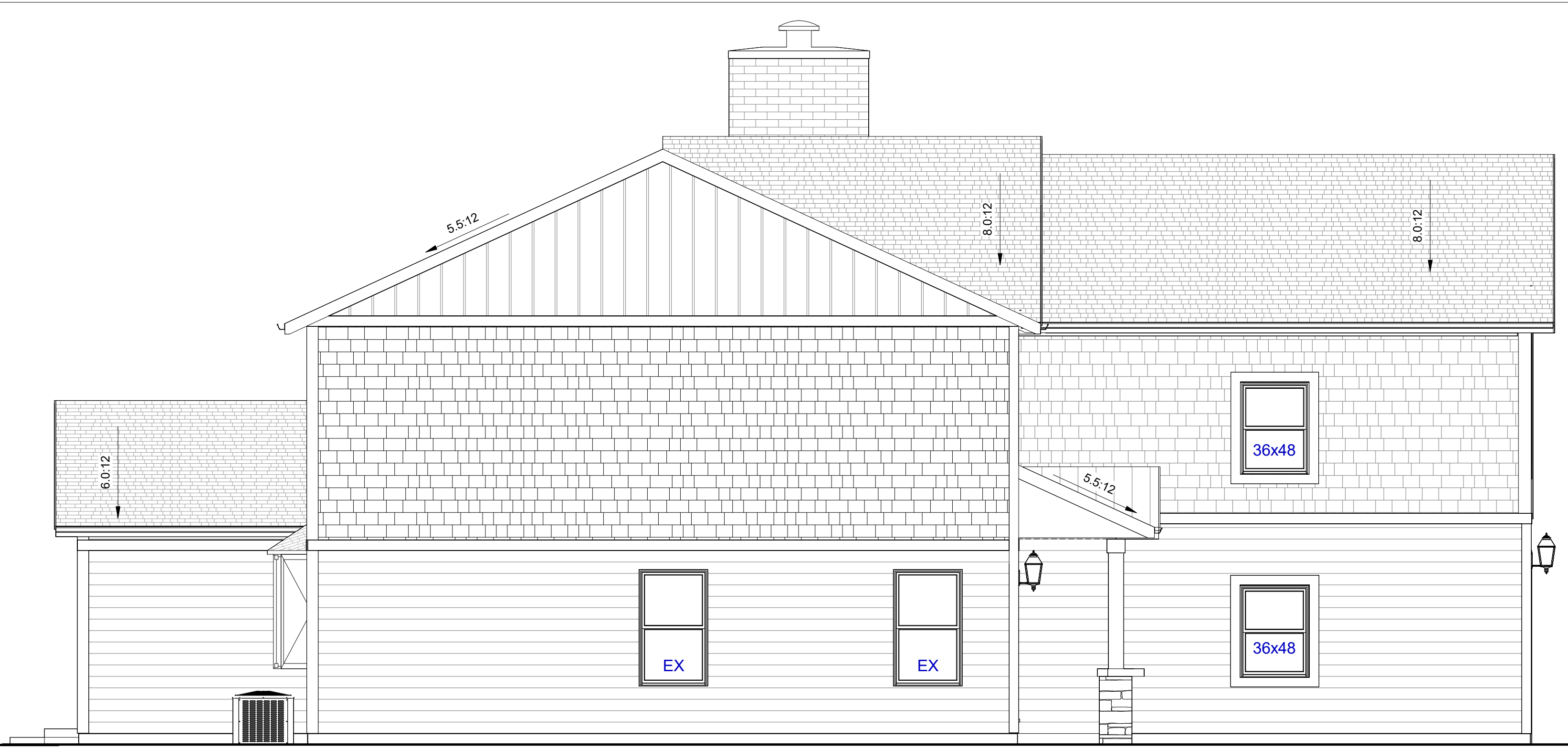
1- 07/30/2025

ISSUE DATE

1- 07/30/2025 1 - DESIGN REVIEW



1 WEST ELEVATION - PROPOSED FRONT
 A6 1/4" = 1'-0"



3 NORTH ELEVATION - PROPOSED SIDE
 A6 1/4" = 1'-0"



4 EAST ELEVATION - PROPOSED REAR
 A6 1/4" = 1'-0"



2 SOUTH ELEVATION - PROPOSED SIDE
 A6 1/4" = 1'-0"

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.	LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)	[Hatch Pattern]	HORIZ LAP SIDING, BOARD AND BATTEN, SHAKE SIDING	JAMES HARDIE, COBBLESTONE OR SIM.	TRIM AND FASCIA		TRIM	ARCTIC WHITE, SMOOTH
ROOFING (1)	[Hatch Pattern]	ASPHALT SHINGLES	OWENS CORNING GRAY	SOFFIT AND FASCIA		ALUMINUM - VENTED	WHITE
WINDOWS		VINYL (INTERIOR WHITE - EXTERIOR -WHITE)	CLIMATEGUARD OR SIM.	COLUMNS		WHITE	WHITE
DOORS		STYLE TBD	VERIFY W/ OWNER, WHITE	GUTTERS, DOWNSPOUTS		ALUMINUM	WHITE

WINDOW NOTES:

1. WINDOW SIZES - ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
2. GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
3. BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
4. WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
5. FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS EGRESS WINDOW REQUIREMENTS PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW. PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS. A MINIMUM CLEAR WIDTH OF 20" A MINIMUM CLEAR HEIGHT OF 24" A SILL HEIGHT OF LESS THAN 44" AFF
6. ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.30
7. ALL BATHROOM GLASS AND GLASS IN AREAS OF HAZARD SHALL BE SAFETY GLAZING, PERMANENTLY ETCHED, AND THE ETCHING SHALL BE VISIBLE AFTER INSTALLATION TO VERIFY COMPLIANCE. SECTION: IRC R308.4
8. E = EGRESS T= TEMPERED SAFETY GLASS
 F= FROSTED PRIVACY GLASS EX = EXISTING WINDOW TO REMAIN

NOT FOR CONSTRUCTION

SHEET TITLE
 ELEVATIONS

SHEET NUMBER

A6



PROPOSED RENDERING



**JAMES HARDIE - HORIZONTAL
COBBLESTONE OR SIM**



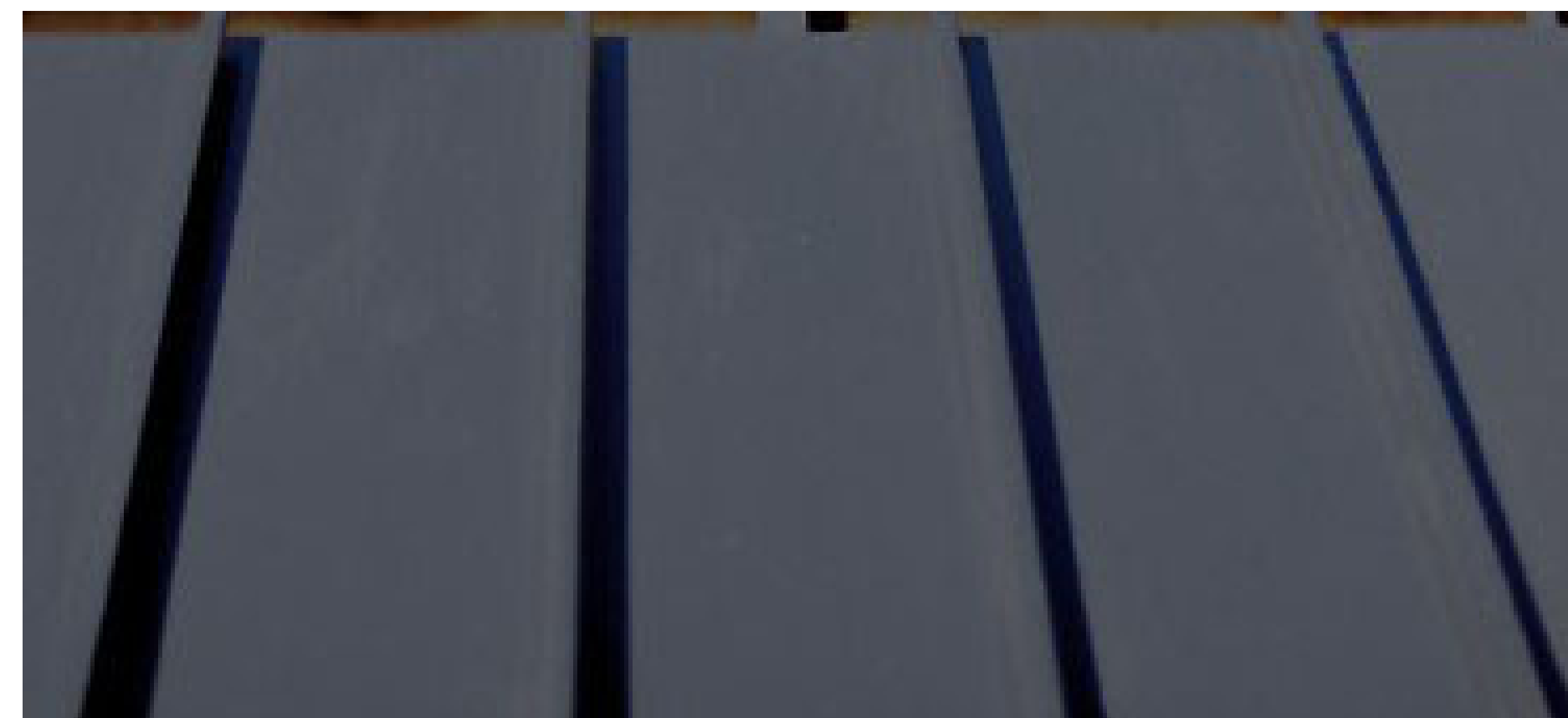
**JAMES HARDIE - SHAKE
COBBLESTONE OR SIM**



**JAMES HARDIE -
ARCTIC WHITE, SMOOTH TRIM**



**OWENS CORNING OAKRIDGE -
SIERRA GRAT OR SIMILAR
ASPHALT SHINGLES**



**STANDING SEAM METAL ROOF
BLACK ACCENT**

PLEASE NOTE THESE ARE CONCEPTUAL DESIGN IMAGES AND NOT INDICATIVE OF THE EXACT LOOK AND MATERIALS TO BE INSTALLED. REFER TO PLANS, CONTRACT, AND THE PROPOSAL FOR EVERYTHING INCLUDED IN PROJECT SCOPE OF WORK

**ADDITION TO THE
TYLER RESIDENCE**

613 S BRISTOL LANE
ARLINGTON HEIGHTS, IL 60005

DATE

1- 07/30/2025

ISSUE DATE

1- 07/30/2025 1 - DESIGN REVIEW

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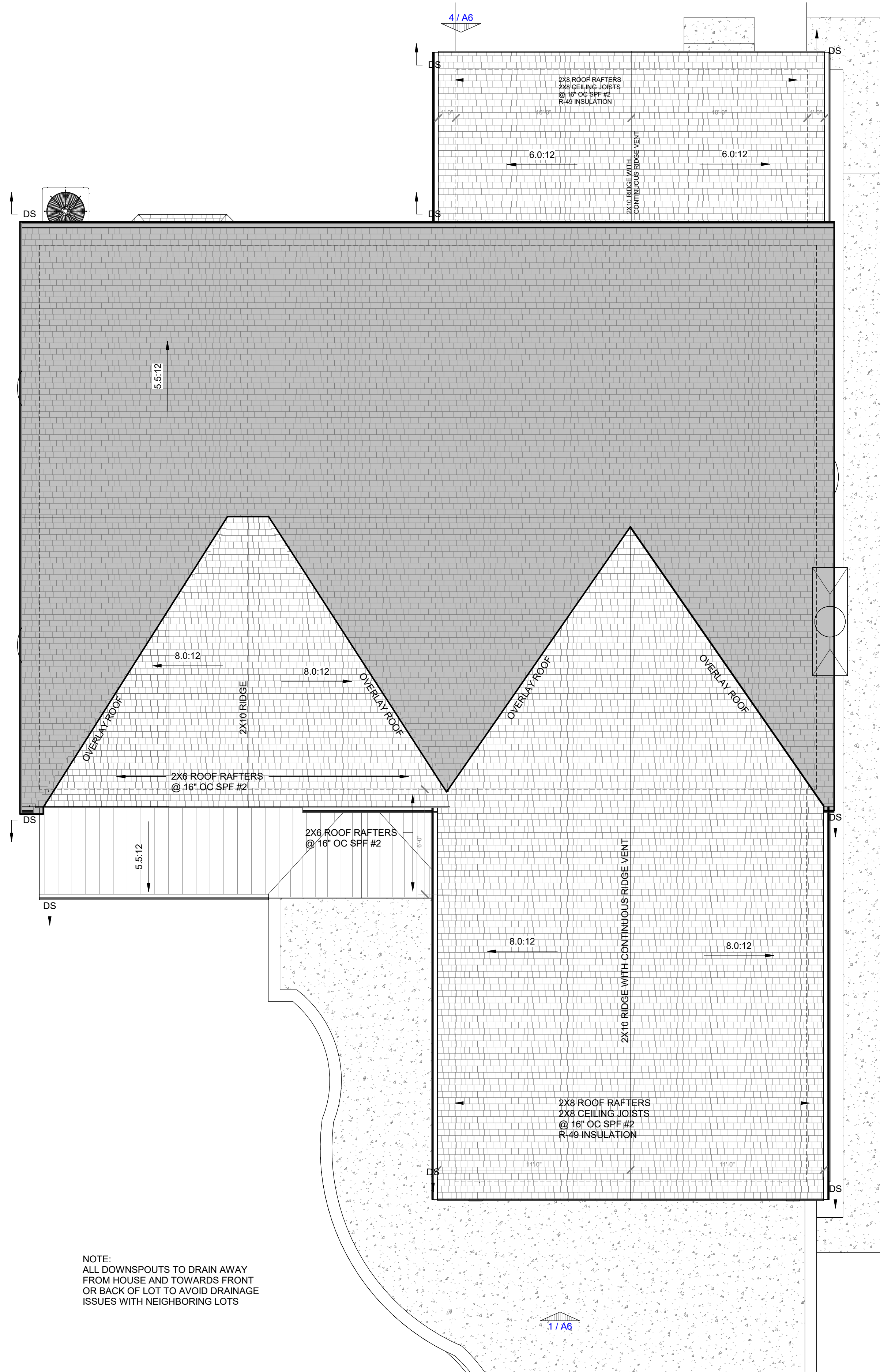
SHEET TITLE
3D VIEWS

SHEET NUMBER

3D

R905.1.2 ICE BARRIERS

IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING S BACKUP OF WATER AS DESIGNATED IN TABLE R901.2(1), AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLE, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWE THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUIDLING. ON ROOF SLOPES WITH SLOPE EQUAL TO OR GREATER THAN 8 UNITS VERTICAL IN 12 UNITS HORIZONTAL, THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.



NOTE:
ALL DOWNSPOUTS TO DRAIN AWAY FROM HOUSE AND TOWARDS FRONT OR BACK OF LOT TO AVOID DRAINAGE ISSUES WITH NEIGHBORING LOTS



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EMAIL: KEVINJADB@GMAIL.COM
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ADDITION TO THE TYLER RESIDENCE

613 S BRISTOL LANE
ARLINGTON HEIGHTS, IL 60005

DATE

1- 07/30/2025

ISSUE DATE

1- 07/30/2025 1 - DESIGN REVIEW

NOT FOR CONSTRUCTION

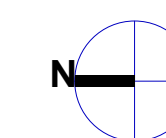
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SHEET TITLE
ROOF PLAN & STAIR DETAILS

SHEET NUMBER

A5

1 ROOF PLAN
A5 1/4" = 1'-0"





VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
9/16/2025

Item: 608 N. Dunton Ave. - ZBA25-027
Department: Planning & Community Development

Item Description:

REQUEST

1. A 6.7-foot variation from Chapter 28, Section 5.1-3.a (Required Minimum Yards) to allow an addition with a 15.3-foot front yard setback where a 22-foot setback is required.
2. A 171 square-foot variation from Chapter 28, Section 5.1-3.4 (Maximum Floor Area Ratio) to allow a floor area ratio of 3,040 square-feet instead of the allowed 2,869 square-foot maximum.

ATTACHMENTS:

1. Exhibits_608 N Dunton Ave

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Darko Bojin, Assistant Planner
Hearing Date: September 16, 2025
Date Prepared: September 10, 2025
Project Title: Lynde Residence
Address: 608 N. Dunton Ave.

Background Information

Petition Number: ZBA #25-027
Petitioner: Lee Anne Butler – RBR Total Home Remodeling
Address: 11 W. College Dr. Suite M
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The property is zoned R-3 and has a total land area of approximately 6,375 square feet. The petitioner is proposing to construct an addition in the front and side of the house. This addition will have a 15.3-foot front yard setback where a 22-foot setback is required. Additionally, the building will have a floor area ratio of 3,040 square feet where the maximum floor area ratio, per Code, is 2,869 square feet. Therefore, the petitioner is requesting the following variations:

- A 6.7-foot variation from Chapter 28, Section 5.1-3.a (Required Minimum Yards) to allow an addition with a 15.3-foot front yard setback where a 22-foot setback is required.
- A 171 square-foot variation from Chapter 28, Section 5.1-3.4 (Maximum Floor Area Ratio) to allow a floor area ratio of 3,040 square-feet instead of the allowed 2,869 square-foot maximum.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/29/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/29/25	
3. Letter that was Mailed	✓	8/29/25	
4. Photographs of Sign on Property	✓	8/29/25	

Photographs of Existing Structure



NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Tuesday, September 16, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 6.7-foot variation from Chapter 28, Section 5.1-3.3(a) (Required Minimum Yards) to allow an extension of a covered front porch with a front setback of 15.3-feet instead of the required 22.0-foot minimum and an additional 1.0-foot for the eave.
- A 171 square-foot variation from Chapter 28, Section 5.1-3.4 (Maximum Floor Area Ratio) to allow a floor area ratio of 3,040 square-feet instead of the allowed 2,869 square-foot maximum.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planningmail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

That part of the Southwest ¼ of the Northwest ¼ of Section 29, Township 42 North, Range 22, East of the Third Principal Meridian, described as follows: Commencing at a point 133 feet North of center line of Section 29 in the center of Dunton Street running West 160.5 feet, thence South 50 feet along center line of street to place beginning in Cook County, Illinois. Commonly known as: 608 N. Dunton Avenue, Arlington Heights IL 60004.

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Aug. 30, 2025 (303677)

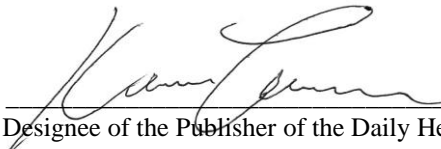
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 08/30/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 303677



Village of Arlington Heights



To: Lee Anne Butler
From: Darko Bojin
Department: Department of Planning and Community Development
File Number: ZBA 25-027
Project: 608 N. Dunton Ave.
Date: September 10, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the variance from Chapter 28, Section 5.1-3(a) (Required Minimum Yards) to an addition with a 15.3-foot front yard setback where a 22-foot setback is required. If you have any questions, please contact dbojin@vah.com:

Planning and Community Development

1. The design of the proposed addition is nicely done and received a formal Design Commission approval on July 8, 2025.

Building and Life Safety

1. No comments.

Engineering

1. No comments.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Casey Lynde & Katleen Corrigan
being the owner of the property commonly know as: 608 N. Dunton Ave.
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a
Variation from Section 5.1-3


Chapter 28, of the Arlington Heights Municipal Code, in order to: 1.) Reduce the required front yard setback from 22.0' to 15.9' to allow the continuation of the existing covered porch;
2.) Increase the allowed floor area from 2,869 SF to 3,040 SF

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): The requested variations are necessary to allow the design to conform with the existing neighborhood character. Without the variation, the front porch would not be allowed and the rear addition would be boxy.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): The location of the building on the property does not conform with the current zoning ordinance because the house was built pre-1890, before the zoning code was created.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): The proposed variation will help fit with the scale, massing, and style of the existing house because the existing design is being continued.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): The variations being requested are the minimum possible to achieve the desired outcome.

Signed: 
Petitioner

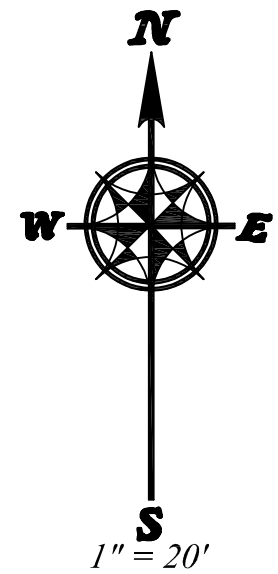
Date: 7/14/2025



MURRY AND MOODY, LTD.

Land Surveyors

Illinois Professional Land Surveying Firm Corporation License No. 184-002845
 933 S. Plum Grove Road, Suite 101
 Palatine, Illinois 60067
 www.murrysurvey.com info@murrysurvey.com Phone: (847)358-5960

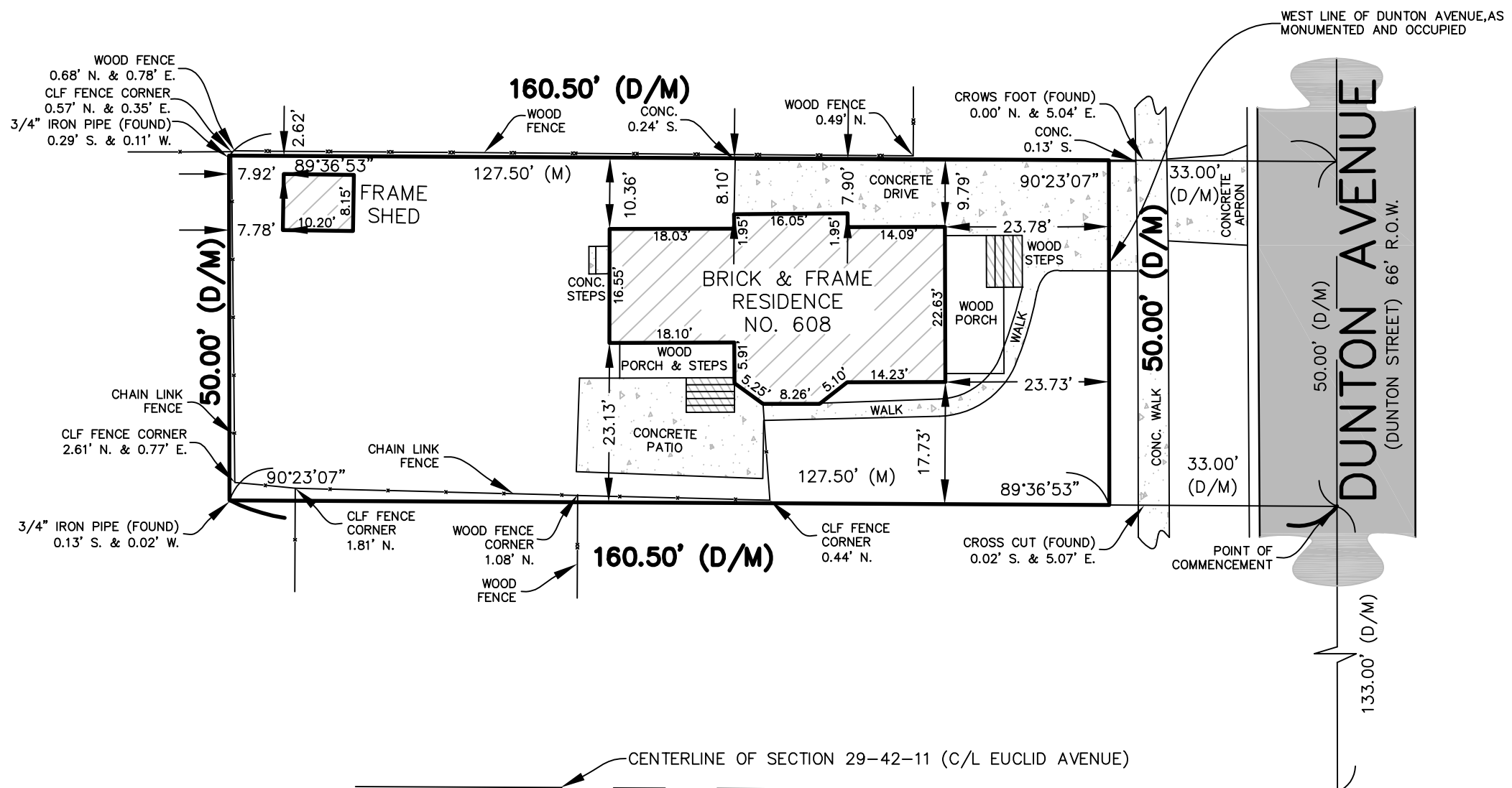


PLAT OF SURVEY

OF

THE PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT 133 FEET NORTH OF CENTER LINE OF SECTION 29 IN THE CENTER OF DUNTON STREET RUNNING THENCE WEST 160 1/2 FEET; THENCE NORTH 50 FEET; THENCE EAST 160 1/2 FEET; THENCE SOUTH 50 FEET ALONG CENTER LINE OF STREET TO PLACE OF BEGINNING IN COOK COUNTY, ILLINOIS.

AREA = 6,374.86 ± S.F. / 0.146 ACRES



LEGEND AND NOTES

Dimensions shown thus: 50.25 are feet and decimal parts thereof. Angular data shown thus: 90°00'00" indicate degrees, minutes and seconds.

50.25 / N 90°00'00" E indicates measure dimension / bearing.
 (50.25) / (N 90°00'00" E) indicates record dimension / bearing.
 [50.25 d] / [N 90°00'00" E d] indicates deed dimension / bearing.

Bearings shown hereon, if any, per local or assumed data, unless shown otherwise.

Compare your points before using same and report any differences immediately.

Check legal description with deed or title policy and report any discrepancy immediately. Building lines and easements, if any, shown hereon are as shown on the recorded subdivision plat or as indicated.

Order Number: 25-1089

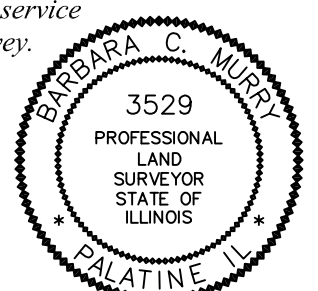
Survey Made For: RBR - Total Home Remodeling

STATE OF ILLINOIS } s.s. COUNTY OF COOK }

I, Barbara C. Murry, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the above described property, and that the above plat is a correct representation of said survey and that this professional service conforms to the current Illinois minimum standards for a boundary survey.

Date of completion of field work: April 11, 2025

Palatine, Illinois: April 16, 2025



Illinois Professional Land Surveyor - Barbara C. Murry 035-003529
 License Renewal date: November 30, 2026

Project Number: 25108900

Field Book: 393L23-25

Drawing File: 25108900.dwg

2 STORY ADDITION

608 N. DUNTON AVE. ARLINGTON HEIGHTS, IL 60004

SPECIFICATIONS

DESIGN LOADS
 FLOOR: 40 PSF LIVE LOAD
 10 PSF DEAD LOAD
 ROOF: 30 PSF LIVE LOAD
HANDRAILS: 50 PLF SIMULTANEOUS HORIZONTAL AND VERTICAL LOADS
STAIRWAYS: 200# CONCENTRATED IN ANY DIRECTION

CONSTRUCTION TYPE = VA
 BUILDING IS NOT SPRINKLERED

DIVISION 1 - GENERAL REQUIREMENTS
 THE GENERAL CONDITIONS GOVERNING THE WORK SET FORTH IN THE FOLLOWING SPECIFICATIONS AND ACCOMPANYING DRAWINGS SHALL BE THE STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" DOCUMENT A201, 1987 EDITION.

THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. ANY ITEMS REFERRED TO IN EITHER SHALL BE INCLUDED IN THE WORK. ANY ITEMS WHICH ARE NECESSARY FOR COMPLETION OF THE WORK AND ARE NOT SPECIFICALLY MENTIONED OR DRAWN BUT ARE IMPLIED IN ORDER TO COMPLETE THE WORK, SHALL BE FURNISHED AND INSTALLED AS PART OF THE WORK.

ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STATUTES, ORDINANCES AND REGULATIONS OF THE VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY OMISSION OR DISCREPANCY IN THE DRAWINGS OR ANY VARIATIONS IN DIMENSIONS OR CONDITIONS ON THE SITE FROM THOSE ON THE DRAWINGS BEFORE THE START OF THE WORK. CHANGES IN THE WORK REQUIRED BY FIELD CONDITIONS SHALL NOT BE MADE WITHOUT THE APPROVAL OF THE ARCHITECT.

CONTRACTOR SHALL OBTAIN BUILDING PERMIT AND ARRANGE AND SUPERVISE ALL INSPECTIONS.

UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, TOOLS, LABOR AND ALL OTHER ITEMS NECESSARY TO COMPLETE THE WORK. MATERIALS SHALL BE NEW, UNLESS APPROVED BY THE ARCHITECT AND THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS.

CONTRACTOR SHALL GUARANTEE THE WORK AND MATERIALS FOR ONE (1) YEAR.

DIVISION 2 - SELECTIVE DEMOLITION
 REMOVE ALL CONSTRUCTION MATERIAL EXCEPT FOUNDATION.

DIVISION 3 - CONCRETE
 CONCRETE WORK IS NOT PART OF THIS JOB

DIVISION 4 - MASONRY
 MASONRY WORK IS NOT PART OF THIS JOB

DIVISION 6 - CARPENTRY
 CONTRACTOR SHALL BE RESPONSIBLE FOR A COMPLETE PRELIMINARY LAYOUT OF THE PROJECT SHOWN ON THE ATTACHED DRAWINGS USING CHALK, STRINGS, ETC. BEFORE INSTALLING ANY WALLS, PARTITIONS, CEILINGS, BLOCKING, OPENINGS, ETC. AND ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

STRESS GRADE OF LUMBER SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENERS NCMIA LATEST EDITION WITH A FIBER STRESS IN BENDING OF NOT LESS THAN 1,000 PSI.

ITEMS INCLUDED IN THE PROJECT INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

INSTALL BLOCKING FOR OTHER TRADES SUCH AS ELECTRICAL FIXTURES, DRYWALL, PLUMBING, ETC.

BEAMS AND JOISTS SUPPORTING BEARING WALLS OR OTHER CONCENTRATED LOADS SHALL NOT BE NOTCHED. JOISTS EXCEPT AS ABOVE MAY BE NOTCHED NO DEEPER THAN 1/4 THE DEPTH AT THE TOP EDGE ONLY, PROVIDED SUCH NOTCH IS LOCATED WITHIN 1/8 TO 1/4 OF SPAN FROM FACE OF SUPPORT. SAWCUTS FOR NOTCHES SHALL NOT OVERRUN THE DEPTH OF THE NOTCH. HOLES IN JOISTS AND BEAMS SHALL NOT BE LARGER IN DIAMETER THAN 1/3 THE DEPTH OF MEMBER. ALL HOLES SHALL BE CENTERED WITHIN DEPTH OF MEMBER. HOLES AND NOTCHES IN STUDS SHALL BE LOCATED WITHIN 1/3 OF HEIGHT FROM EITHER TOP OR BOTTOM BUT NO CLOSER THAN 8" FROM PLATES. HOLES IN EXTERIOR STUDS SHALL NOT EXCEED 1-3/8" Ø AND SHALL NOT BE NOTCHED.

INSTALL ALL BEAMS AND JOISTS WITH CROWN UP.

ANY NEW WALL WHICH CONTAINS ANY PLUMBING OR MECHANICAL PIPING AND/OR DUCTWORK MUST HAVE A MINIMUM DEPTH OF THE STRUCTURAL MEMBERS OF 5/2" BORED HOLES SHALL NOT EXCEED MORE THAN 5/8" OF THE STUD REMAINING TO THE EDGE.

INSTALL BRIDGING BETWEEN ALL FLOOR JOISTS THAT EXCEED 8'-0" IN LENGTH. ALL BRIDGING THAT IS REMOVED DURING CONSTRUCTION SHALL BE REINSTALLED.

INSTALL SOLID BLOCKING BETWEEN JOISTS AND STUDS WHERE SHEATHING OR DECKING IS NOT CONTINUOUS.

ALL FRAMING MEMBERS SHALL ALIGN WITH ADJACENT MEMBERS AND FORM ACCURATE ANGLES AS NOTED ON THE PLANS AND SHALL NOT VARY MORE THAN 1/8" IN 12'-0" IN LENGTH FROM POINT TO POINT.

ALL PLYWOOD SHALL BE PLACED WITH GRAIN RUNNING PERPENDICULAR TO SUPPORTS AND CONTINUOUS OVER A MINIMUM OF TWO (2) SUPPORTS WITH ALL JOINTS FALLING OVER CENTER OF SUPPORT. ALL HORIZONTAL SHEATHING SHALL BE STAGGERED.

PROTECT ALL PLYWOOD FROM MOISTURE DURING THE FRAMING PERIOD AND COMPLETELY PROTECTED FROM THE ELEMENTS. ALL SHEATHING THAT BECOMES EXCESSIVELY WET OR SHOWS ANY TRACE OF LAYER SEPARATION SHALL BE REPLACED.

USE ONLY WIRE NAILS OR SPIKES. NO STAPLES WILL BE APPROVED. NO SPLITS IN FRAMING LUMBER WILL BE ALLOWED AND MUST BE REPLACED. BEFORE INSTALLING FLOOR DECKING, A CONTINUOUS BEAD OF SUBFLOOR ADHESIVE SHALL BE INSTALLED OVER EACH JOIST. FIT ALL TONGUES AND GROOVES FIRMLY TOGETHER BEFORE NAILING TO JOISTS.

ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH UNLESS NOTED OTHERWISE ON THE DRAWINGS AND GRADED IN ACCORDANCE WITH THE STANDARD GRADING RULES OF WMPA OR RULE NO. 16 OF WCLB, AS FOLLOWS:
 LIGHT FRAMING - NO. 2 AND BETTER
 STUDS - NO. 2 AND BETTER
 JOISTS AND PLANKS - NO. 1 AND BETTER
 BEAMS AND STRINGERS - DENSE NO. 1 AND BETTER
 ALL LUMBER SHALL BE SEASONED TO 19% MAXIMUM MOISTURE CONTENT.

NOTE:
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING CODES FOR ARLINGTON HEIGHTS, IL:

2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
 2018 INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS
 2018 INTERNATIONAL FIRE CODE WITH AMENDMENTS
 2018 INTERNATIONAL FUEL GAS CODE WITH AMENDMENTS
 2021 IECC - ILLINOIS ENERGY CONSERVATION CODE WITH AMENDMENTS
 2014 ILLINOIS STATE PLUMBING CODE WITH AMENDMENTS
 2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS

DIVISION 6 - CARPENTRY (CONTINUED)
 ALL WOOD THAT CONTACTS CONCRETE OR MASONRY OR IS EXPOSED TO THE EXTERIOR SHALL BE PRESSURE TREATED IN ACCORDANCE WITH UBC STANDARDS 25-12 OR NATURALLY DURABLE.

ALL INTERIOR SUBFLOORING SHALL BE 3/4" TONGUE AND GROOVE PLYWOOD, NAILED AND GLUED TO JOISTS.

PLUMBING WALLS WITH HORIZONTAL DRAIN, WASTE AND VENT PIPING SHALL BE FRAMED WITH 2"x6" STUDS.

EXTERIOR STUD WALLS SHALL BE 2"x6" STUDS SPACED AT 16" O.C. UNLESS NOTED OTHERWISE.

TOP PLATES SHALL BE DOUBLED ON ALL WALLS.

DIVISION 7 - MOISTURE PROTECTION, INSULATION AND ROOFING
 FURNISH AND INSTALL R-20 BATT INSULATION WITH VAPOR BARRIER AT EXTERIOR WALLS.

EXPOSED CAVITIES IN EXISTING EXTERIOR WALLS AND CEILINGS OPENED DURING CONSTRUCTION SHALL BE FILLED WITH INSULATION.

FURNISH AND INSTALL R-49 INSULATION WITH VAPOR BARRIER AT CEILING. MAINTAIN A 1" MINIMUM AIR SPACE BETWEEN SUBROOF AND INSULATION.

PROVIDE CAULKING AT ALL OPENINGS THROUGH EXTERIOR WALLS INCLUDING BACK-UP FILLER WHERE REQUIRED. CAULK SHALL BE SILICONE BASE NON-STAINING TYPE.

ALL SLOPED ROOF SURFACES TO BE FINISHED WITH 30 YEAR WARRANTY ASPHALT OR FIBERGLASS SHINGLES (COLOR TO BE DETERMINED BY OWNER).

DIVISION 8 - DOORS, WINDOWS AND HARDWARE
 ALL NEW WINDOWS ARE TO BE PELLA LIFESTYLE SERIES OR EQUAL.

SCREENS ARE TO BE PROVIDED FOR ALL OPERABLE SASH WINDOWS. NEW INTERIOR DOORS TO BE SOLID CORE WOOD.

DIVISION 9 - FINISHES
 ALL FINISH COLORS AND MATERIALS TO BE SELECTED BY OWNER.

PROVIDE 1/2" THICK GYPSUM WALLBOARD ON INTERIOR FACE OF EXTERIOR WALLS AND ON BOTH SIDES OF INTERIOR PARTITIONS.

PROVIDE 1/2" THICK GYPSUM WALLBOARD ON CEILINGS.

PROVIDE 1/2" THICK TYPE W/IR U. S. GYPSUM SHEETROCK OR APPROVED EQUAL FOR ALL BATHROOM WALLS AND CEILINGS.

PROVIDE "DURROCK" CEMENT BOARD AT TUB AND SHOWER SURROUNDS.

GYPSUM BOARD WORK AND MATERIALS SHALL MEET ALL REQUIREMENTS OF ANSI NO. A97-1 FOR THE APPLICATION AND FINISHING OF WALLBOARD. JOINT COMPOUND SYSTEM SHALL BE MIXED, APPLIED AND FINISHED IN COMPLIANCE WITH MANUFACTURER'S PRINTED DIRECTIONS. TO BE INVISIBLE AFTER FINISHING, INCLUDING ALL METAL CORNER BEAD AND TRIM.

ALL MATERIALS, INSTALLATION AND WORKMANSHIP FOR CERAMIC TILE SHALL COMPLY WITH ANSI SPECIFICATIONS 1.134 AND 1.135 AND "HANDBOOK FOR CERAMIC TILE INSTALLATION" PUBLISHED BY THE TILE COUNCIL OF AMERICA AND ARE HEREBY MADE PART OF THIS SPECIFICATION. ALL TILE SHALL COMPLY WITH ANSI SPECIFICATIONS FOR CERAMIC TILE 137.1. JUNCTION BETWEEN DISSIMILAR SURFACES TO BE GROUTED WITH A SILICONE RUBBER SEALANT OR APPROVED EQUAL.

DIVISION 15 - PLUMBING
 - ALL WATER PIPE SHALL BE SIZED IN ACCORDANCE WITH ILLINOIS PLUMBING CODE APPENDIX A, TABLES M & N
 - ALL BRANCH DRAIN AND VENT PIPING SHALL BE SIZED IN ACCORDANCE WITH ILLINOIS PLUMBING CODE APPENDIX A, TABLES E, F & G
 - ALL PLUMBING FIXTURES SHALL BE OF WATER SENSE TYPE 1.28 GPF TOILETS, 1.5 GPM LAVATORIES AND 2.0 GPM SHOWER HEADS.
 - LAVATORIES SHALL BE PROVIDED W/1017 OR 1070 STANDARD MIXING VALVE (IPC 890.680 (E))
 - ALL VENT/WASTE PIPE TO BE SCHEDULE 40 PVC OR CAST IRON
 - UNDERGROUND SANITARY TO BE SCHEDULE 40 PVC OR SERVICE WEIGHT CAST IRON
 - ALL COPPER ABOVE GROUND TO BE "L" TYPE
 - ALL COPPER BELOW GROUND TO BE "K" TYPE
 - ALL COPPER FITTINGS TO BE FORGED WITH NO LEAD/SOLDER/FILUX
 - PROVIDE 24" AIR CHAMBERS ON ALL MAIN WATER RISERS
 - PROVIDE 12" AIR CHAMBERS ON ALL FIXTURES
 - PROVIDE SHUT-OFF STOPS ON ALL FIXTURES
 - TEMPERED HOT WATER NOT TO EXCEED 110°F TO BE SUPPLIED TO PUBLIC LAVATORIES
 - 75 LB AIR TEST OR WATER PRESSURE TEST REQUIRED ON WATER PIPING AT TIME OF ROUGH INSPECTION
 - ALL EXISTING PLUMBING THAT MAY POSE A HEALTH OR SAFETY HAZARD MUST BE REVISED TO MEET ILLINOIS PLUMBING CODE AND VILLAGE OF ARLINGTON HEIGHTS ORDINANCES
 - ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE AND VILLAGE OF ARLINGTON HEIGHTS ORDINANCES
 - ALL PIPING FOR ABANDONED PLUMBING FIXTURES SHALL BE DISCONNECTED AT THE SOURCE AND CAPPED, NO DEAD ENDS.
 - ISOLATION VALVES SHUT-OFF VALVES SHALL BE INSTALLED TO PERMIT THE WATER SUPPLY TO ALL EQUIPMENT AND/OR FIXTURES IN EACH SEPARATE ROOM TO BE SHUT OFF WITHOUT INTERFERING WITH THE WATER SUPPLY TO ANY OTHER ROOM OR PORTION OF THE BUILDING. FOR PLUMBING EQUIPMENT OR FIXTURES THAT ARE INSTALLED BACK-TO-BACK IN ADJACENT ROOMS, A COMMON SHUT-OFF VALVE MAY BE USED TO SHUT OFF THE WATER SUPPLY TO THE BACK-TO-BACK FIXTURES IN NO MORE THAN 2 ADJACENT ROOMS.
 - PROVIDE R-3 INSULATION AT HOT WATER PIPES 1/2" AND LARGER.
 - PLUMBING WORK SHALL BE PERFORMED BY AN ILLINOIS LICENSED PLUMBER.
 - NEW AND REPLACEMENT PLUMBING FIXTURES SHALL BE "WATERSENSE"
 - DISHWASHER DRAIN LINE SHALL BE SECURED OR LOOPED TO THE UPPERMOST PART OF THE UNDERSIDE OF THE COUNTERTOP AND SHALL NOT CONNECT TO THE GARBAGE DISPOSAL.

NOTE:
 CONSTRUCTION HOURS SHALL BE BETWEEN
 • 7:00AM & 7:00PM, MONDAY THROUGH FRIDAY
 • 8:00AM & 6:00PM, SATURDAY & SUNDAY

GEOGRAPHICAL DATA CRITERIA
 WIND LOAD = 115 MPH, 3-SECOND GUST WIND SPEED
 SNOW LOAD = 25 PSF

DIVISION 15 - PLUMBING (CONTINUED)
 - BATH/SHOWER CONTROLS SHALL HAVE A WATER TEMPERATURE SAFETY DEVICE TO PREVENT SUDDEN CHANGES IN WATER TEMPERATURE SET TO A MAXIMUM TEMPERATURE OF 115°F
 - COPPER WATER LINES SHALL NOT BE INSTALLED IN DIRECT CONTACT WITH METAL ELECTRICAL CONDUITS

DIVISION 15.7 - MECHANICAL HEATING, VENTILATION AND AIR CONDITIONING
 CONTRACTOR SHALL INSTALL SOFFIT AND ROOF VENTS AT THE RATIO OF 1 S.F. PER 150 S.F. OF ATTIC FLOOR AREA.

THE EXTENT OF THE WORK IS TO INSTALL (1) SPLIT SYSTEM HVAC SYSTEM.

ALL WORK AND MATERIALS SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES.

ALL DUCTWORK SHALL BE GALVANIZED SHEET METAL, 30 GAGE FOR DUCTS LESS THAN 14" AND 28 GAGE FOR DUCTS LARGER THAN 14".

ALL GALVANIZED STEEL SHALL CONFORM TO ASTM A525.

TRANSFER DUCTS SHALL NOT EXCEED 5'-0".

THE MINIMUM AMOUNT OF AIR SUPPLIED TO OR EXHAUSTED FROM A ROOM SHALL BE 50 CFM.

FLOOR REGISTERS SHALL BE PLACED NO MORE THAN 9" FROM A WALL.

ALL DAMPERS SHALL BE "LOCK TYPE".

WARM AIR HEATING SYSTEM SHALL HEAT ALL ROOMS TO BE HEATED TO A DESIGN TEMPERATURE DIFFERENCE OF 80°F

ALL ROOMS SHALL BE CAPABLE OF BEING HEATED TO A MINIMUM OF 68°F

ALL DUCTWORK SHALL BE RIGID.

DUCTWORK IN UNCONDITIONED ATTIC SHALL BE R-8 MINIMUM.

ALL JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS AND CONNECTIONS IN DUCTWORK SHALL BE SECURELY FASTENED AND SEALED WITH WELDS, GASKETS, MASTICS, MASTIC-PLUS-EMBEDDED-FABRIC SYSTEMS OR TAPES

METAL DUCTS SHALL BE SUPPORTED BY 1/2" WIDE 18-GAGE METAL STRAPS OR 12-GAGE GALVANIZED WIRE AT INTERVALS NOT EXCEEDING 10 FEET OR OTHER APPROVED MEANS. NONMETALLIC DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

MECHANICAL AND TOILET EXHAUSTS SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS

RETURN AIR SHALL NOT BE TAKE FROM KITCHENS, LAUNDRY ROOMS, AND BATHROOMS.

ALL JOINTS IN DUCTWORK (SUPPLY, RETURN, AND EXHAUST) SHALL BE SEALED ACCORDING TO UL 181 STANDARDS.

DIVISION 16 - ELECTRICAL
 PROVIDE ARC-FAULT CIRCUIT INTERRUPTER BREAKERS FOR ALL OUTLETS AND LIGHTS.

ALL RECEPTACLES SHALL BE TAMPER-RESISTANT.

ALL ELECTRICAL CONNECTIONS SHALL MEET THE REQUIREMENTS OF COMMONWEALTH EDISON COMPANY AND SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE CODES.

ALL LIGHTING IS TO BE PROVIDED AS INDICATED ON DRAWINGS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

FURNISH AND INSTALL TELEPHONE, CABLE TV OUTLETS, SATELLITE TV OUTLETS, COMPUTER CABLE, DOORBELL CABLE AND ALL OTHER LOW VOLTAGE CABLE AS INDICATED ON DRAWINGS.

ALL LIGHTING IN CLOSETS SHALL BE SURFACE MOUNTED FLUORESCENT.

PROVIDE SMOKE DETECTORS IN EVERY BEDROOM AND ON EVERY LEVEL. SMOKE DETECTORS SHALL BE INTERCONNECTED SO THAT ALL WILL ALARM WHEN ONE (1) IS ACTIVATED.

90% OF NEW LUMINAIRES SHALL HAVE HIGH EFFICACY LAMPS.

PORCH SPECIFICATIONS

SOIL
 1. SOIL SHALL HAVE A BEARING CAPACITY OF 4000 PSF.

CONCRETE
 1. CONCRETE SHALL BE REGULAR WEIGHT, CONFORM TO ASTM C33 AND HAVE A COMPRESSIVE STRENGTH OF 3000 PSI.
 2. ALL CONCRETE SHALL BE FULLY CONSOLIDATED DURING PLACEMENT.
 3. CONCRETE WHEN PLACED SHALL HAVE A TEMPERATURE BETWEEN 50°F AND 70°F

TIMBER
 1. ALL COLUMNS, BEAMS AND JOISTS TO BE SOUTHERN PINE #1 OR BETTER, ALL OTHER LUMBER TO BE SOUTHERN PINE #2 OR BETTER.

2. LUMBER MUST HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESS VALUES PRIOR TO THE APPLICATION OF APPROPRIATE NDS ADJUSTMENT FACTOR:

A. SOUTHERN PINE:
 Fb = 1500 PSI (2X4,4X4), 1250 PSI (2X6), 1200 PSI (2X8), 1050 PSI (2X10), 975 PSI (2X12) 1350 PSI (6X6)
 Fv = 90 PSI (2X_4X4), 110 PSI (6X6)
 Fc PERP = 565 PSI (2X_4X4), 375 PSI (6X6)
 E = 1,600,000 PSI (2X_4X4), 1,500,000 PSI (6X6)

B. PARALLAM (LVL)
 Fb = 2088 PSI
 Fv = 177 PSI
 Fc PERP = 385 PSI
 E = 1,740,000 PSI

3. ALL MEMBERS SHALL BE PRESSURE TREATED WITH PRESERVATIVE(WOLMANIZED)

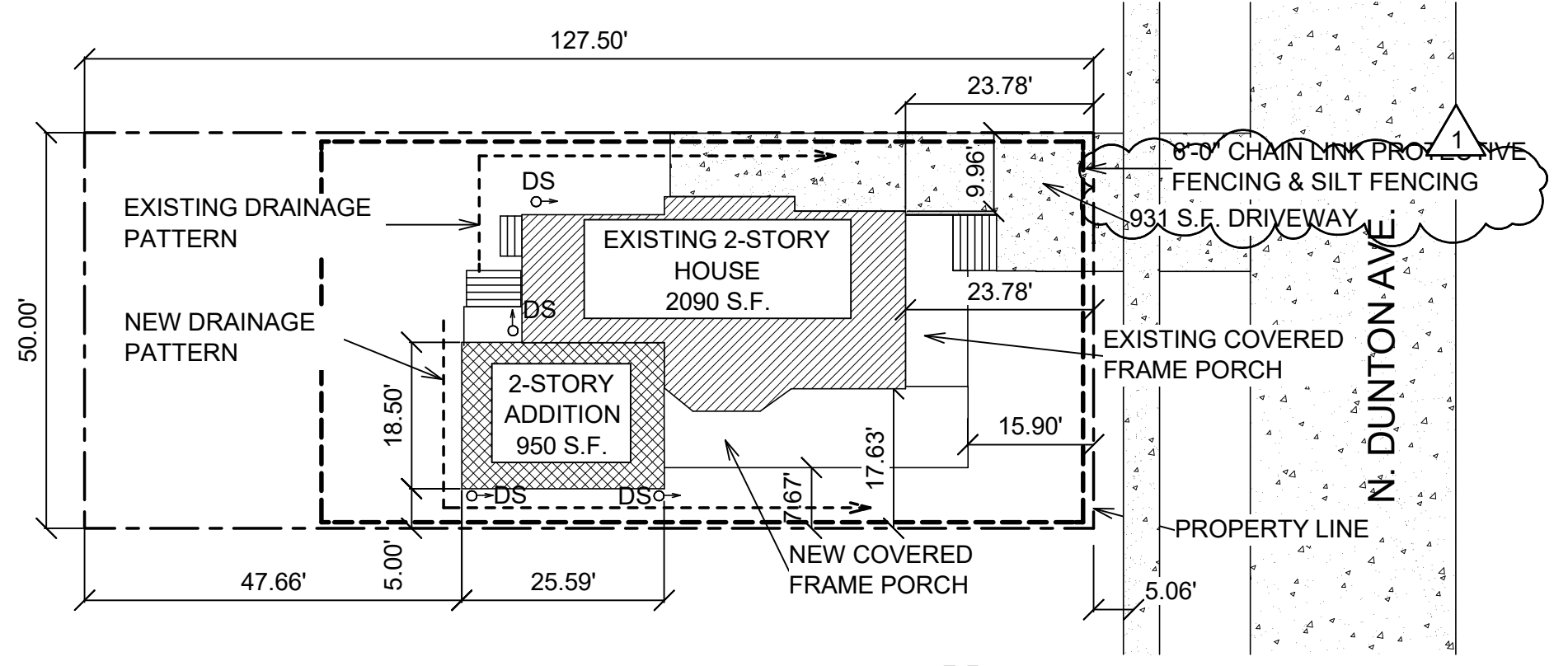
4. TIMBER FRAMING SHALL CONSIST OF NATURE PRODUCED OR MAN MADE SECTIONS, THE LATTER AS MANUFACTURED BY TRUS JOIST CORPORATION OR EQUAL

CONNECTIONS

1. ALL GALVANIZED FASTENERS, HANGERS, NAILS, BOLTS, STAPLES AND STEEL CONNECTORS OR PLATES SHALL CONFORM TO G185 HDG PER ASTM A653, BATCH/POST HOT-DIP GALVANIZED PER ASTM A123 FOR CONNECTORS AND ASTM A153 FOR FASTENERS, MECHANICALLY GALVANIZED FASTENERS PER ASTM B695, CLASS 55 OR GREATER

2. STAINLESS STEEL FASTENERS, HANGERS, NAILS, BOLTS, STAPLES AND STEEL CONNECTORS OR PLATES SHALL BE TYPE 304 OR 316 STAINLESS STEEL.

3. TIMBER CONNECTIONS SHALL BE APPROPRIATELY SIZED FOR THE PIECES JOINED AND MANUFACTURED BY TECO, SIMPSON OR EQUAL, USING NAIL SIZES AND QUANTITIES AS RECOMMENDED



SITE PLAN
 1"=20.0'

	ISSUED FOR ZBA REVIEW	07/14/25
1	REVISED ISSUED FOR PERMIT	03/10/25
	ISSUED FOR APPROVAL	02/04/25
	ISSUED FOR APPROVAL	01/16/25

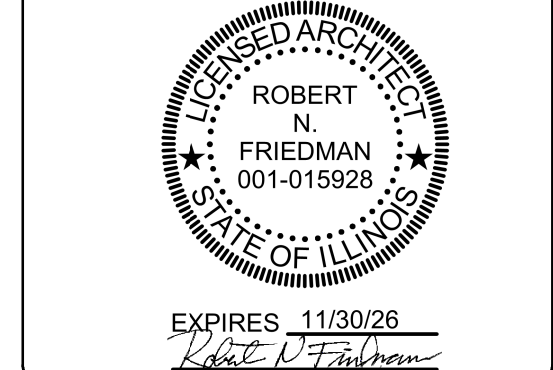
2 STORY ADDITION
608 N. DUNTON AVE.
ARLINGTON HEIGHTS, IL 60004

DRAWING INDEX

- A-1 • SPECIFICATIONS
 • SITE PLAN
- A-2 • EXISTING FLOOR PLANS
 • PORCH DETAILS
- A-3 • FOUNDATION PLAN
 • 1ST FLOOR PLAN
 • RETAINING WALL SECTIONS
- A-4 • 2ND FLOOR PLAN
 • ROOF PLAN
 • TYPICAL WALL SECTION
- A-5 • EXTERIOR ELEVATIONS
- A-6 • MEP PLANS
 • SCHEDULES
 • DETAILS

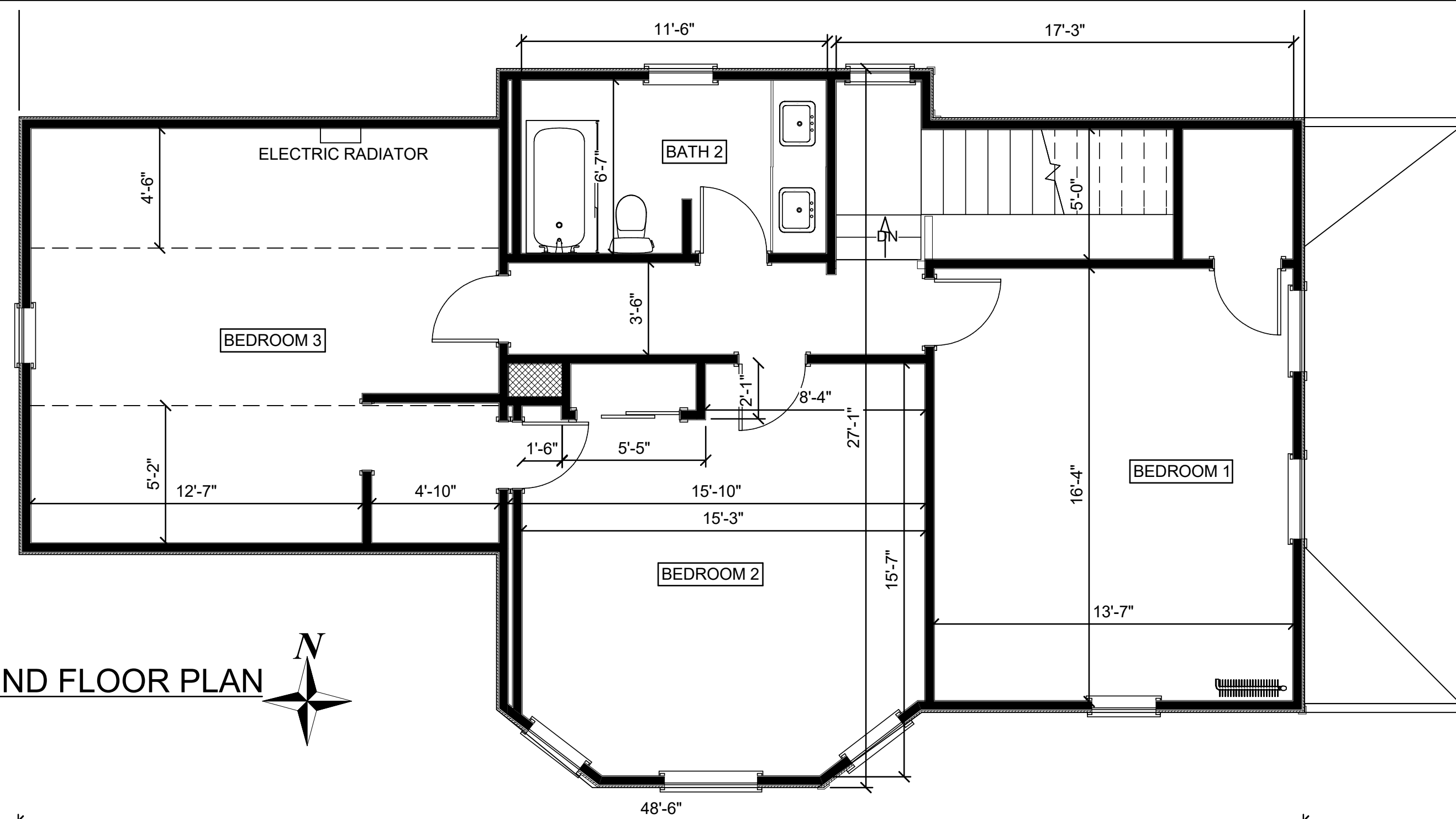
I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CODES AND ORDINANCES OF ARLINGTON HEIGHTS, ILLINOIS

Robert N. Friedman 2/20/25

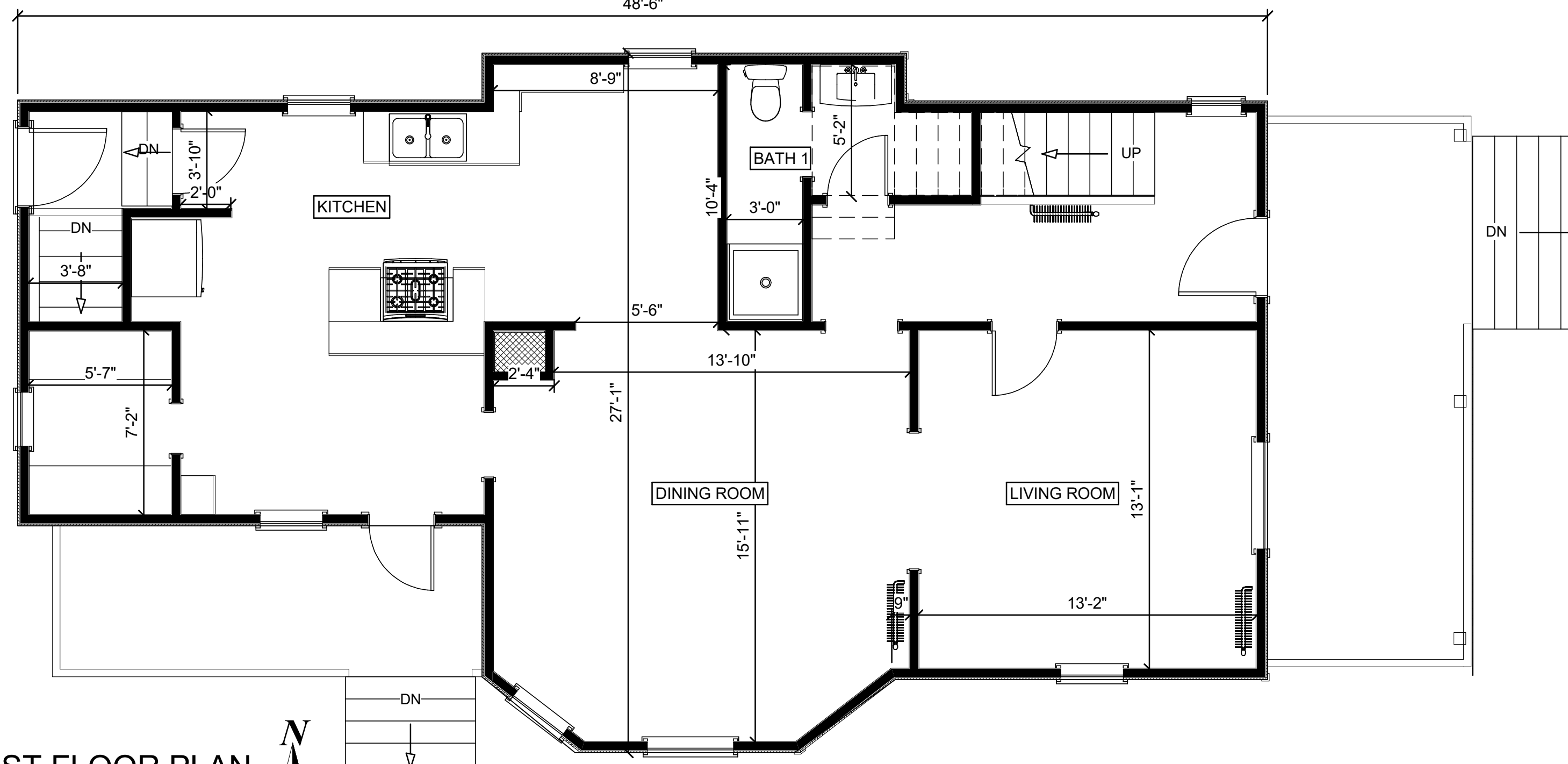


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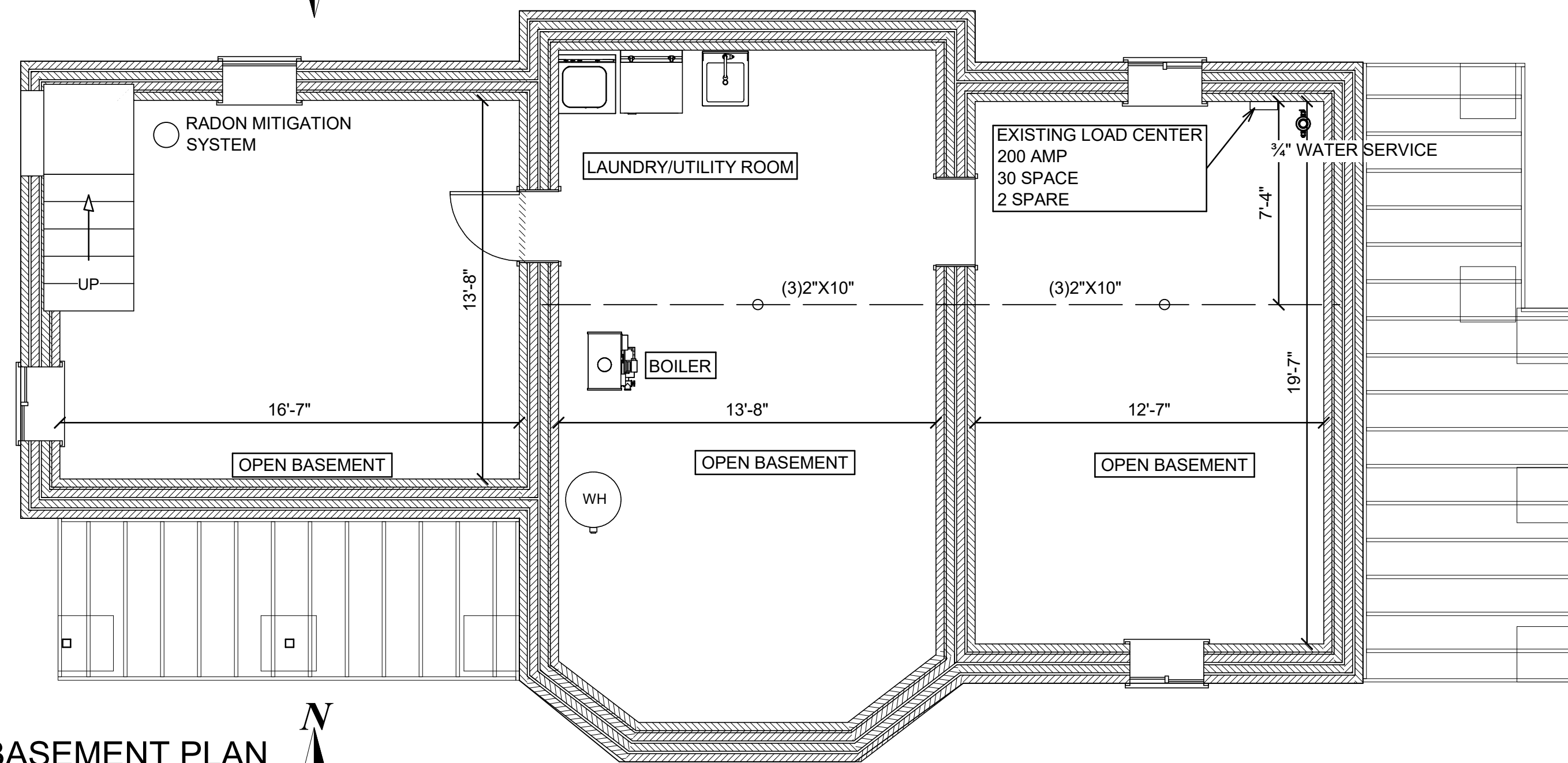
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A-1
 OF 6



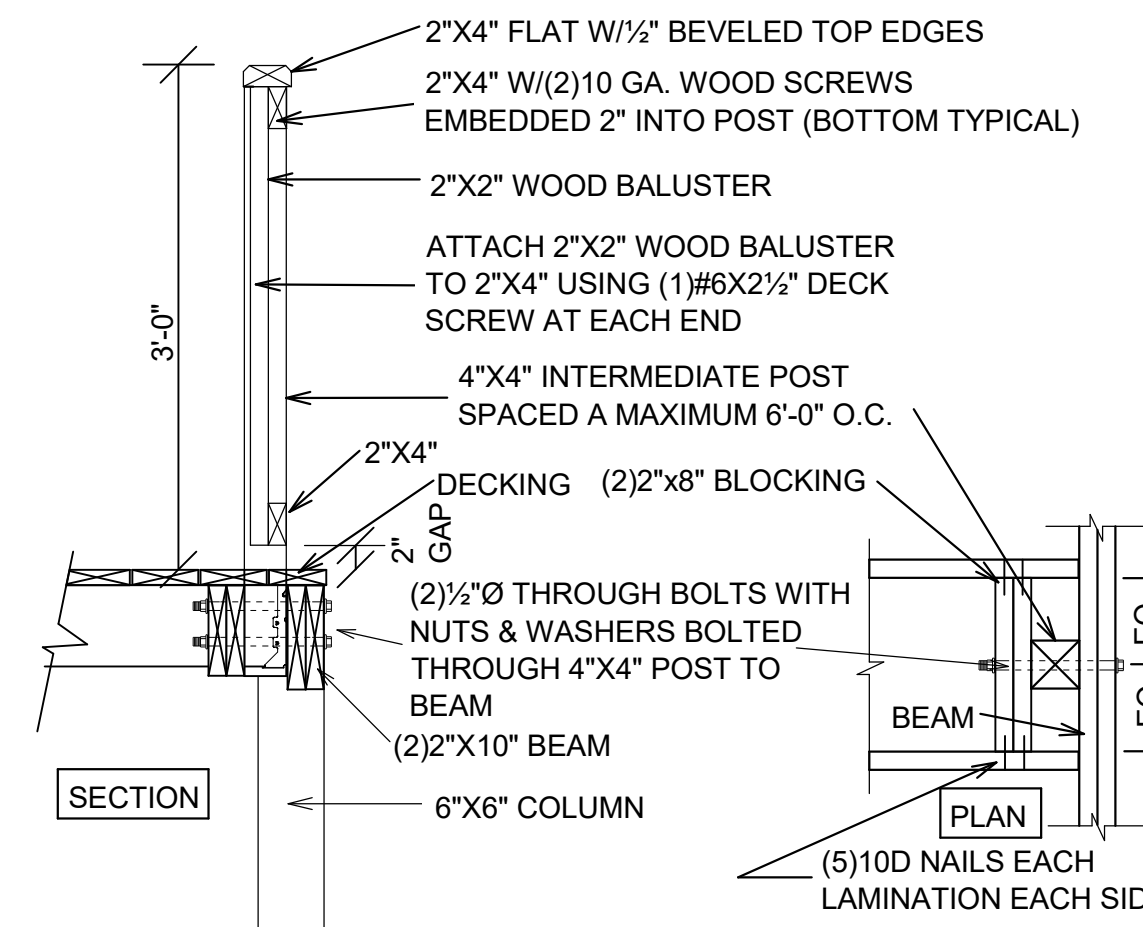
EXISTING/
DEMOLITION 2ND FLOOR PLAN
1/2"=1'-0"



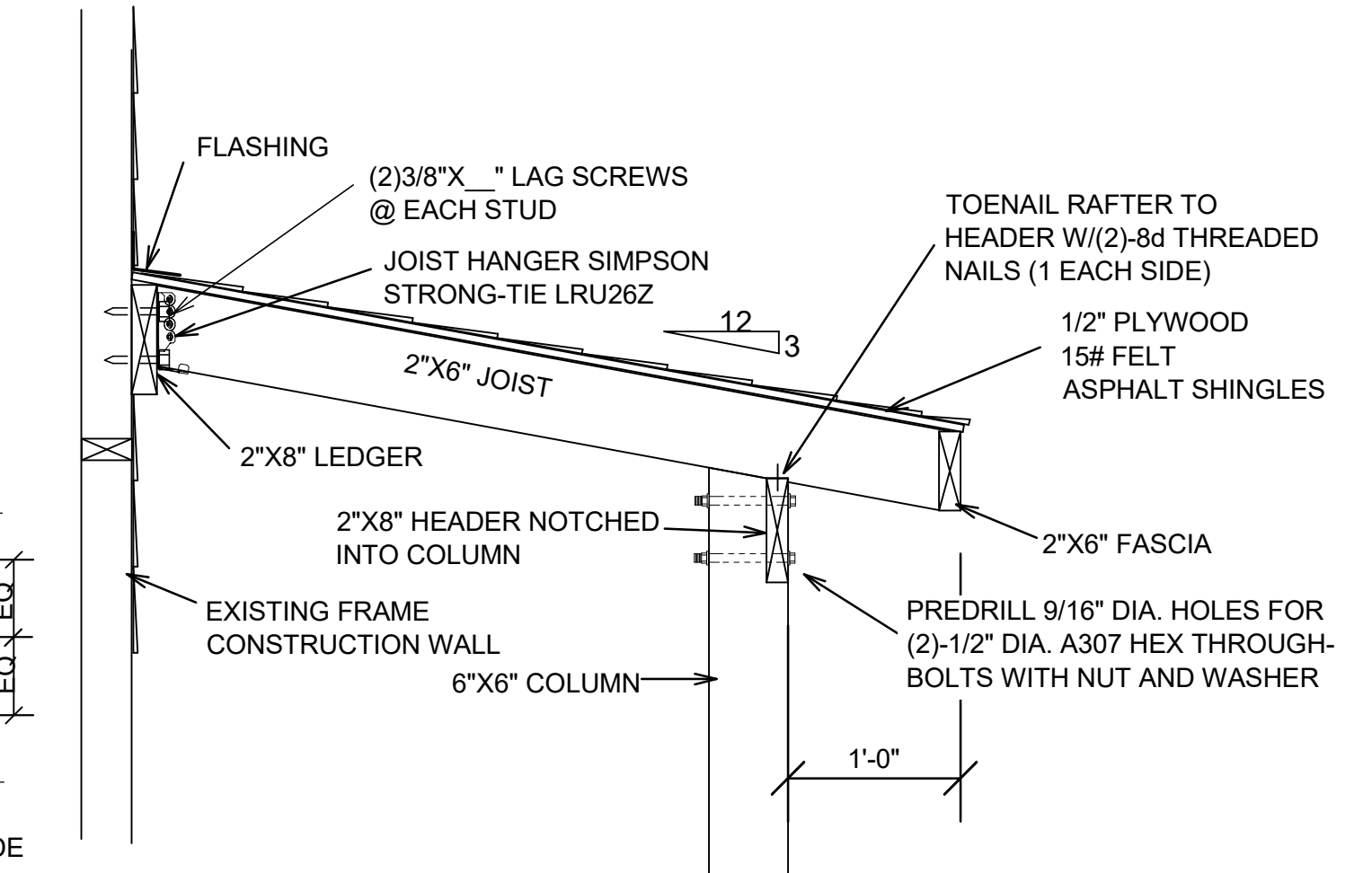
EXISTING/
DEMOLITION 1ST FLOOR PLAN
1/2"=1'-0"



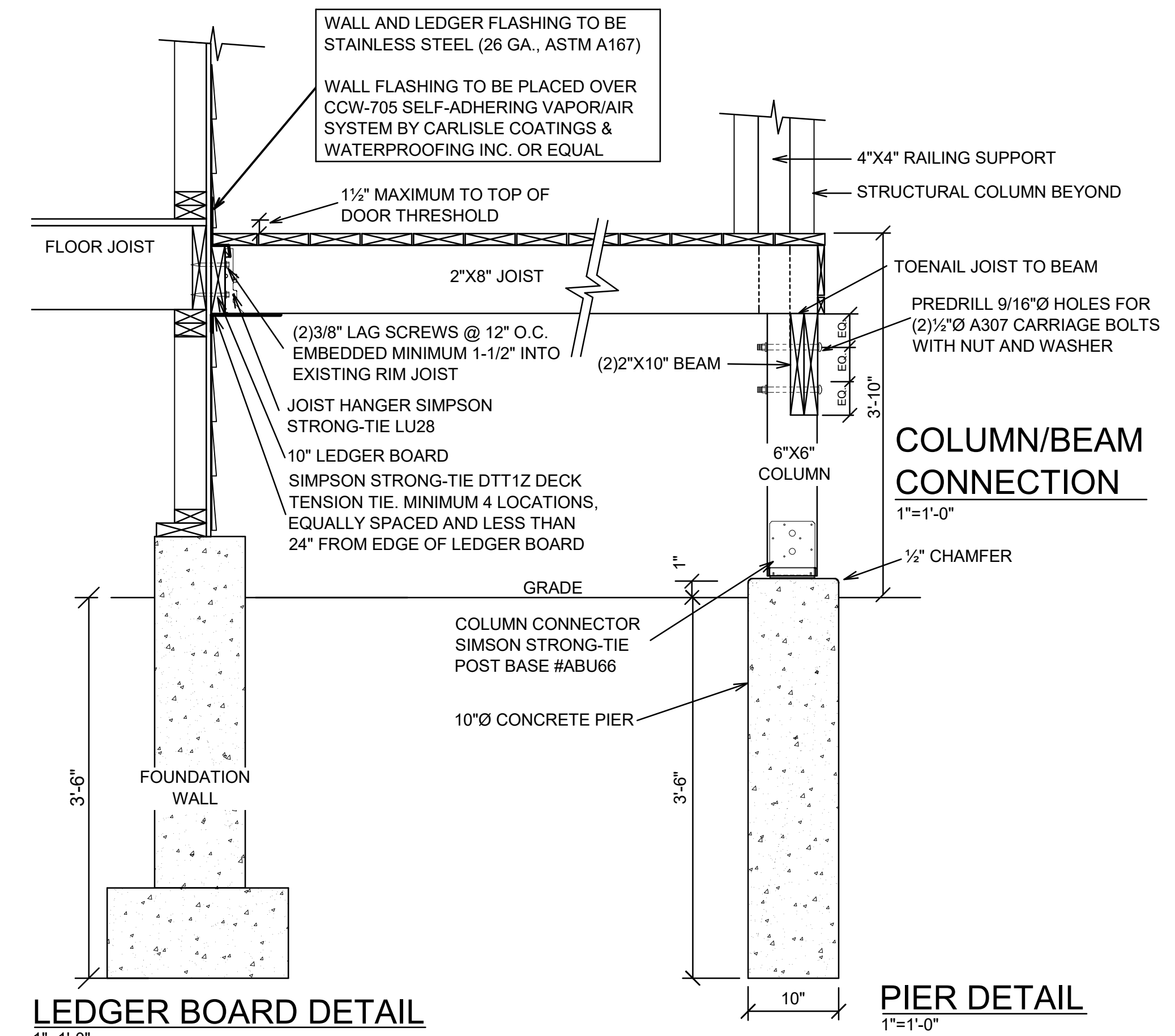
EXISTING/
DEMOLITION BASEMENT PLAN
1/2"=1'-0"



INTERMEDIATE POST AND
RAILING ATTACHMENT DETAIL
3/4"=1'-0"

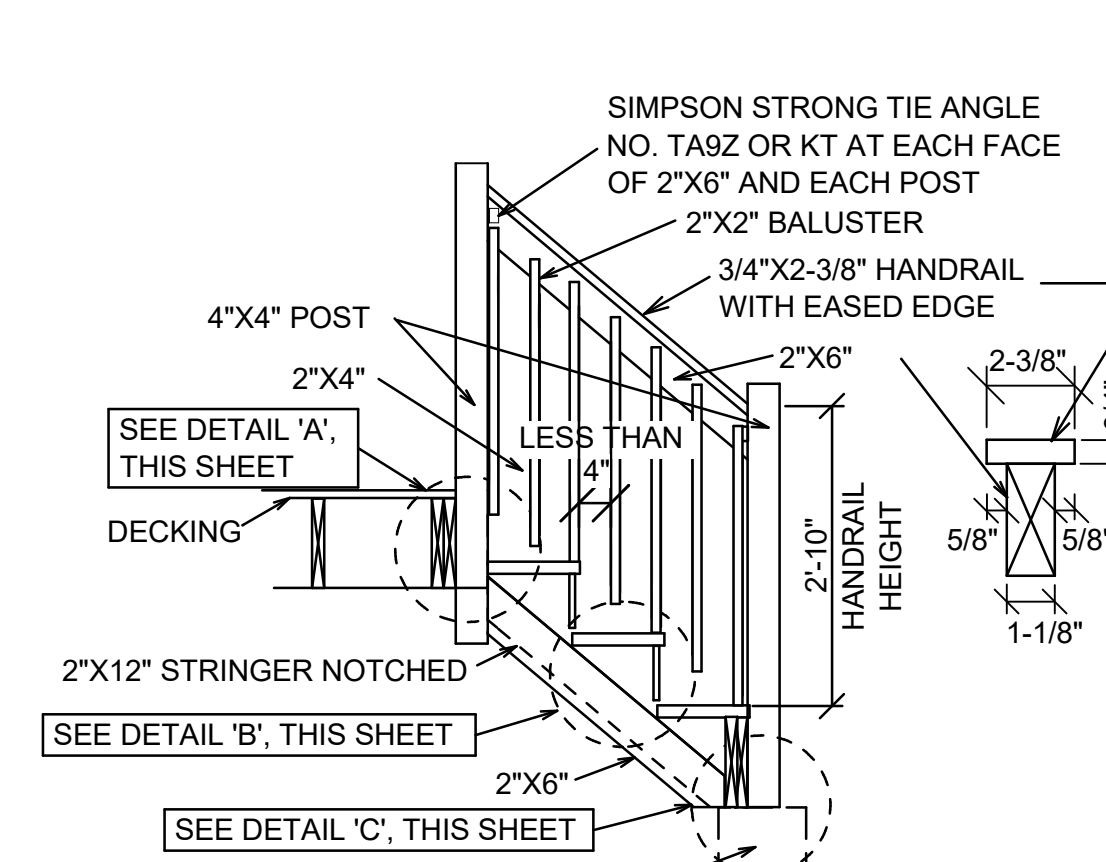


A COLUMN/HEADER CONNECTION
1"=1'-0"

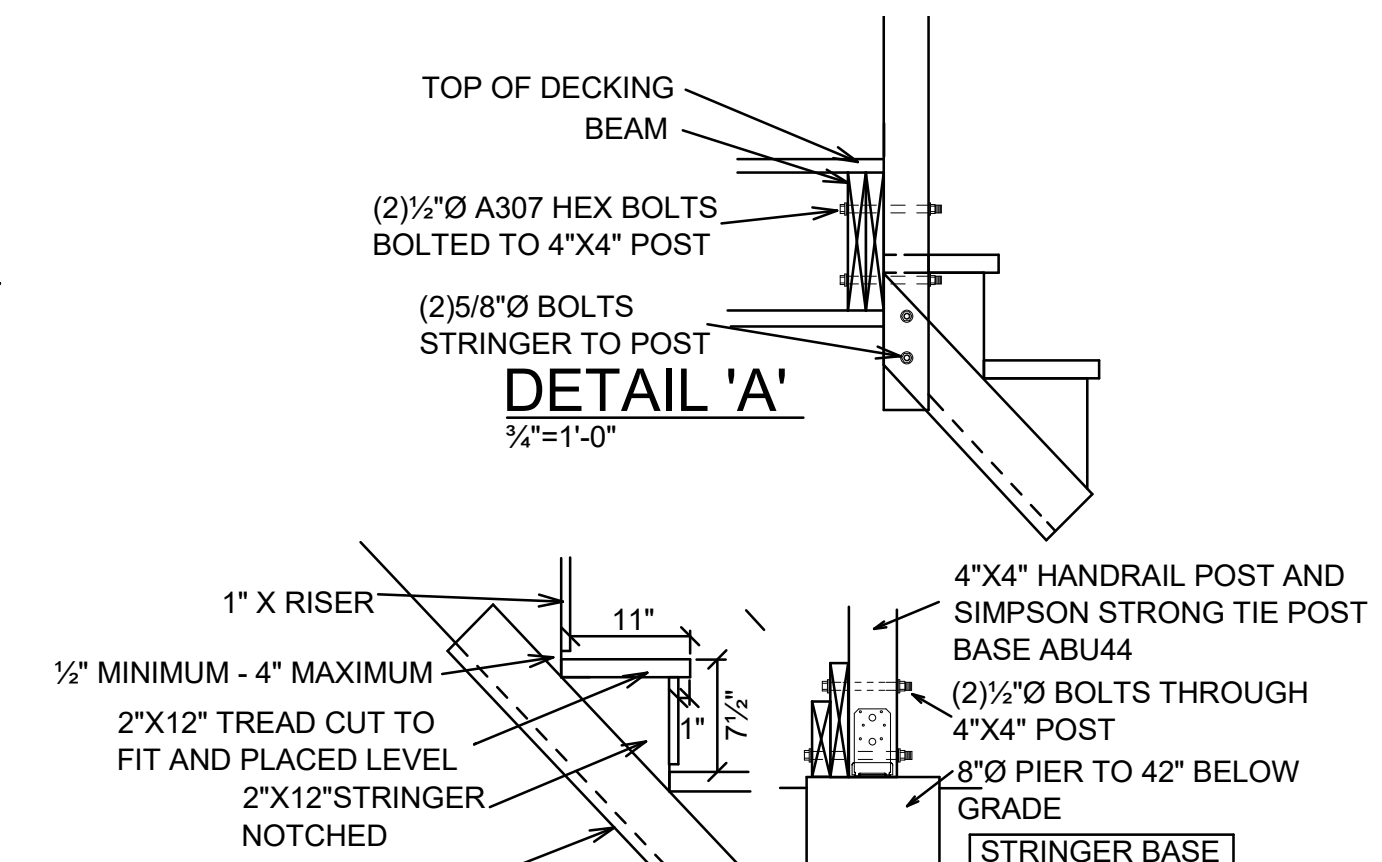


LEDGER BOARD DETAIL
1"=1'-0"

PIER DETAIL
1"=1'-0"



TYPICAL STAIR SECTION
1/2"=1'-0"

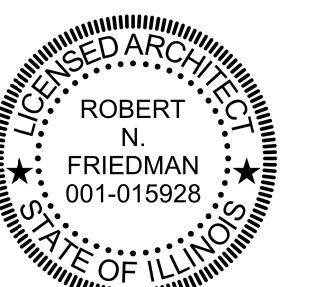


DETAIL 'B'
3/4"=1'-0"

DETAIL 'C'
3/4"=1'-0"

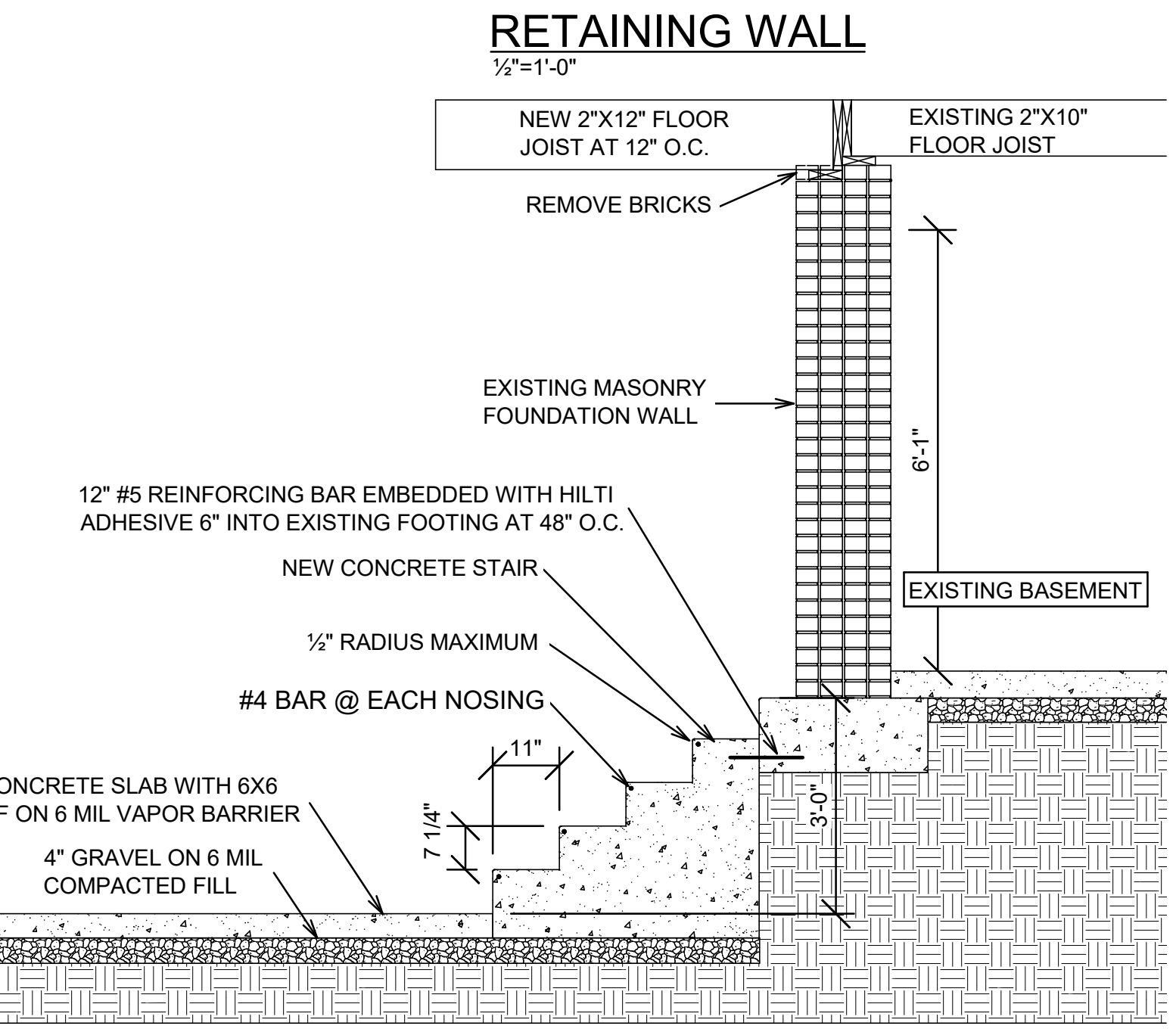
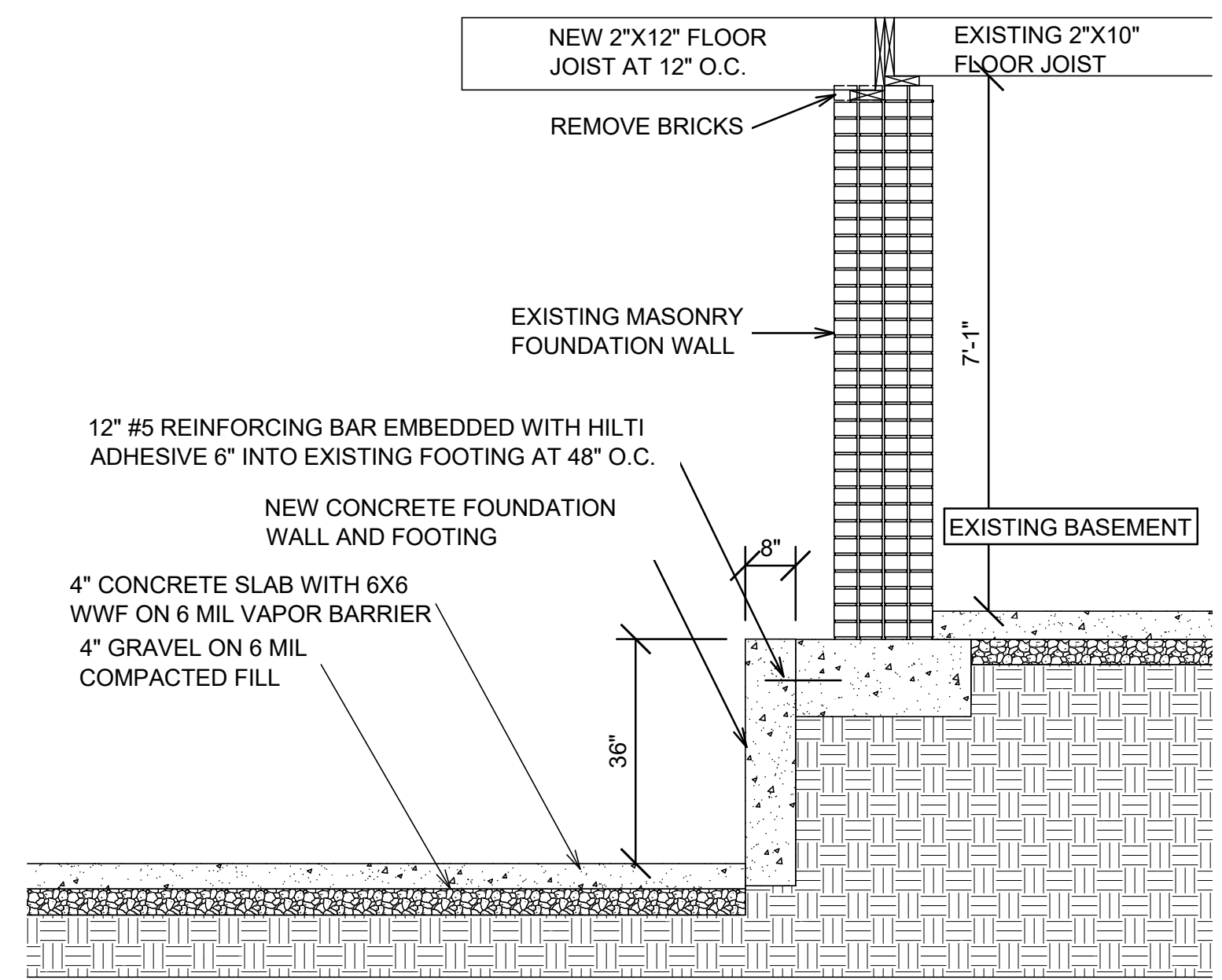
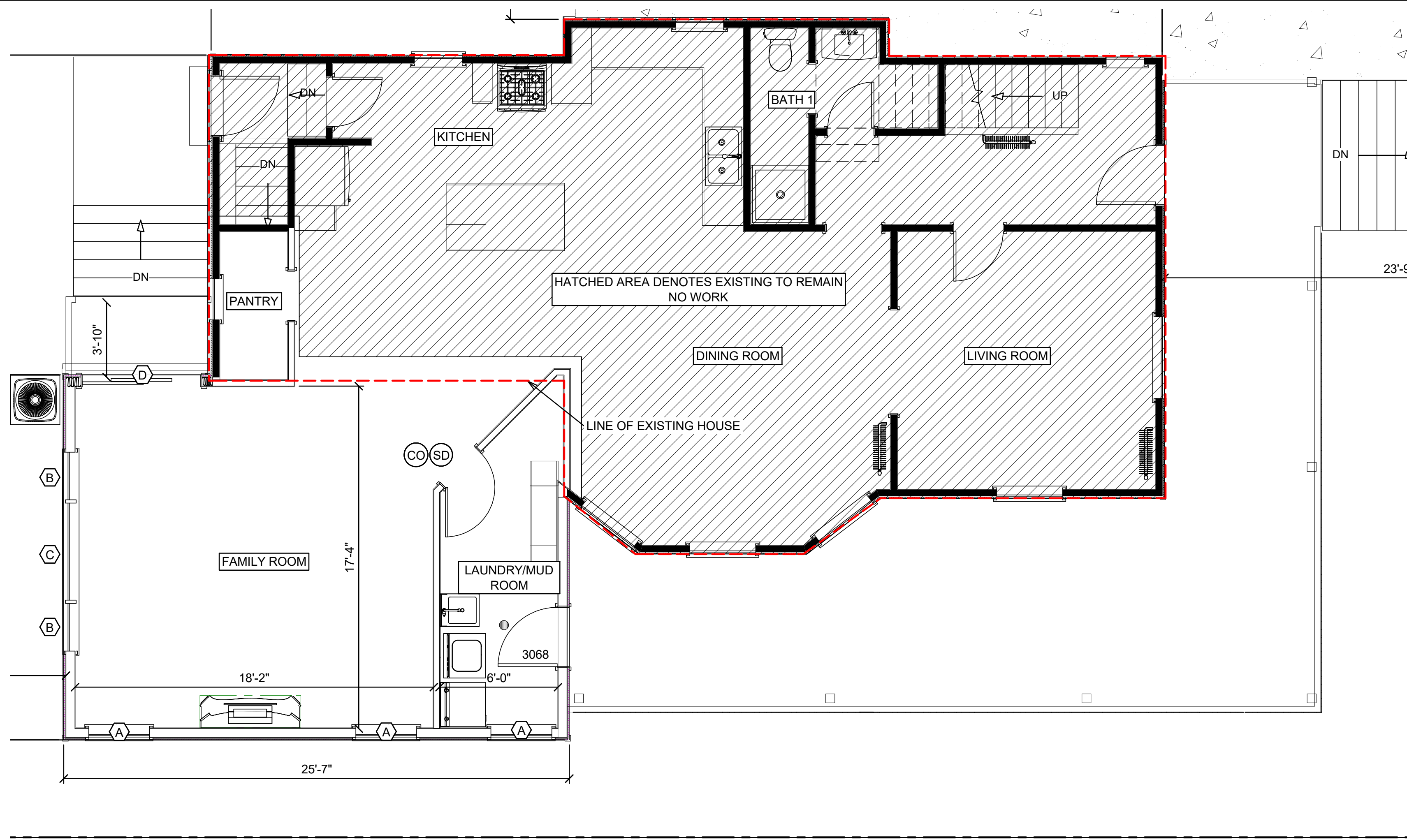
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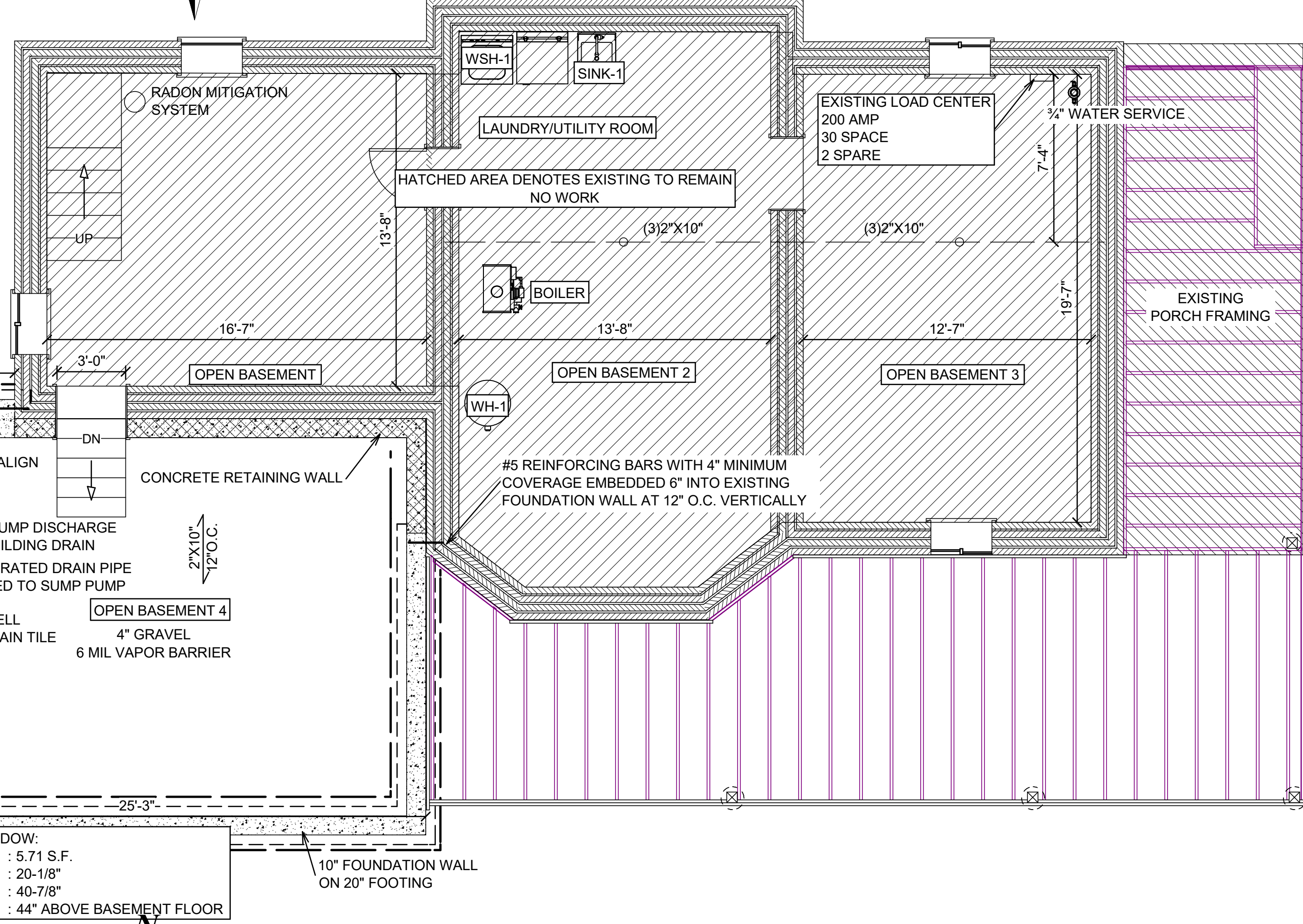
SHEET NO.
A-2
OF 6



PROVIDE FIRE BLOCKING AT THE FOLLOWING LOCATIONS

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS;
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES FOR SOFFITS, DROP CEILINGS AND COVE CEILINGS
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT THE CEILING AND FLOOR LEVELS.

1ST FLOOR PLAN
1/2"=1'-0"



FOUNDATION PLAN
1/2"=1'-0"

WINDOW SCHEDULE					NOTE: MAXIMUM U-VALUE OF WINDOWS SHALL BE 0.30
SYMBOL	SIZE	TYPE	GLASS AREA S.F.	VENT AREA S.F.	REMARKS
(A)	33"X59"	DOUBLE HUNG	10.2	5.4	
(B)	29"X59"	DOUBLE HUNG	8.8	4.7	
(C)	59"X59"	FIXED	20.3	-	
(D)	72"X81"	SLIDING DOOR	28.6	15.3	
(E)	37"X57"	DOUBLE HUNG	11.3	5.9	
(F)	41"X59"	DOUBLE HUNG	13.2	6.9	

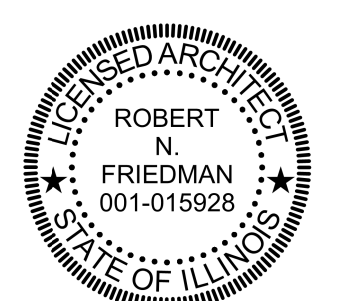
TYPICAL BEDROOM WINDOW: 3757 DOUBLE HUNG
CLEAR OPENING = 33-13/16" WIDE X 25 1/4" HIGH (5.9 S.F.)
SILL HEIGHT = 27" ABOVE FINISHED FLOOR

CODE REQUIREMENT:
CLEAR OPENING = 20" WIDE X 24" HIGH (5.7 S.F.)
SILL HEIGHT = <44" ABOVE FINISHED FLOOR

CONSTRUCTION LEGEND	
	EXISTING WALL OR PARTITION OR BUILDING ELEMENT TO BE REMOVED
	EXISTING TO REMAIN. NO WORK
	EXISTING EXTERIOR WALL TO REMAIN. NO WORK
	NEW EXTERIOR WALL WITH SIDING & R-20 INSULATION
	NEW INTERIOR PARTITION: 3/2" WOOD STUD WITH ONE (1) LAYER 5/8" DRYWALL EACH SIDE

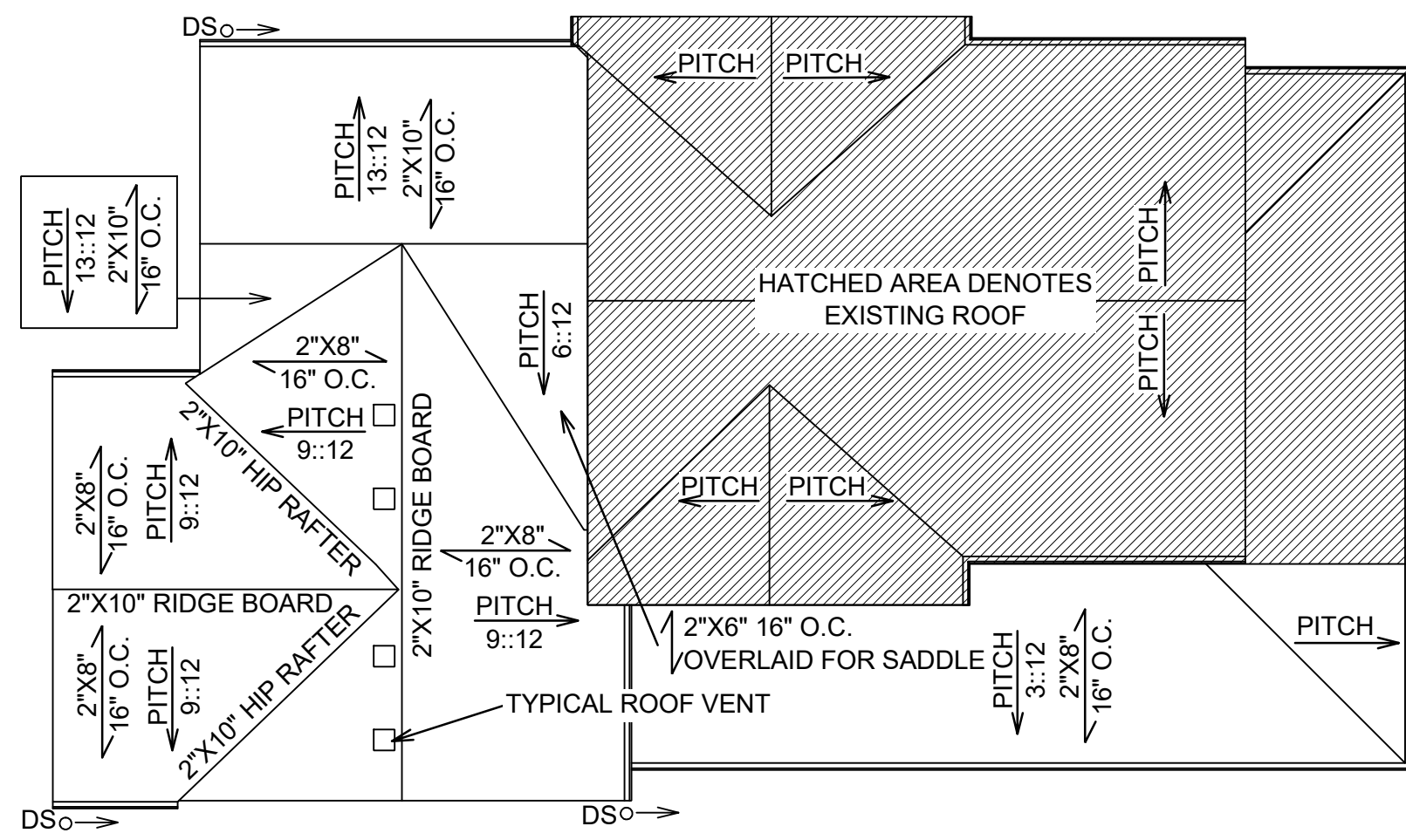
	ISSUED FOR ZBA REVIEW	07/14/25
1	REVISED ISSUED FOR PERMIT	03/10/25
	ISSUED FOR APPROVAL	02/04/25
	ISSUED FOR APPROVAL	01/16/25

2 STORY ADDITION
608 N. DUNTON AVE.
ARLINGTON HEIGHTS, IL 60004



ROBERT N. FRIEDMAN
ARCHITECT
9438 KEELER AVE.
SKOKIE, IL 60076
PHONE (847) 293-2421
FAX (847) 673-0063
rfried.arch@gmail.com

SHEET NO.
A-3
OF 6



ALUMINUM SOFFIT WITH CONTINUOUS SOFFIT VENT SV201 BY AIR VENT, INC
NET FREE AREA 9 S.I./1 L.F. (90 L.F. = 5.6 S.F.)

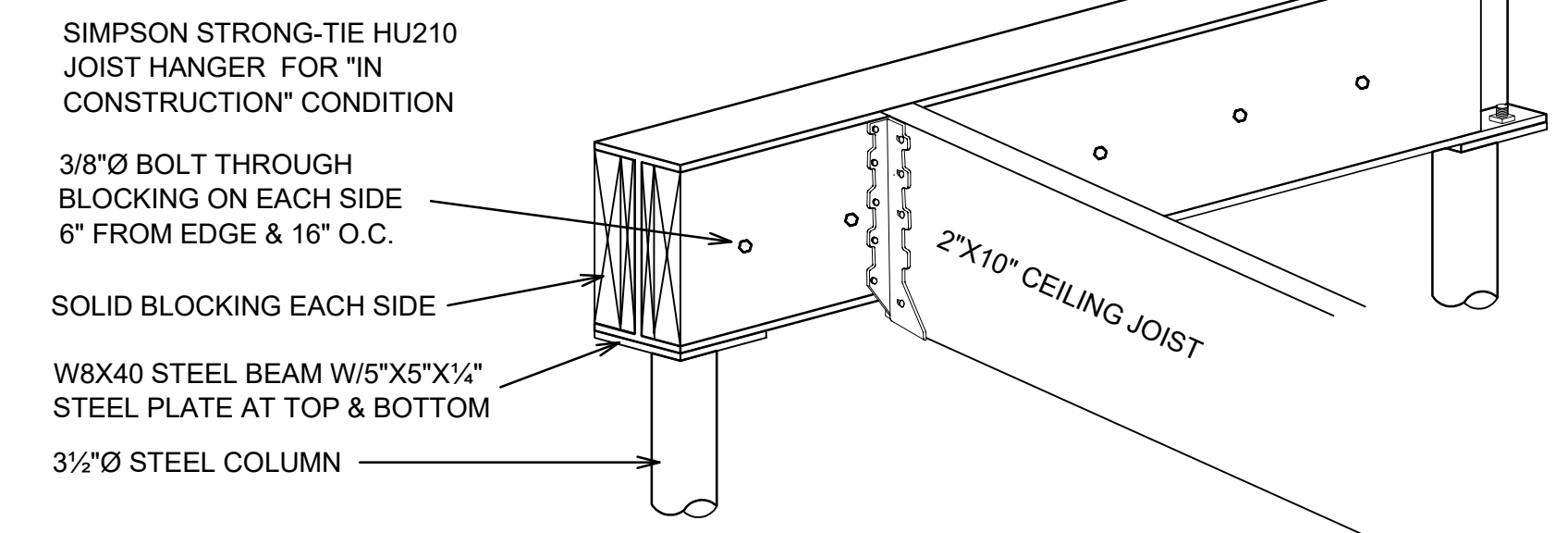
SQUARE PLASTIC ROOF LOUVER RVP BY AIR VENT, INC
NET FREE AREA 61 S.I. (4 EA = 1.69 S.F.)

ATTIC VENTILATION
ATTIC AREAS : 890 S.F. + 150 = 5.93 S.F. REQUIRED

ROOF LOUVER = 1.69 S.F.
SOFFIT VENT = 5.6 S.F.
TOTAL ATTIC VENTILATION PROVIDED = 7.29 S.F.

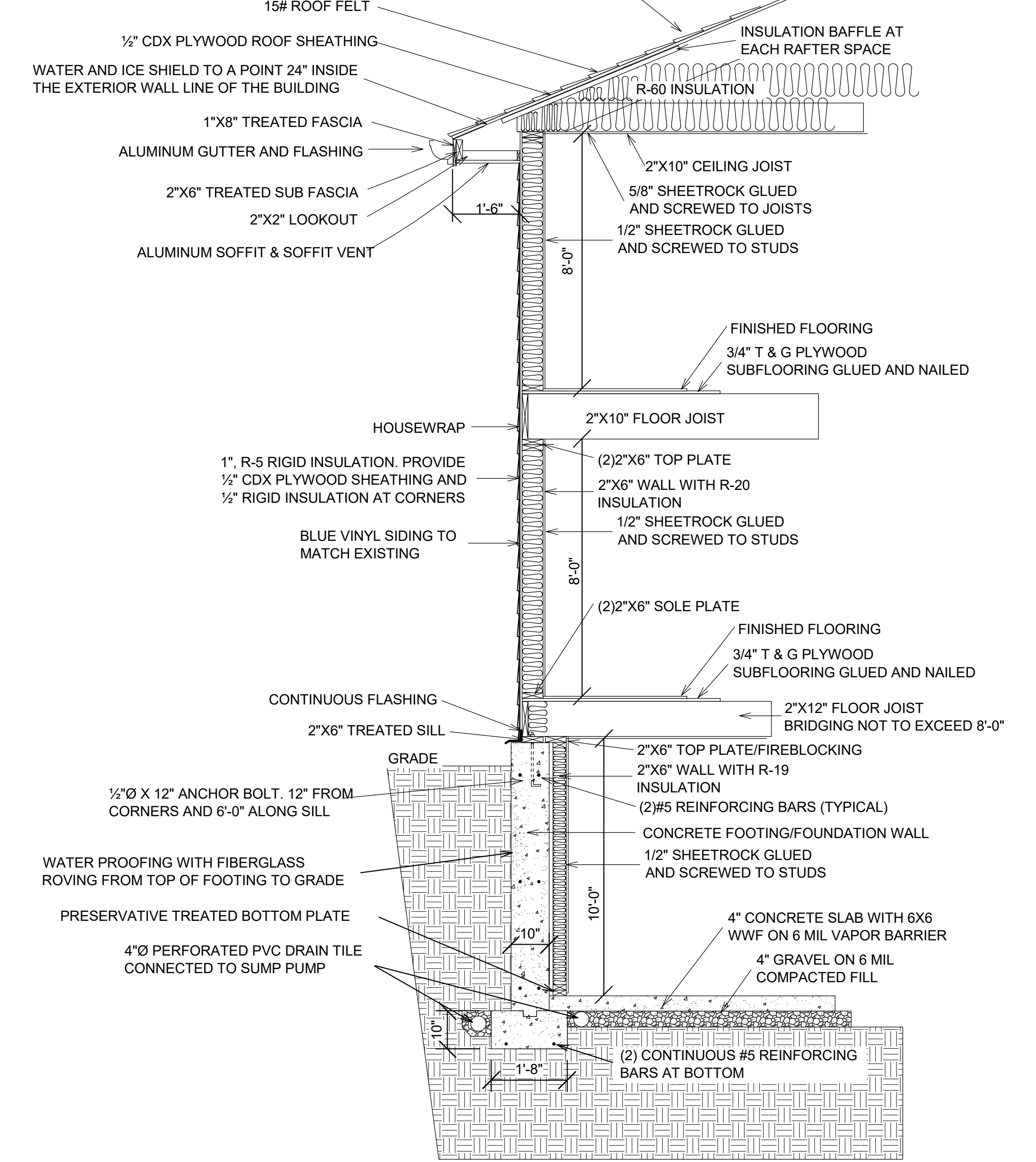


11'-6"



"IN CONSTRUCTION"
BEAM CONNECTION DETAIL
1"=1'-0"

30 YEAR ASPHALT SHINGLE WITH 15 YEAR ROOF FELT (COLOR: OWENS CORNING DESERT TAN) SHINGLES TO BE FASTENED WITH 12 GAGE GALVANIZED STEEL NAILS WITH 3/8" DIAMETER HEAD AND PENETRATE THE ROOF SHEATHING COMPLETELY. USE THE NUMBER OF NAILS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

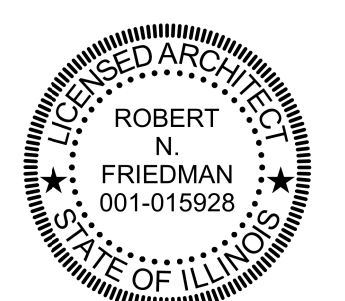


TYPICAL WALL SECTION
1/2"=1'-0"

CONSTRUCTION LEGEND	
	EXISTING WALL OR PARTITION OR BUILDING ELEMENT TO BE REMOVED
	EXISTING TO REMAIN. NO WORK
	EXISTING EXTERIOR WALL TO REMAIN. NO WORK
	NEW EXTERIOR WALL WITH SIDING & R-20 INSULATION
	NEW INTERIOR PARTITION: 3/2" WOOD STUD WITH ONE (1) LAYER 5/8" DRYWALL EACH SIDE

	ISSUED FOR ZBA REVIEW	07/14/25
1	REVISED ISSUED FOR PERMIT	03/10/25
	ISSUED FOR APPROVAL	02/04/25
	ISSUED FOR APPROVAL	01/16/25

2 STORY ADDITION
 608 N. DUNTON AVE.
 ARLINGTON HEIGHTS, IL 60004



ROBERT N. FRIEDMAN
ARCHITECT
9438 KEELER AVE.
SKOKIE, IL 60076
PHONE (847) 293-2421
FAX (847) 673-0063
rfried.arch@gmail.com

SHEET NO.
A-4
OF 6



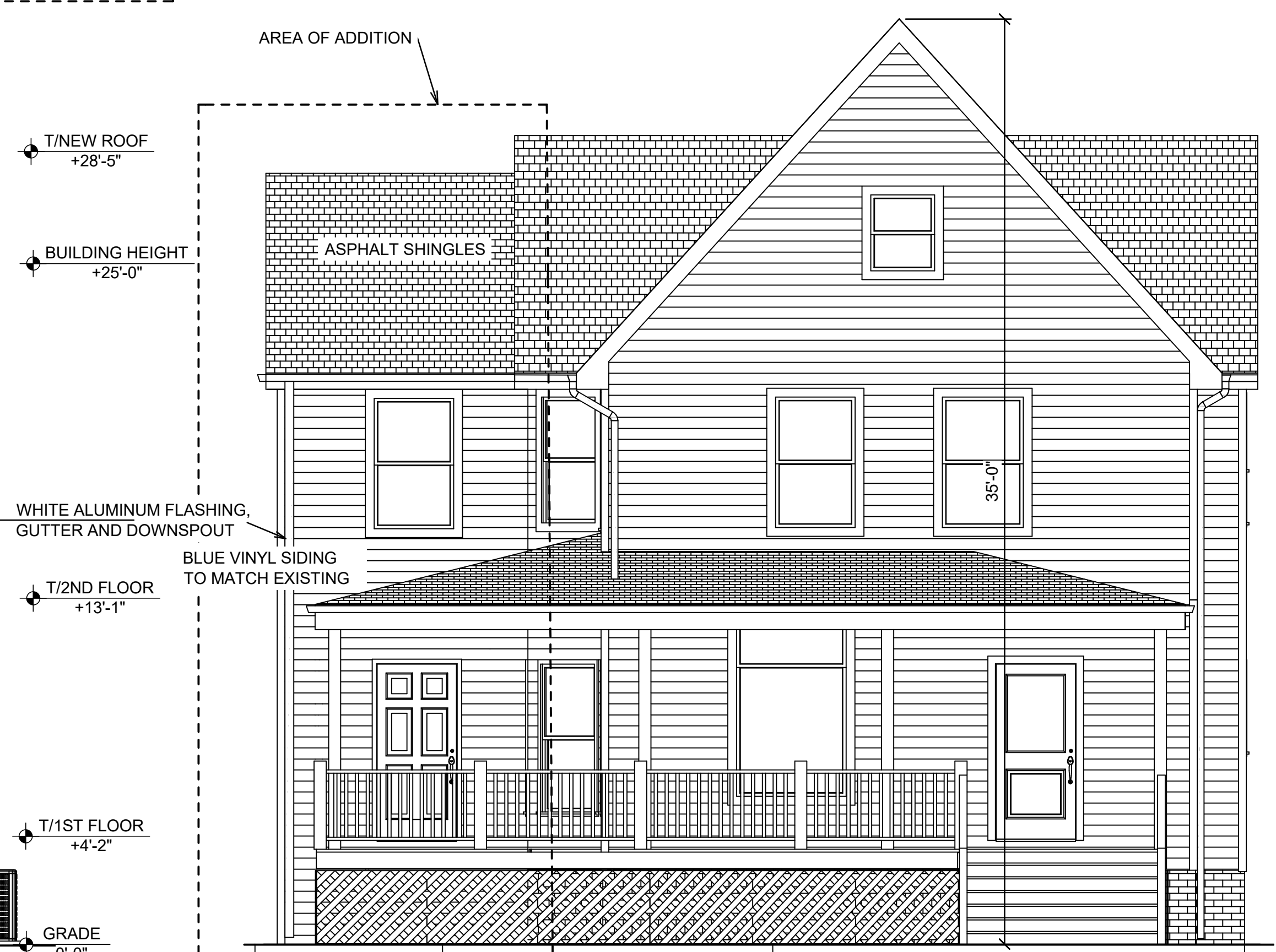
WEST ELEVATION
1/4"=1'-0"



SOUTH ELEVATION
1/4"=1'-0"



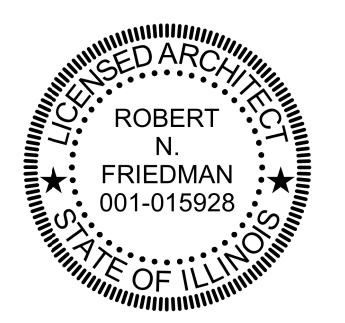
NORTH ELEVATION
1/4"=1'-0"



EAST ELEVATION
1/4"=1'-0"

	ISSUED FOR ZBA REVIEW	07/14/25
1	REVISED ISSUED FOR PERMIT	03/10/25
	ISSUED FOR APPROVAL	02/04/25
	ISSUED FOR APPROVAL	01/16/25

2 STORY ADDITION
608 N. DUNTON AVE.
ARLINGTON HEIGHTS, IL 60004



ROBERT N. FRIEDMAN
 ARCHITECT
 9438 KEELER AVE.
 SKOKIE, IL 60076
 PHONE (847) 293-2421
 FAX (847) 673-0063
 rfried.arch@gmail.com

SHEET NO.
A-5
 OF 6



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
9/16/2025**

Item: 406 N. Beverly Ln. - ZBA25-028
Department: Planning & Community Development

Item Description:
REQUEST

1. A 4-foot variation from Chapter 28, Section 10.2-11.1.b (Off-Street Parking and Loading) to allow a 26-foot wide driveway where driveways may not exceed 22 feet in width.

ATTACHMENTS:

1. Exhibits_406 N Beverly Ln

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Darko Bojin, Assistant Planner
Hearing Date: September 16, 2025
Date Prepared: September 10, 2025
Project Title: Poortinga Residence
Address: 406 N. Beverly Ln.

Background Information

Petition Number: ZBA #25-028
Petitioner: Paula Poortinga
Address: 406 N. Beverly Ln.
Arlington Heights, IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

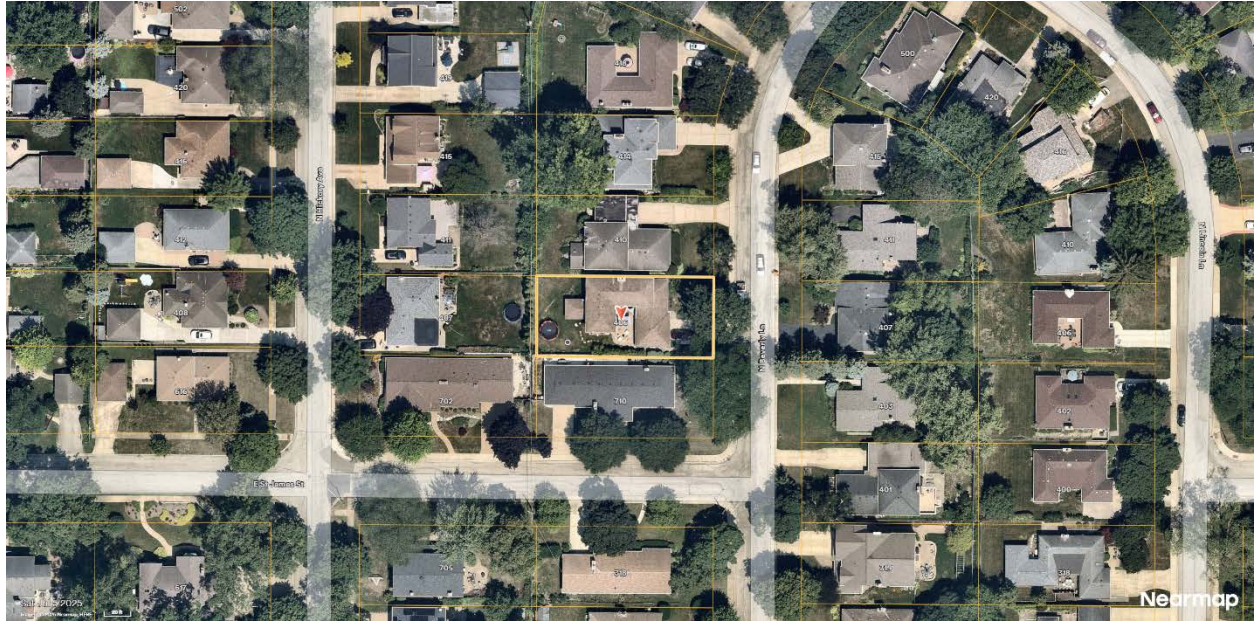
The property is zoned R-3 and has a total land area of approximately 7,920 square feet. The petitioner is proposing to expand their existing front-yard driveway to 26-feet wide. Code prohibits driveways wider than 22 feet. Therefore, the petitioner is requesting the following variation:

- A 4-foot variation from Chapter 28, Section 10.2-11.1.b (Off-Street Parking and Loading) to allow a 26-foot wide driveway where driveways may not exceed 22 feet in width.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/29/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/29/25	
3. Letter that was Mailed	✓	8/29/25	
4. Photographs of Sign on Property	✓	8/29/25	

Photographs of Existing Structure



NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Tuesday, September 16, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 4.0-foot variation from Chapter 28, Section 10.2-11.1(b) (Off Street Parking and Loading) to allow an extension of an existing 16-foot-wide driveway to a total of 26-feet where the maximum driveway width for two car garages is 22-feet.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning-mail@yah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 12 in Block 1 in Eastwood, a Subdivision of the East three fourths of the northwest quarter of the southeast quarter of Section 29, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County Illinois.

Commonly known as: 406 N. Beverly Lane, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language Interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@yah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Aug. 30, 2025 (303678)

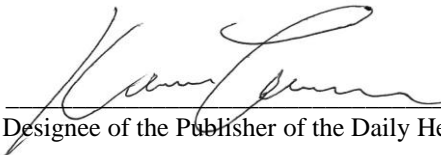
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 08/30/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 303678



Village of Arlington Heights



To: Paula Poortinga
From: Darko Bojin
Department: Department of Planning and Community Development
File Number: ZBA 25-028
Project: 406 N. Beverly Ln.
Date: September 10, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the variance from Chapter 28, Section 10.2-11.1(b) (Off-Street Parking and Loading) to allow a 26-foot wide driveway where driveways may not exceed 22 feet in width. If you have any questions, please contact dbojin@vah.com:

Planning and Community Development

1. No comments.

Building and Life Safety

1. No comments.

Engineering

1. No comments.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

Paula Poortinga

NOW COMES the Petitioner _____ 406 N Beverly Ln., Arlington Heights
being the owner of the property commonly know as: IL 60004
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a
Variation from Section 11
Chapter 28, of the Arlington Heights Municipal Code, in order to: request land use variance
of a 22'x8' patch of land adjacent to the South west quadrant of the existing drieway

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): _____
the minimum amount of variance is requested; the characteristic is repeated on North Beverly Lane at seven other homes with a 'bump out' adjacent to their driveways

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): We are a three vehicle family since welcoming our adult son from Australia into our household in Jan 2025. This variance approval allows flow in/out of the garage, limits moving vehicles where our younger children play (7&3 years old) and unblocks the ONLY paved access to our front door.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): The safety of our household increases / ease of access to/from our front door and to/from the garage (parents' vehicles parked in garage). Relieves all need to park household vehicles on the street. Variance space is well within our property line and no neighbor's house is south of the variance. Neighbor

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): _____
Minimum amount of space to park our oldest family vehicle we have designated for exterior parking.

Signed: Signed by:
Paula Poortinga
6D66834B3566471... _____ Date: 7/15/2025 | 20:12 PDT

Petitioner

Paula Poortinga
406 N. Beverly Lane
Arlington Heights, IL 60004

July 15, 2025

Community Planning & Zoning
Village of Arlington Heights
33 S Arlington Heights Rd
Arlington Heights, IL 60005

Subject: Request for Building Permit and Variance Approval for Driveway Pad Extension

Dear VAH Planning & Zoning,

I hope this message finds you well. I am writing to request a building permit and variance approval for an extension to our existing driveway pad at 406 N Beverly Lane. Specifically, I am requesting permission to extend the driveway pad by 8 feet by 22 feet to the southwest quadrant of the current driveway.

The proposed extension will provide several significant benefits to our household:

- 1. Increased Parking Capacity:** With multiple family members of driving age, the additional space will allow each member to park their vehicle safely on the property without the need to shuffle cars in and out of the garage. This will help prevent any congestion and ensure that each vehicle has a designated space.
- 2. Improved Family Living Conditions:** The extension would eliminate the daily hassle of managing multiple cars in and out of a two-car garage, which often results in time lost and potential damage to vehicles.
- 3. Safe Play Space for Children:** The extra space will allow us to keep the main driveway pad clear of parked vehicles, providing a safe area for our young family members to engage in activities such as playing basketball, drawing with chalk, jumping rope, and biking. Our current layout makes it difficult for children to safely use the driveway for these activities without navigating around parked cars.

We believe that the proposed extension will significantly improve our family's quality of life while maintaining the overall aesthetic of the property. We are committed to ensuring that the extension is completed according to all building codes and guidelines and will comply with any requirements set forth by the village.

We kindly request that you consider granting this variance to accommodate our growing family's needs. I would be happy to provide any further details or meet in person to discuss the proposal further.

Thank you for your time and consideration.

Sincerely,
Paula Poortinga

BOUNDARY SURVEY

LOT 12 IN BLOCK 1 IN EASTWOOD, A SUBDIVISION OF THE EAST THREE FOURTHS OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY ILLINOIS.

LEGEND

- 50.00' = MEASURED DIMENSION
- B.S.L. = BUILDING SETBACK LINE
- NLY,WLY = DIRECTION (ie NORTHERLY)
- U.E. = PUBLIC UTILITY EASEMENT
- = WOOD FENCE
- [Hatched Box] = BUILDING LIMITS
- [Grey Box] = ASPHALT PAVEMENT
- [Dotted Box] = CONCRETE PAVEMENT
- [Brick Box] = BRICK PAVERS

NOTES

1. THIS SURVEY PREPARED FOR KELLEHER & HOLLAND, LLC (JAROSZ)
2. EASEMENT AND SETBACK SHOWN ON THE SURVEYED PROPERTY WERE CREATED BY THE FINAL PLAT OF SUBDIVISION RECORDED FEBRUARY 28, 1947 AS DOCUMENT NUMBER 14004306. REFER TO A CURRENT TITLE COMMITMENT, ZONING REGULATIONS OR OTHER REGULATORY DOCUMENTS OR REQUIREMENTS FOR ADDITIONAL SETBACK, EASEMENT OR OTHER REQUIREMENTS NOT SHOWN HEREON, IF ANY.
3. PROPERTY AREA = 7,920 SQ.FT., MORE OR LESS.
4. VERIFY DIMENSIONS, LEGAL DESCRIPTION AND CORNERS AND NOTIFY SURVEYOR OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION ON THE PROPERTY. DIMENSIONS SHALL NOT BE ASSUMED BY SCALE.
5. BUILDING TIES ARE SHOWN FROM OUTSIDE LIMITS OF BRICK OR FRAME CONSTRUCTION.
6. LEGAL DESCRIPTION HEREON PROVIDED BY CLIENT.
7. BEARINGS ARE ASSUMED BASED ON FOUND MONUMENTATION AND THE WEST LINE OF THE PROPERTY HAVING A BEARING OF NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST.
8. UTILITIES, LANDSCAPE FEATURES, AND IMPROVEMENTS COVERED BY EARTH, LANDSCAPING, OTHER MATERIALS OR OBSTRUCTIONS, IF ANY, ARE NOT SHOWN HEREON.

N. HICKORY AVENUE

N. BEVERLY LANE

FOUND 5/8" IRON PIPE AT CORNER

132.00'

FOUND CUT CROSS 17.00' W'LY & ON LINE

LOT 14

FOUND 1" IRON PIPE 0.13' S'LY & ON LINE

FENCE CORNER 0.3' W'LY & 0.2' N'LY
END OF FENCE 1.5' W'LY & 0.5' S'LY

FOUND 5/8" IRON PIPE AT CORNER

FENCE CORNER 0.6' S'LY

FOUND 5/8" IRON ROD AT CORNER

FOUND 5/8" IRON PIPE AT CORNER

FOUND 5/8" IRON PIPE 0.34' E'LY & 0.30' N'LY

SURVEYOR
WE, SIGHT ON SOLUTIONS, INC., DO HEREBY DECLARE THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE AND THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

PLAT DATE: JUNE 9, 2023

[Signature]
IL PROF. LAND SURVEYOR #3520 (EXP. 11/30/24)
DESIGN FIRM REG. #184.005510 (EXP. 04/30/23)
FIELD WORK COMPLETED MAY 23, 2023



PLAT OF SURVEY		406 N. BEVERLY LANE		ARLINGTON HEIGHTS, ILLINOIS	
DRAWN: K.C.	557 CAPITAL DRIVE, LAKE ZURICH, ILLINOIS 60047			SHEET 1 OF 1 SOS#: 23069	
DATE: 06/09/23	PHONE: 847.356.7539 FAX: 815.578.9647				
SCALE: 1"=20'	email: mikeu@sightonsolutions.com	SIGHT ON SOLUTIONS, INC.			
	www.sightonsolutions.com				

BOUNDARY SURVEY

LOT 12 IN BLOCK 1 IN EASTWOOD, A SUBDIVISION OF THE EAST THREE FOURTHS OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY ILLINOIS.

LEGEND	
--- (dashed line)	MAIN SURVEY DIMENSION
--- (dotted line)	B.S.I. BUILDING SETBACK LINE
--- (dash-dot line)	PROJECTION (6' NORTHERLY)
--- (long-dash line)	PUBLIC UTILITY EASEMENT
--- (short-dash line)	WOOD FENCE
--- (solid line)	BUILDING LIMITS
--- (dotted line)	ASPHALT PAVEMENT
--- (dash-dot line)	CONCRETE PAVEMENT
--- (solid line)	BRICK PAVERS

NOTES

- THIS SURVEY PREPARED FOR KELLEHER & HOLLAND, LLC (JAROSZ)
- EASEMENT AND SETBACK SHOWN ON THE SURVEYED PROPERTY WERE CREATED BY THE FINAL PLAT OF SUBDIVISION RECORDED FEBRUARY 28, 1947 AS DOCUMENT NUMBER 14004006. REFER TO A CURRENT TITLE COMMITMENT, ZONING REGULATIONS OR OTHER REGULATORY DOCUMENTS OR REQUIREMENTS FOR ADDITIONAL SETBACK, EASEMENT OR OTHER REQUIREMENTS NOT SHOWN HEREON, IF ANY.
- PROPERTY AREA - 7,920 SQFT, MORE OR LESS.
- VERIFY DIMENSIONS, LEGAL DESCRIPTION AND CORNERS AND NOTIFY SURVEYOR OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION ON THE PROPERTY. DIMENSIONS SHALL NOT BE ASSUMED BY SCALE.
- B.S.I. LINES ARE SHOWN FROM OUTSIDE LIMITS OF BRICK OR FRAME CONSTRUCTION.
- LEGAL DESCRIPTION HEREON PROVIDED BY CLIENT.
- MEASUREMENTS ARE ASSUMED BASED ON FOUND MONUMENTATION AND THE WEST LINE OF THE PROPERTY HAVING A BEARING OF NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST.
- UTILITIES, LANDSCAPE FEATURES, AND IMPROVEMENTS COVERED BY EARTH, LANDSCAPING, OTHER MATERIALS OR OBSTRUCTIONS, IF ANY, ARE NOT SHOWN HEREON.

N. HICKORY AVENUE

N. BEVERLY LANE

- 4,000 psi concrete
 - #10 wire mesh
 - Doweled #4 rebar
 - Existing drive 16' wide
 - Ribbons will be 21' wide

- Install front porch/walk
 7'-6" x 23' x 4"
 - Slab on grade

- Install 30" x 11-9" x 5" +
 30" x 37-5" ribbons +
 expand driveway 8' x 21-6" x 5"
 - max width 21' on drive

SIGHT ON SOLUTIONS, INC. DO HEREBY DECLARE THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE AND THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT AND MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

PLAT DATE: JUNE 2, 2023
 MICHAEL S. ULIDARSKI
 3520 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS
 LAKE ZURICH, ILLINOIS



PLAT OF SURVEY		406 N. BEVERLY LANE	ARLINGTON HEIGHTS, ILLINOIS
DRAWN: K.C.	557 CAPITAL DRIVE, LAKE ZURICH, ILLINOIS 60047		
DATE: 06/09/23	PHONE: 847.358.7539 FAX: 815.578.9647		
SCALE: 1"=20'	email: mikeu@sightonsolutions.com		
SIGHT ON SOLUTIONS, INC.		www.sightonsolutions.com	
		SHEET 1 OF 1	
		SOS#: 23069	

LAND SURVEYING, TOPOGRAPHIC MAPPING, SITE STAKING, SITE PLANS, GRADING PLANS, FEMA CERTIFICATES AND MORE! - WE GET CORNERS OTHER PEOPLE CUT!



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
9/16/2025**

Item: 814 S. Fernandez Ave. - ZBA25-029
Department: Planning & Community Development

Item Description:

REQUEST

An 11-foot variation from Chapter 28, Section 10.2-11.1(b) (Off Street Parking and Loading) to allow an extension of an existing 17-foot-wide driveway to a total of 33-feet where the maximum driveway width for two-car garages is 22-feet.

ATTACHMENTS:

1. Exhibits_814 S Fernandez Ave

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: September 16, 2025
Date Prepared: September 9, 2025
Project Title: Neukirch Residence
Address: 814 S. Fernandez Ave.

Background Information

Petition Number: ZBA #25-029
Petitioner: Alexandra & Craig Neukirch
Address: 814 S. Fernandez Ave.
Arlington Heights IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The petitioner is proposing a driveway extension on the south side of the driveway. The existing driveway is 17-feet wide at the sidewalk and the petitioner is proposing to extend the driveway by 16-feet to the south. Additionally, the driveway will continue in the south side yard along the side of the house for additional parking. The total driveway width proposed is 33-feet where the maximum driveway width for two-car garages is 22-feet. Therefore, the petitioner is requesting the following variation:

- A 11-foot variation from Chapter 28, Section 10.2-11.1(b) (Off Street Parking and Loading) to allow an extension of an existing 17-foot-wide driveway to a total of 33-feet where the maximum driveway width for two car garages is 22-feet.

It should be noted that an email was received on September 5, 2025 from an adjacent property owner in objection to this variation request. The neighbor requested that the objection be included in the record as they would not be able to make the Zoning Board of Appeals meeting. The letter is attached to this agenda item for the record.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/29/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/29/25	
3. Letter that was Mailed	✓	8/29/25	
4. Photographs of Sign on Property	✓	8/29/25	

Photographs of Existing Structure





NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Tuesday, September 16, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 11-foot variation from Chapter 28, Section 10.2-11.1(b) (Off Street Parking and Loading) to allow an extension of an existing 17-foot-wide driveway to a total of 33-feet where the maximum driveway width for two car garages is 22-feet.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning-mail@vah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT ONE HUNDRED SIX (106) IN THOMAS A. CATINO'S ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE WEST 1311.75 FEET OF THAT PART OF THE SOUTHEAST QUARTER (1/4) OF SECTION 31, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTHERLY OF THE CENTER OF ROAD, IN COOK COUNTY, ILLINOIS, (EXCEPT THAT PART THEREOF CONVEYED TO CARL BEHLENDORF BY DEED RECORDED APRIL 2, 1980, AS DOCUMENT NUMBER 1243486, IN BOOK 2866, PAGE 314, BEING A STRIP OF LAND 0.13 FEET WIDE ALONG THE EAST SIDE THEREOF, THE NORTH END OF WHICH STARTS 933.38 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHEAST QUARTER (1/4)) ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, ON MARCH 14, 1956, AS DOCUMENT NUMBER 1656762

Commonly known as: 814 S. Fernandez Avenue, Arlington Heights, IL 60005
Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Aug. 30, 2025 (303674)

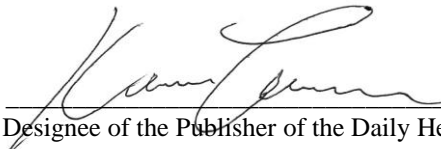
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 08/30/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 303674



Village of Arlington Heights



To: Alexandra & Craig Neukirch
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-029
Project: 814 S. Fernandez Avenue
Date: September 10, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the variance from Chapter 28, Section 10.2-11.1(b) (Off Street Parking and Loading) to allow an extension of an existing 17-foot-wide driveway to a total of 33-feet where the maximum driveway width for two car garages is 22-feet. If you have any questions, please contact dosoba@vah.com:

Planning and Community Development

1. No comments.

Building and Life Safety

1. No comments.

Engineering

1. No comments.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Craig & Alexandra Neukirch
being the owner of the property commonly known as: 814 S. Fernandez Ave
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a
Variation from Section 11.2-11.1
Chapter 28, of the Arlington Heights Municipal Code, in order to: expand width
of driveway and add parking space next to garage.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): driveway will only be wider, which several homes in the area also have, and will be in front of
& next to the garage, similar to existing homes.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): owner often has overnight guest and already owns 2 vehicles.
Half of garage is used for storage, and need additional space for parking.
Further home is on a "short" street, necessitating additional parking.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): widening the driveway will not cause major
change to the character of the neighborhood, but only serves to increase
parking on driveway, thereby freeing up space on residential street.

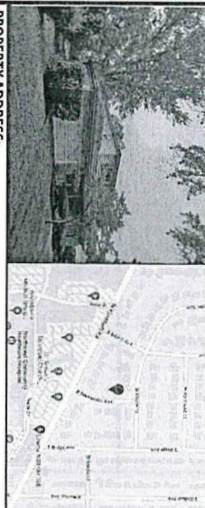
I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): only seeking to add one
additional parking area next to the garage on property that is
currently dirt/meads.

Signed: [Signature]
Petitioner

Date: 7.25/25



www.exactalands.com | Office: 773.305.4011



PROPERTY ADDRESS:
814 S FERNANDEZ AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60005

DATE SIGNED: 09/21/23 FIELD WORK DATE: 9/20/2023

REVISION DATES:
(REV: 9/21/2023)

POINTS OF INTEREST
NONE VISIBLE

STATE OF ILLINOIS
COUNTY OF LASALLE } SS

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

Warren D. Johnson



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2024
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008095-0008

EXACTA
Land Surveyors, LLC
316 East Jackson Street | Morris, IL 60450
Exacta Land Surveyors, LLC
P/S# 184008095
o: 773.305.4011

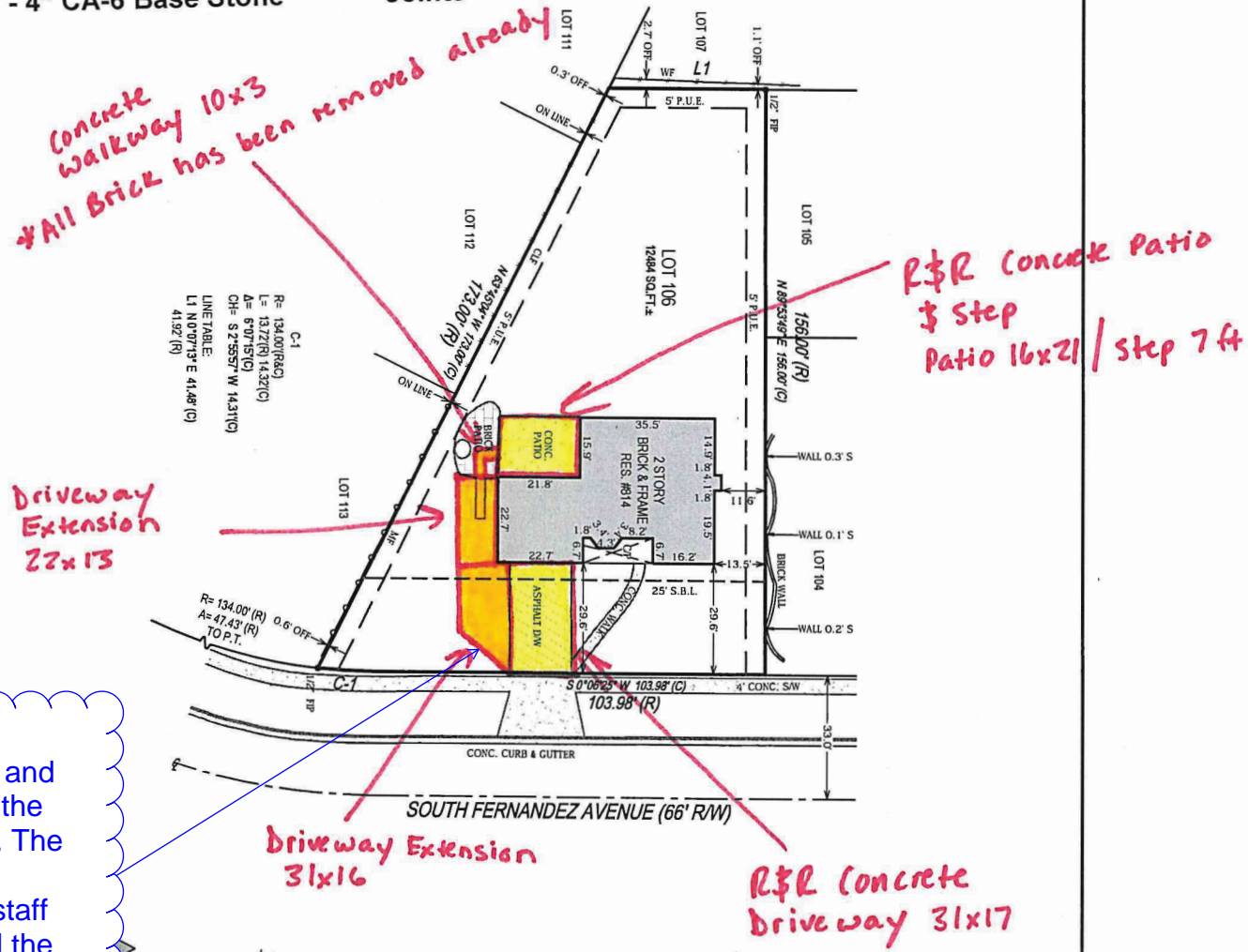


IL 2309 3161
BOUNDARY SURVEY
COOK COUNTY

Concrete Specs:

- Depth:**
 - 4"
 - 5"
 - 6"
- 4,000 PSI
- 6 Bag Mix
- 4" CA-6 Base Stone
- 1/2" x 5" Expansion Joint
- 6x6x10 Welded Wire Mesh
- Fibermesh
- 3/4" Control Joints

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES



Provide measurements and dimensions for the proposed work. The angled portion specifically so staff can reiterate all the information to the Zoning Board.



PROPERTY ADDRESS:
814 S FERNANDEZ AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60005

SURVEY NUMBER: L2309.3161

DATE SIGNED: 09/21/23

FIELD WORK DATE: 9/20/2023

REVISION DATES:
(REV) 9/21/2023

POINTS OF INTEREST
NONE VISIBLE

STATE OF ILLINOIS
COUNTY OF USKALE } 55

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

Warren D. Johnson



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2771
LICENSE EXPIRES 11/30/2024
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184028051-0008

EXACTA
Land Surveyors, LLC

Exacta Land Surveyors, LLC
MS 184666819
9.773.305.4011
316 East Jackson Street | Merrill, IL 60450



IL2309.3161
BOUNDARY SURVEY
COOK COUNTY

Concrete Specs:

- Depth:
 - 4"
 - 5"
 - 6"
- 4,000 PSI
- 6 Bag Mix
- 4" CA-6 Base Stone
- 1/2" x 5" Expansion Joint
- 6x6x10 Welded Wire Mesh
- Fibermesh
- 3/4" Control Joints

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

Concrete Walkway 10x3
**All Brick has been removed already*

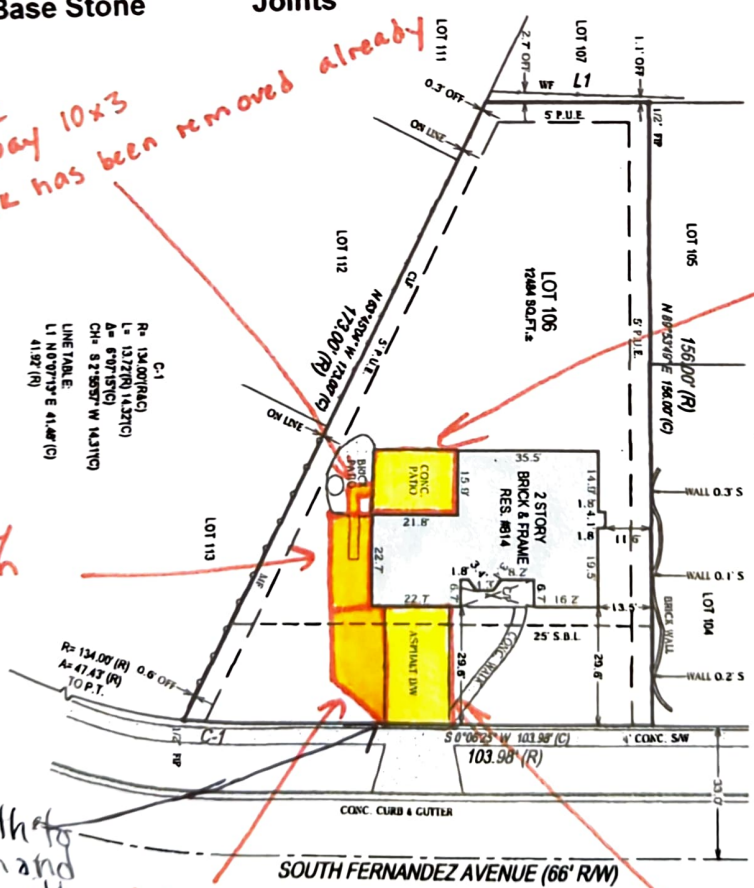
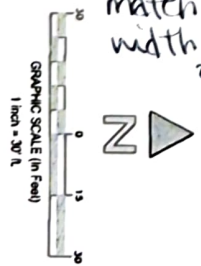
R&R Concrete Patio
Step (one step)
Patio 16x21 / step 7 1/4
step will not exceed 7 3/4 inches
heights will not vary by more than 3/8 inch.

Driveway Extension 22x13

Driveway Extension 31x16

R&R Concrete Driveway 31x17

width to begin and match with width of apron



From: John Supplitt [REDACTED]
Sent: Friday, September 5, 2025 9:27 AM
To: Daniel Osoba
Subject: Objection to a request for variance at 814 S. Fernandez

Follow Up Flag: Follow up
Flag Status: Flagged

You don't often get email from [REDACTED]

[STOP - LOOK - Think - Decide: This email originated from outside of the Village.]

Dan,

I object to the request for variance by the Neukirch's at 814 S. Fenandez Avenue. To review, they are requesting an 11-foot variance to allow an extension of an existing 17-foot-wide driveway to a total of 33 feet. The maximum allowed is 22 feet.

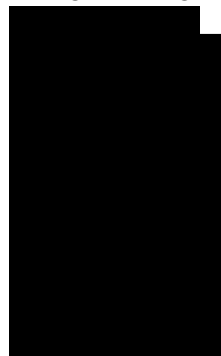
A driveway that size would monopolize the view of the front of the lot eliminating already sparse green space and replacing it with concrete. The expanded driveway could only be used for outdoor storage of a mobile home, boat, or truck detracting from the beautiful recent remodeling of the house and the homey feel of the neighborhood. It clashes with the local aesthetic and sets a dangerous precedent of turning front lawns into storage pads for large vehicles, if not immediately, then certainly in the future.

I am unable to attend the hearing on September 16, 2025, but would like my objection to be recorded in the minutes. Please share my objection with the VAH Zoning Board of Appeals. Please contact me if you have questions or need additional information.

Best regards,

John

John T. Supplitt
714 S. Ridge Avenue
Arlington Heights, IL 60005





VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
9/16/2025**

Item: 1002 N. Chestnut Ave. - ZBA25-030
Department: Planning & Community Development

Item Description:

REQUEST

A 10.3-foot variation from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards) to allow a three-seasons room addition setback 19.7-feet from the rear property line, where the rear setback minimum is 30-feet.

ATTACHMENTS:

1. Exhibits_1002 N Chestnut Ave

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: September 16, 2025
Date Prepared: September 9, 2025
Project Title: Lettvin Residence
Address: 1002 N. Chestnut Ave.

Background Information

Petition Number: ZBA #25-030
Petitioner: Mike Moffitt – Woodridge Deck & Gazebo Co.
Address: 2246 Perimeter Dr, Suite 101
Schaumburg IL 60173

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

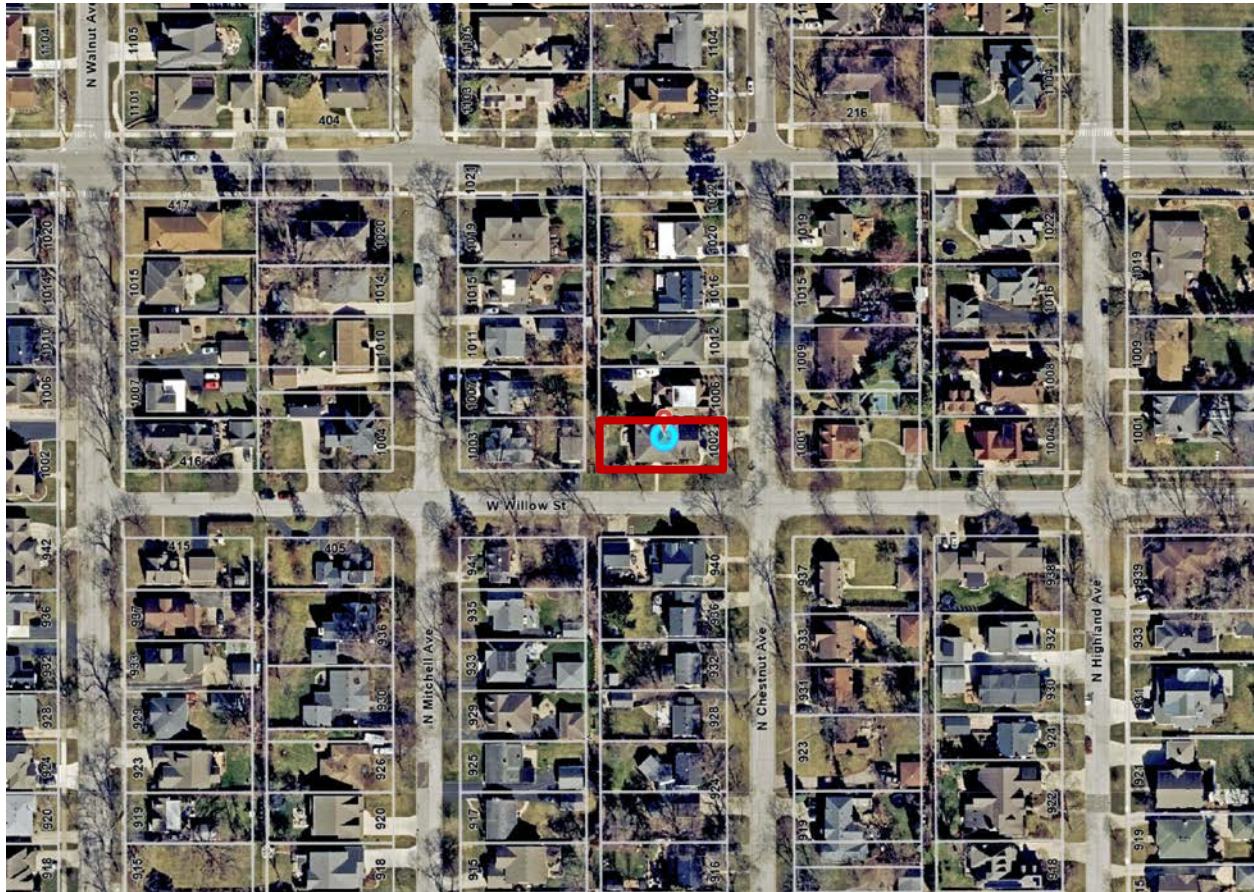
The petitioner is proposing a building addition in the rear of the property for a three-seasons room. The addition will be covered by a roof and have walls on two of three sides. The open side is proposed to face west with walls on the north and south sides. The building addition encroaches 10.3-feet into the required rear yard setback, which is 30-feet in the R-3 District. Therefore, the petitioner is requesting the following variation:

- **A 10.3-foot variation from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards) to allow a three-seasons room addition setback 19.7-feet from the rear property line where the rear setback minimum is 30-feet.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/29/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/29/25	
3. Letter that was Mailed	✓	8/29/25	
4. Photographs of Sign on Property	✓	8/29/25	

Photographs of Existing Structure







NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Tuesday, September 16, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 10.3-foot variation from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards) to allow a three-seasons room addition setback 19.7-feet from the rear property line where the rear setback minimum is 30-feet.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning-mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 1 and Lot 2 (Except the north 2.00 feet of said Lot 2) in Block 3 in Mitchell's Addition to Arlington Heights, being a subdivision of part of the northeast 1/4 of Section 30, Township 42 North, Range 11, east of the Third Principal Meridian, in Cook County, Illinois. Commonly known as: 1002 N. Chestnut Avenue, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language Interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Aug. 30, 2025 (303676)

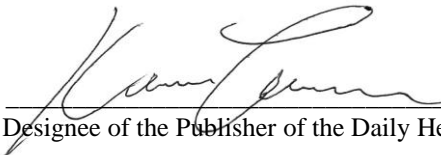
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BY 
Designee of the Publisher of the Daily Herald

Control # 303676



Village of Arlington Heights



To: Bryan & Shetal Lettvin
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-030
Project: 1002 N. Chestnut Avenue
Date: September 10, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the variance from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards) to allow a three-seasons room addition setback 19.7-feet from the rear property line where the rear setback minimum is 30-feet. If you have any questions, please contact dosoba@vah.com:

Planning and Community Development – Design Planner Review

1. Conceptually, Staff does not object to the proposed three-season room addition. However, additional architectural detailing will be required at the time of permit to clarify all of the details and materials/colors. The proposed entry portico drawing is very schematic and requires significant design development. The details, materials, and colors for the proposed three-season room and entry portico will need to be selected to match the existing house. Staff reserves the right to require a Design Commission application if the drawings are not adequately developed for permit approval.

Building and Life Safety

1. No comments.

Engineering

1. No comments.

ZBA - Petition

Bryan and Shetal Lettvin
1002 N. Chestnut Ave.
Arlington Heights, IL 60004



July 21, 2025

Zoning Board of Appeals
Village of Arlington Heights
33 South Arlington Heights Road
Arlington Heights, Illinois 60005

Subject: Request for Variances to Rear and Front Property Setbacks – Covered Porch and Front Porch Construction at 1002 N. Chestnut Ave., Arlington Heights, IL 60004

Dear Esteemed Members of the Zoning Board of Appeals,

We are writing to respectfully request approvals for a variance to the rear property setback and a variance to the front property setback at our home located at 1002 N. Chestnut Ave., Arlington Heights, IL 60004. These variances are necessary to allow for the construction of a covered rear porch and a front porch. We believe these requests align with the spirit and intent of the Village's zoning ordinances and address unique circumstances pertaining to our property and family needs. We understand the criteria by which the Zoning Board of Appeals makes determinations on requested variations, as outlined in Section 12.1c of the Zoning Regulations. We are confident that our proposal meets these standards.

Our request is based on the following demonstrable reasons:

- 1. Unique Property Configuration and Minimal Impact on Impervious Coverage:** Our home is situated on a corner lot, resulting in a property line on the side of our home that is unusually close to the structure. This configuration effectively designates a significant portion of what appears to be our usable land as part of an easement or parkway, which we diligently maintain. This unique nature of our corner lot, where a substantial amount of the land we maintain as part of our property is technically part of the parkway or easement, impacts how our property lines are drawn on the plat of survey. Furthermore, the Village's zoning aims for properties to maintain 55% permeability to ensure proper rainwater flow and reduce flooding. Due to our corner lot's layout, the vast majority of the grassed area we maintain falls within the parkway, outside our technical property lines. When considering this maintained parkway area, our property significantly exceeds the 55% permeable threshold, demonstrating our commitment to responsible land use and stormwater management. It is also important to note that a concrete patio slab currently exists where the new covered rear porch is proposed. This existing slab is already an impermeable surface. Therefore, the construction of the covered rear porch in this location represents a replacement of an existing impervious area, rather than a significant addition, demonstrating that we are not introducing a substantial change to the overall impervious surface of our property. The addition of a covered rear porch will not compromise the overall permeability of our property, especially when accounting for the unique characteristics of our corner lot and the land we actively maintain.

2. **Hardship for Elderly Residents Requiring Natural Sunlight, Improved Accessibility, and Safe Medication Delivery:** A significant hardship we are currently facing relates to providing adequate space and safe access for our elderly parents, who are now an integral part of the daily care for our children. Our mother, in particular, requires access to natural sunlight for both medical and religious/spiritual reasons, but experiences severe skin reactions when directly exposed to the sun. A covered rear porch would provide the necessary sheltered environment for her to comfortably receive natural light. Our current family room and common areas have limited windows, making it challenging to meet this vital need indoors.

Additionally, the proposed covered rear porch will be built higher to be flush with the threshold of our home, which will eliminate the currently existing steep concrete stairs. This crucial design element will significantly improve accessibility for our parents, ensuring their safety and ease of movement.

The project also includes the addition of a front porch. The current setback requirement is 3 feet 6 inches, and the proposed front porch's step would be 3 feet 2 inches in from the property line, requiring a variance of only 4 inches. This front porch is also critical to our parents' safety and well-being. It will allow them to safely access the front door and provide a sheltered location to receive temperature-controlled medication shipped from mail-order facilities, which cannot be exposed to direct sunlight or harsh weather elements.

The covered rear porch and front porch are essential to ensure our parents' comfort, health, and spiritual needs are met, their safety is prioritized, and their daily caregiving activities are supported. This constitutes a unique circumstance and a practical difficulty that warrants these variances, enabling a reasonable use of our property to accommodate our family's specific, current needs.

We believe that granting these variances will not alter the essential character of the locality, nor will it negatively impact the existing uses or zoning of nearby properties. The proposed porches are the minimum variances necessary to allow for the reasonable use and enjoyment of our property, addressing genuine hardships caused by unique circumstances.

We are prepared to provide all necessary detailed plans, elevation drawings, floor plans, and photographs of our existing layout, as required by the application process. We are also ready to discuss this proposal further with the Zoning Board of Appeals Staff Liaison and present our case at a public hearing.

Thank you for your time and consideration of this important request. We look forward to your favorable review.

Sincerely,

Bryan and Shetal Lettvin

PROFESSIONALS ASSOCIATED SURVEY, INC.

PROFESSIONAL DESIGN FIRM NO. 184-003023

7100 N. TRIPP AVENUE
LINCOLNWOOD, ILLINOIS 60712
www.professionalsassociated.com

TEL: (847) 675-3000
FAX: (847) 675-2167
e-mail: pa@professionalsassociated.com

PLAT OF SURVEY

OF

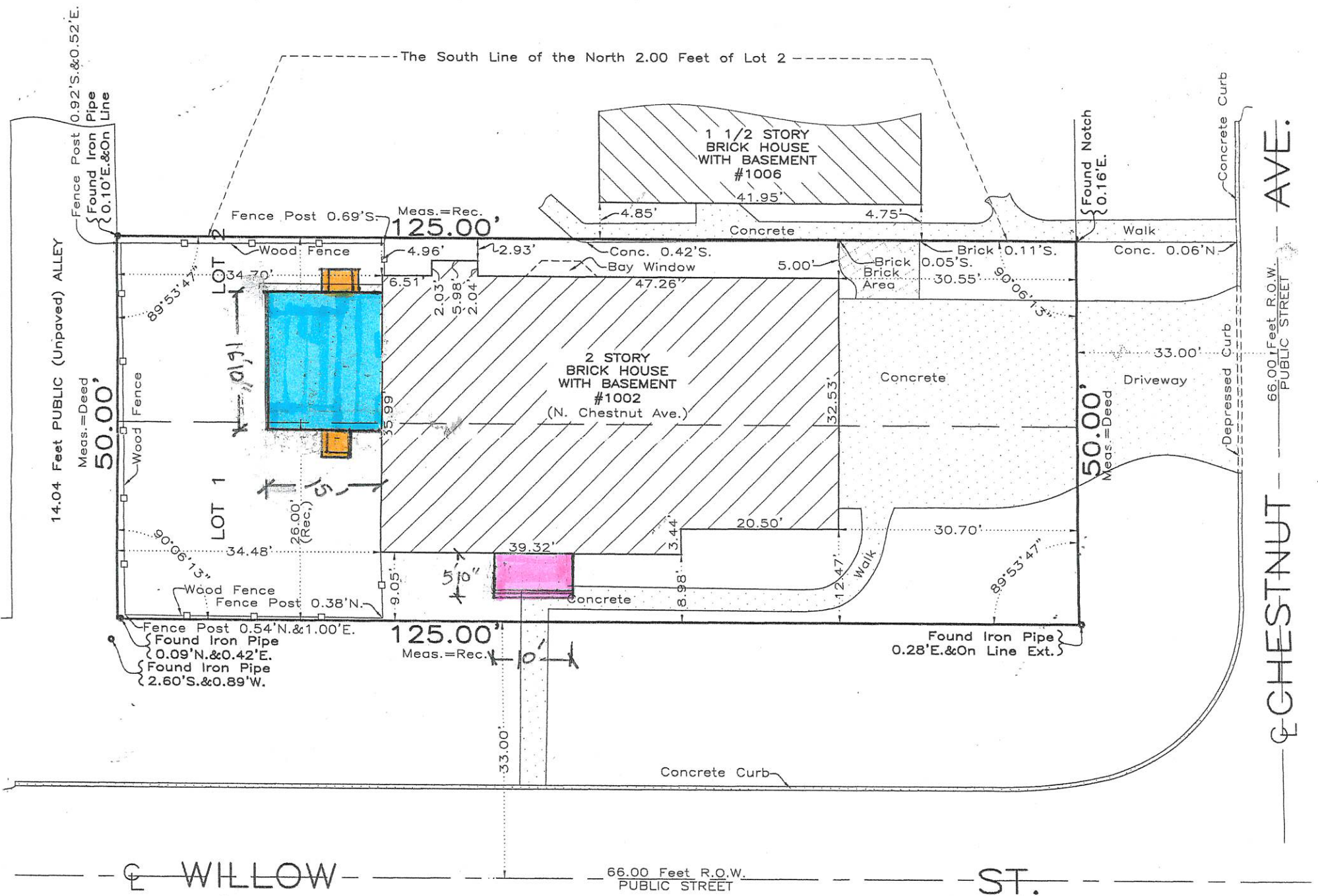
LOT 1 AND LOT 2 (EXCEPT THE NORTH 2.00 FEET OF SAID LOT 2) IN BLOCK 3 IN MITCHELL'S ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 6,250 SQ.FT.=0.143 ACRES.

COMMONLY KNOWN AS: 1002 NORTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, ILLINOIS.



(IN FEET)
1 inch = 16 ft.



- = 3 SEASON ROOM
- = LANDINGS & BOX STEPS
- = DECK & PORTICO

THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

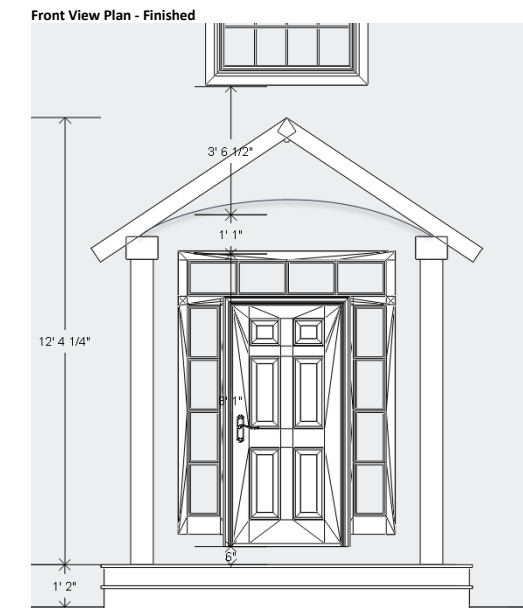
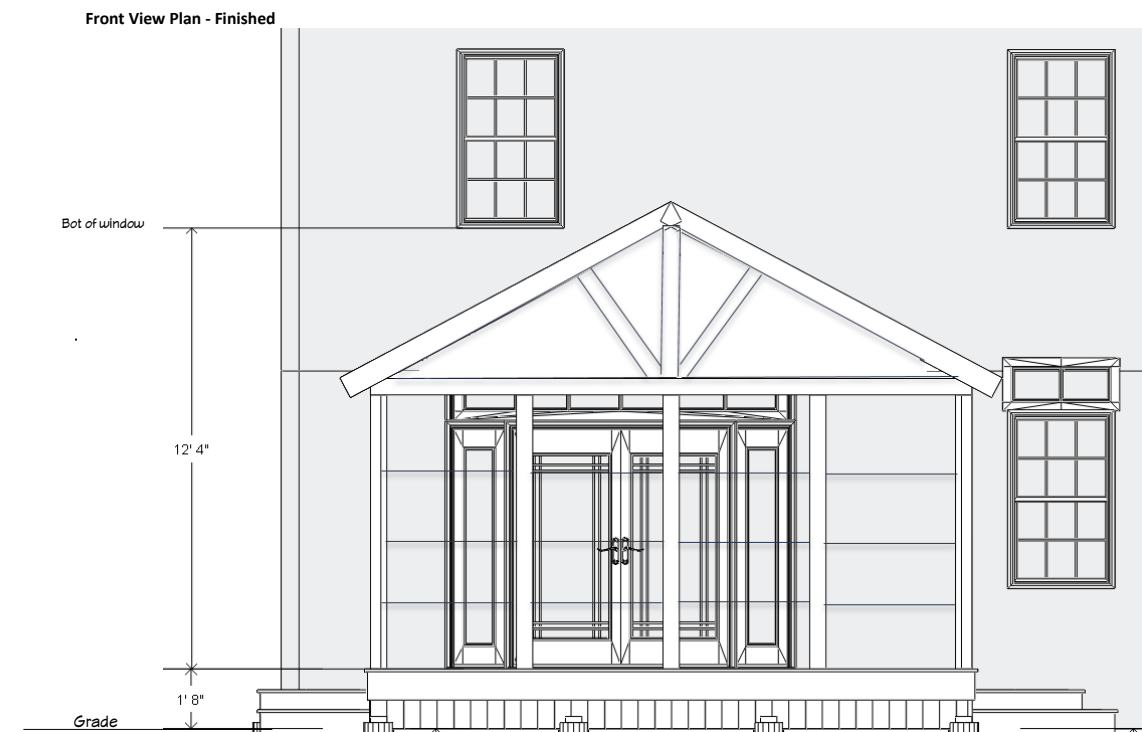
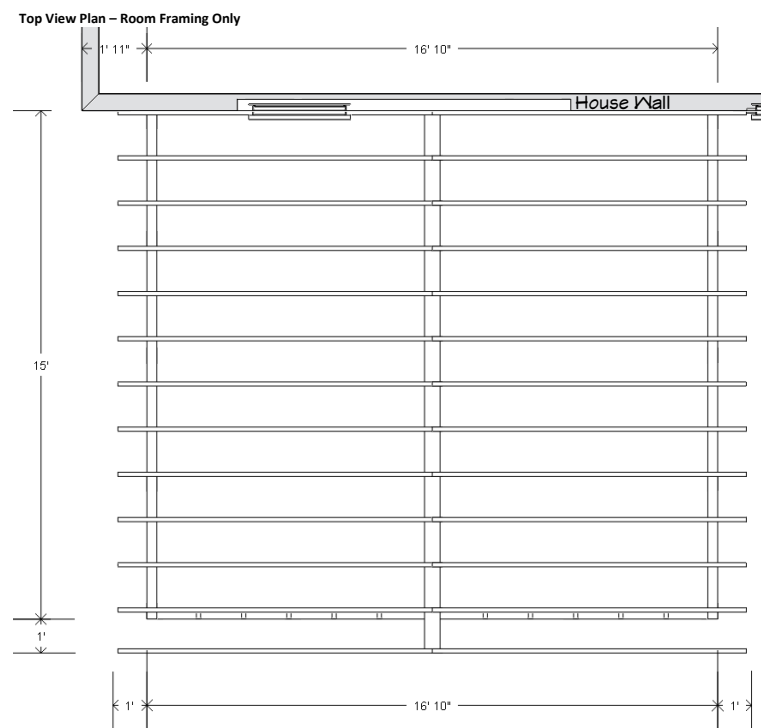
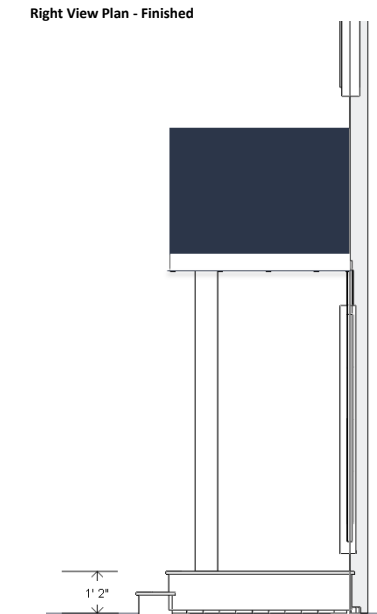
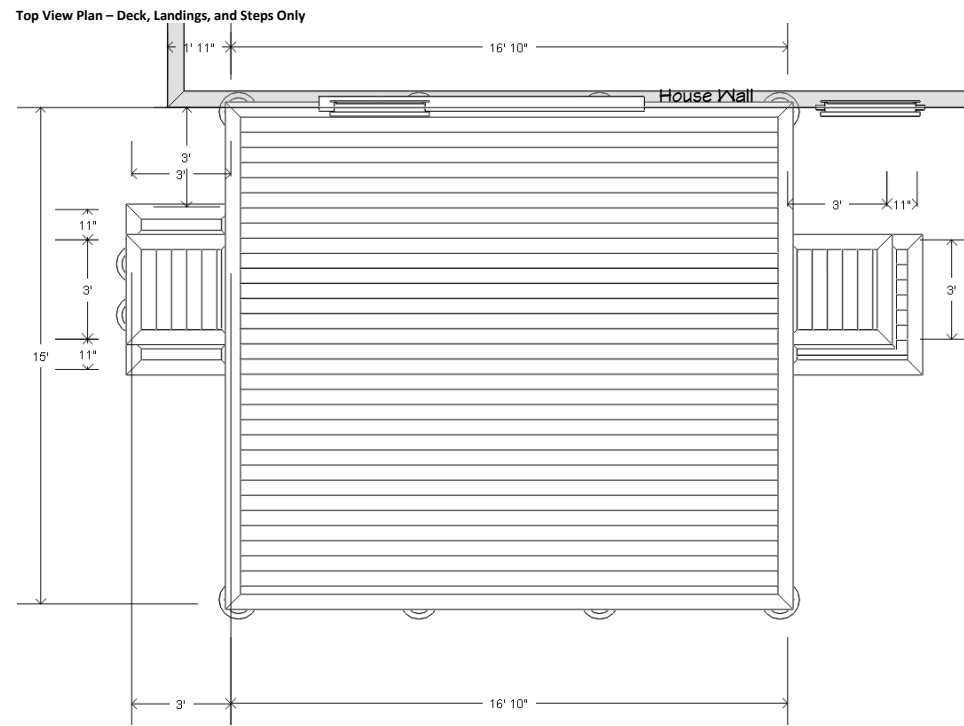
Order No. 20-96602
Scale: 1 inch = 16 feet.
Date of Field Work: April 17, 2020
Ordered by: GRYLL LAW



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY, NOT FOR ELEVATIONS. THIS IS NOT AN ALTA SURVEY. COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

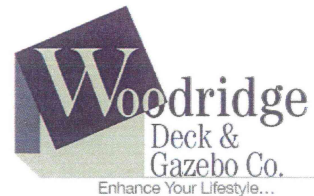
State of Illinois s.s.
County of Cook
We, PROFESSIONALS ASSOCIATED SURVEY INC., do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.
Date: April 27, 2020
Hylton E. Donaldson
IL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2020.

Drawn By: N.M.



Rear 3 Seasons Room

Front Portico



2246 Palmer Dr., Suite 101
Schaumburg, IL 60173
(847) 577-2722
www.deckandgazebo.com

Project Number 25-042 Lettvin
Owner/ Sales Rep. Eric Hoffman 847-791-2122

Proposed
3 season room and front portico

Bryan and Shetal Lettvin
1002 N Chestnut Ave
Arlington Heights, IL 60004

Variance proposal

Y

1