



AGENDA  
ZONING BOARD OF APPEALS  
Buechner Room, 1st Floor  
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.  
Arlington Heights IL 60005  
October 6, 2025  
7:00 PM

- I. CALL TO ORDER
- II. ROLL CALL OF MEMBERS
- III. APPROVAL OF MINUTES
  - A. ZBA Minutes 9/16/25
  - B. 805 S. Walnut Ave. - Findings 9/16/25
  - C. 613 S. Bristol Ln. - Findings 9/16/25
  - D. 608 N. Dunton Ave. - Findings - 9/16/25
  - E. 406 N. Beverly Ln. - Findings 9/16/25
  - F. 814 S. Fernandez Ave. - Findings 9/16/25
  - G. 1002 N. Chestnut Ave. - Findings 9/16/25
- IV. OLD BUSINESS
- V. NEW BUSINESS
  - A. 832 N. Forrest Ave. - ZBA25-031
  - B. 848 S. Belmont Ave. - ZBA25-032
  - C. 4124 N. Walnut Ave. - ZBA25-033
  - D. 511 W. Wing St. - ZBA25-035
  - E. 631 N. Kaspar Ave. - ZBA25-036
- VI. OTHER BUSINESS
- VII. PUBLIC COMMENT

Anyone wishing to speak on a subject not on the Agenda may speak at this time. Please limit your comments to three minutes.

- VIII. ADJOURNMENT

*Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact the Health & Human Services Department, at 33 S. Arlington Heights Road, Arlington Heights, IL 60005, [healthmail@vah.com](mailto:healthmail@vah.com) or 847/368-5760.*

ZONING BOARD

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REPORT OF PROCEEDINGS OF A MEETING  
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS  
ZONING BOARD OF APPEALS

OF APPEALS

RE: 805 SOUTH WALNUT AVENUE - ZBA #25-019

REPORT OF PROCEEDINGS had before the Village of  
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights  
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,  
Arlington Heights, Illinois on the 16th day of September, 2025 at the hour of  
7:00 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman  
JEFFREY LANAGHAN  
MICHAEL O'CONNOR  
JOSEPH SELBKA  
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I  
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: Okay, I'd like to call the Zoning Board of Appeals meeting for September 16, 2025 to order.

Roll call.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Here.

MR. OSOBA: Mr. Selbka.

COMMISSIONER SELBKA: Here.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Here.

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Here.

MR. OSOBA: Mr. Siavelis.

(No response.)

MR. OSOBA: Mr. Drake.

(No response.)

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Here.

Okay, please join me in reciting the Pledge of Allegiance.

(Pledge of Allegiance recited.)

CHAIRPERSON JAFFE: Okay, we'll do the approval of minutes and then I'll cover the hearing procedures for the audience.

Has everyone had an opportunity to review the minutes from the August 11th meeting? Are there any errors or omissions that you've noticed?

(No response.)

CHAIRPERSON JAFFE: Okay, we've got to do a vote by voice. All in favor of approving the August 11th minutes?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: All right, so for the audience, I'm going to go over the procedures for these meetings.

First, quorum. If less than six members are present, option to petitioner to continue the meeting. It takes four affirmative votes to approve a variance regardless of the number of Board members in attendance. If denied, a petitioner cannot reapply for a whole year.

So, we have five tonight. You have to go four for five. If you would like to request a continuance because we have fewer than six members present, you may do so.

The packets and the sheets that you all filled out, they'll be shown on the screen as we go through each petition, but because we have a very full agenda, it is essential that each petitioner explain the four elements necessary for this Board to be able to grant a variation. Those four elements are:

1. That the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances which may include the length of time the subject property has been vacant as zoned;

3. That the proposed variation is in harmony with the spirit and intent of this chapter; and
4. That the variation requested is the minimum variation necessary to allow reasonable use of the property.

A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated. So, again, be on point, be direct, and help us understand why each of those four clauses has been met for us to potentially issue a favorable review on your request.

As far as the sequence of events, so the Chairperson, myself, will open each agenda item and provide any introductory remarks if necessary. We'll then have a Staff presentation which gives a brief overview of the project and the variance request. The applicant will then present its case in favor of zoning relief by way of document and testimony. The applicants and any witnesses testifying must be sworn under oath and must state and spell their respective names for the record.

Public comment. Members of the public may speak on the application. Speakers must be sworn under oath and state and spell their name clearly. Anyone who has formally registered in advance of the hearing as an objector should be permitted to speak first. Objectors must complete the form to be provided by the Department of Community Development and submit it to the Director of Community Development no later than 4:30 p.m., five days before the scheduled date of the hearing.

It's my understanding we do have an objection for one of the petitions but the Objector is not present, correct?

MR. OSOBA: That is correct, and they are not a formal Objector. They are just an objector.

CHAIRPERSON JAFFE: Okay, having then a formal objector, a registered objector may cross examine the applicant or the witnesses. Registered objectors are also not restricted to the time limit for public comment.

Any person who has not formally registered as an objector may speak at the hearing but must limit their comments to three minutes. The Chair may, in his discretion, alter the maximum time provided to public commenters provided the maximum time is provided to all speakers.

So, we request that if you must, anybody who speaks, speaks at the podium. So, we can't have any discussions out in the audience. All of this is recorded, so please respect the order of operations.

If you would like to speak, again, there will be an opportunity for the public to speak on each petition for the petition. If you look at the agenda for the entire meeting, there is a section at the end of the evening for general public comment. So, if anybody has any thoughts about the Chicago Bears or anything else, that would be your opportunity, but if you speak during the petitions, you have to speak to the petition.

Finally, the applicant may make a closing statement and present any follow-up testimony or evidence. The applicant will then rest their case. The Board will make a motion to close public testimony. The Board will deliberate and vote on the matter.

All final decisions must be in writing. If the agenda packet does not include a direct final order that is acceptable to the ZBA, the substantive motion should be to direct Staff to prepare an appropriate final order for approval at a subsequent meeting.

So, with that, we can move to new business. Let's start with Agenda

Item A, 805 South Walnut Avenue, ZBA #25-019.

MR. KROES: Good evening.

CHAIRPERSON JAFFE: Have you both had a chance to swear you in, or to sign in, pardon me?

MR. KROES: Yes, we're both here.

CHAIRPERSON JAFFE: Okay, will you both state your name and addresses for the record? I'll swear you in and then we'll start with the Staff report.

MR. KROES: Sure. Good evening. I'm Brian Kroes at 805 South Walnut, the owner.

(Witness sworn.)

MR. KOLOSOSKI: I'm Bob Kolososki from Prairie Tech Architects at 415 South Middleton Avenue in Palatine.

(Witness sworn.)

MR. OSOBA: The property at 805 South Walnut Avenue is zoned R-3 Residential Single-Family District. The Petitioner is proposing a second-story addition above the existing attached garage adjacent to the south side of the property. The existing home is set back 2.98 feet from the interior side yard where a minimum side setback of six feet is required. The Petitioner is proposing to maintain this nonconforming side setback for the second-story addition.

Therefore, the Petitioner is requesting the following variation:

- A 3.02-foot variation from Chapter 28, Section 5.1-3.3(b) to allow a second-story addition with a side yard setback of 2.98 feet instead of the required six-foot minimum, and an additional one foot for the eave.

CHAIRPERSON JAFFE: You're on.

MR. KROES: All right. So, yes, basically with the four criteria here that we're trying to meet, we are a growing family so we're getting bigger. We want to add a bedroom and a bathroom for the upstairs. We have one shower right now and it's kind of a tiny space. So, we're trying to add on to make it a little bit easier for the family.

We love the neighborhood. Obviously, there's options to move, we don't want to do that. We've been here 10 years; we want to stay longer. We're very happy here.

So, to keeping the character of the neighborhood, we are trying to keep it and why we're asking for this to go straight up and down from the existing foundation and structure, because that's what matches everything else on our street.

So, I brought the architect. Obviously, Bob is here and I am as well, but we have discussed this at length and this is kind of one of the things we knew as a Design Board thing, that they wanted us to keep it looking like every other house in the neighborhood. So, we're trying to do that.

Proposed variation is in harmony with the spirit and intent of this chapter. So, again, that just covers what I was just mentioning. We just want to keep it kind of what everybody else did on the block. So, we're the last ones to do work, unfortunately, but we're happy that we're finally in a position to do so.

That's about it.

COMMISSIONER PORTERA: You said you have lived there for about 10 years?

MR. KROES: Yes.

COMMISSIONER PORTERA: About how many people live in the house?

MR. KROES: There's four of us.

COMMISSIONER PORTERA: Four, okay. And you can confirm that it's an existing nonconforming use, is that right, the setback?

MR. KROES: Correct. You mean the --

COMMISSIONER PORTERA: So, you're just going straight up from the line that you're already in.

MR. KROES: Yes. Yes, we're not going outside the foundation of what's already existing, correct.

COMMISSIONER PORTERA: Okay, and the neighbor on that particular side, have you spoken with them at all?

MR. KROES: Yes. Everybody on the street has been talking with us at length for actually a few years now about what we plan to do. So, we're trying to mirror exactly what we did across the street. We told them as well, and she was like, yes, that looks good. Because if you can see the picture of the house, I don't know if you can change the picture, it's actually kind of awkward looking from the street and it doesn't match any of the other houses on the block because we're the only one that does not have the addition above the garage.

COMMISSIONER PORTERA: Okay, and no negative feedback that you've heard?

MR. KROES: None.

COMMISSIONER PORTERA: Okay, that's all the questions I have.

CHAIRPERSON JAFFE: Dan or Darko, on page 33 of the packet, I just want to make sure I'm reading the comments correctly: The proposed addition is nicely designed to fit with the existing house and surrounding context. This project is favorable for an administrative design approval pending the outcome of the ZBA review.

So, they have or have not gone before Design?

MR. OSOBA: They have gone before Design, but we wouldn't issue a design approval until the Zoning Board could grant the variance.

CHAIRPERSON JAFFE: Okay, thank you.

Any other questions from the Board?

COMMISSIONER LANAGHAN: Just one. Building and Life Safety, they have a note in here that because of the closeness to the setback or to the property line, you would need to have a fire-resistance rating on that wall. I'm assuming you're aware of that?

MR. KOLOSOSKI: We know that, yes. Yes.

COMMISSIONER LANAGHAN: And that's acceptable?

MR. KOLOSOSKI: Yes.

COMMISSIONER LANAGHAN: All right, thank you.

CHAIRPERSON JAFFE: Okay, there doesn't seem to be any other questions, so you can have a seat. We'll see if there's anybody in the audience who wishes to comment publicly.

Anyone in the audience who wishes to comment on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, hearing none, we'll close it down for deliberation.

If we can start with Frank?

COMMISSIONER PORTERA: Yes, I think this is a reasonable and straightforward ask. It's an existing nonconforming use with no negative neighbor feedback. Pretty much everyone was in favor from what we've heard, and it's the minimum variance needed it sounds like to accommodate this growing family. So, I would be in favor.

COMMISSIONER LANAGHAN: I agree.

CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER PORTERA: I move to approve this variance as presented.

COMMISSIONER SELBKA: I second.

MR. OSOBA: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations, your variance has been approved. You're free to leave but you're welcome to stay, whichever you prefer.

MRS. KROES: Thank you very much.

MR. KROES: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:10 p.m.)

ZONING BOARD

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REPORT OF PROCEEDINGS OF A MEETING  
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS  
ZONING BOARD OF APPEALS

OF APPEALS

RE: 613 SOUTH BRISTOL LANE - ZBA #25-025

REPORT OF PROCEEDINGS had before the Village of  
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights  
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,  
Arlington Heights, Illinois on the 16th day of September, 2025 at the hour of  
7:10 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman  
JEFFREY LANAGHAN  
MICHAEL O'CONNOR  
JOSEPH SELBKA  
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I  
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: Let's move on to Agenda Item B, 613 South Bristol Lane, ZBA #25-025.

Good evening.

MR. PURDOM: I'm Kevin Purdom with JRC Design Build. I'm here representing the Tyler family at 613 South Bristol.

CHAIRPERSON JAFFE: And what's your address?

MR. PURDOM: My address is 1275 East Davis Street, Arlington Heights.

(Witness sworn.)

MR. OSOBA: The property at 613 South Bristol Lane is zoned R-3 Residential Single-Family District. The Petitioner is proposing a first-story addition in the rear of the property and a second-story addition on the front of the existing home. In the R-3 District, the maximum floor area ratio (FAR) is 0.45 for lots less than 8,750 square feet. The subject property is 7,240 square feet, which yields a maximum square footage of 3,258 square feet. With the Petitioner's proposed additions, the dwelling will have 3,662 square feet or a floor area ratio of 0.51, where 3,258 square feet or an FAR of 0.45 is the maximum.

Therefore, the Petitioner is requesting the following variation:

- A 404 square-foot variation from Chapter 28, Section 5.1-3.4(a)(1) to allow a floor area ratio of 3,662 square feet instead of the allowed 3,258 square feet.

MR. PURDOM: All right. So, the Tyler family bought the house in 2017, so they've been here for eight years. They're a growing family, two adults and four kids. They just had their fourth in 2024. So, the plan is to add two bedrooms, a bathroom, and a laundry room, above the existing garage, and then extend the kitchen into the backyard as a single-story addition.

We've tried designing it a couple of different ways to try and stay within the FAR, but with the size of the lot and the needs of the growing family, they don't want to leave the house. They want to expand on what they have. They're doing a full remodel of the exterior.

It's in harmony and in spirit of the design because we're a favorable approval for design review pending ZBA approval.

Like I said, we tried reducing the FAR down, but with the needs, this is the minimum that we're requesting.

It's a unique circumstance because they're a relatively smaller lot for where the house sits and to hold six people in a growing family that eventually will all want their own bedrooms.

All other setbacks and zoning had been met.

CHAIRPERSON JAFFE: Have you or the property owners discussed this project with the neighbors?

MR. PURDOM: He's heard from a few neighbors. Everything has been positive. They've said good luck and congrats. No negative feedback.

CHAIRPERSON JAFFE: Do you guys have anything?

(No response.)

CHAIRPERSON JAFFE: Okay, you may have a seat. Thanks, Kevin.

Is there anybody in the audience who wishes to comment on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, none being heard, we'll close it down for deliberation.

You know, I can start. I think this is pretty straight-forward. It's a reasonable request given the number of people in the home and what they're trying to do. I don't think it's unreasonable. They've been in the house for eight years. I don't sense any type of mobility in the near term, and in the absence of any neighbor objection or resistance, I don't have any concerns.

COMMISSIONER LANAGHAN: Yes, I would say, you know, I'm not a huge fan of just kind of ignoring the FAR. I do understand the need of this particular case, so I do find that it can be an exception rather than the rule, to which I can support this one.

CHAIRPERSON JAFFE: Okay, is there a motion?

COMMISSIONER SELBKA: Motion to approve.

COMMISSIONER LANAGHAN: Second.

MR. OSOBA: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:15 p.m.)

ZONING BOARD

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REPORT OF PROCEEDINGS OF A MEETING  
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS  
ZONING BOARD OF APPEALS

OF APPEALS

RE: 608 NORTH DUNTON AVENUE - ZBA #25-027

REPORT OF PROCEEDINGS had before the Village of  
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights  
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,  
Arlington Heights, Illinois on the 16th day of September, 2025 at the hour of  
7:15 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman  
JEFFREY LANAGHAN  
MICHAEL O'CONNOR  
JOSEPH SELBKA  
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I  
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: Moving on, Agenda Item C, 608 North Dunton Avenue, ZBA #25-027. Have you --

MR. LYNDE: We're signed in.

CHAIRPERSON JAFFE: You're already signed in?

MR. LYNDE: Yes.

CHAIRPERSON JAFFE: Okay, can we start with you, sir? Your name and address?

MR. LYNDE: Casey Lynde, 608 North Dunton.

MR. FRIEDMAN: Robert Friedman, 9438 Keeler, Skokie.

CHAIRPERSON JAFFE: Can you both raise your right hand?

(Witnesses sworn.)

CHAIRPERSON JAFFE: Thank you.

MR. BOJIN: The property at 608 North Dunton Avenue is zoned R-3 Residential Single-Family District. The Petitioner is proposing to construct an addition in the front and side of the house. The addition will have a 15.3-foot front yard setback where a 22-foot setback is required. Additionally, the building will have a floor area of 3,040 square feet where the maximum floor area per code in FAR requirements is 2,869 square feet.

Therefore, the Petitioner is requesting the following variations:

- A 6.7-foot variation from Chapter 28, Section 5.1-3(a) to allow an addition with a 15.3-foot front yard setback where a 22-foot setback is required; and
- A 171 square-foot variation from Chapter 28, Section 5.1-3.4 to allow a floor area of 3,040 square feet instead of the allowed 2,869 square-foot maximum.

Thank you.

MR. LYNDE: I kind of think it's on repeat here, but growing family. My wife and my four boys love the house, love the area. Three bedrooms is getting tight on us, so we are adding a fourth bedroom and a master bath for my wife who doesn't have to share a bathroom with five boys. Then, we are, we would like to wrap the front porch to kind of continue it on, and I think that's what the front porch setback is for.

What else do we have in there?

MR. FRIEDMAN: I just want to clarify. The addition that we talked about in the front, that's the covered porch. It's not a structure; it's not a building. There's an existing front porch now and we're extending it more, so we're keeping in line with what's there.

COMMISSIONER LANAGHAN: So, I've got a couple of questions.

MR. LYNDE: Sure.

COMMISSIONER LANAGHAN: How long have you been in the house?

MR. LYNDE: About nine years.

COMMISSIONER LANAGHAN: Nine years, I see.

MR. LYNDE: Yes.

COMMISSIONER LANAGHAN: Completely understand the front yard setback. You've tried to keep the existing porch. You'd have to actually tear the porch down that's there to make it conform.

MR. LYNDE: Correct.

COMMISSIONER LANAGHAN: That's not unreasonable, in my opinion anyway. I'll let the rest of the Board speak to it.

So, let me get to the FAR which I just commented on. Is there anything that could have been done to reduce that size to make the FAR work? Why are we at this number?

MR. FRIEDMAN: We tried making it more compact which included bringing the addition more towards the street, but that didn't allow for, if we could see the elevations?

MR. LYNDE: We needed to keep that bay window.

MR. FRIEDMAN: The Design Commission had a problem with this, so we had to push the addition back.

COMMISSIONER LANAGHAN: Okay, I got it.

MR. FRIEDMAN: Therefore, we did the extra square footage.

COMMISSIONER LANAGHAN: So, you're trying to meet some other guidelines that were there?

MR. FRIEDMAN: The other guys that aren't as reasonable as you guys.

COMMISSIONER LANAGHAN: I understand. Those people who shall remain unnamed right now, I got you.

MR. LYNDE: And we're keeping, so I want to keep the same, like same siding, same roof shingle and color and everything.

COMMISSIONER LANAGHAN: I got you; I got you. Approximately how big is the covered porch area? Do you have an idea? I'm assuming it's much more than the 171-foot FAR variance you're asking for.

MR. FRIEDMAN: Yes. Let's see, we got seven by 20 --

MR. LYNDE: It's that one or the actual 950, or is it both?

MR. FRIEDMAN: No, just the part that we're adding on.

COMMISSIONER LANAGHAN: It's a combination of both. Your FAR is basically anything that's covered by a roof.

MR. LYNDE: Okay.

MR. FRIEDMAN: It's about 200 square feet.

COMMISSIONER LANAGHAN: So, if it were not for the wraparound porch, you would be in compliance. So, that's just kind of how do you look at a porch. I know our Staff looks at it as it's a structure and, therefore, it's FAR, et cetera.

MR. FRIEDMAN: Got you.

COMMISSIONER LANAGHAN: Okay, those are my questions.

CHAIRPERSON JAFFE: Anything else, guys?

(No response.)

MR. LYNDE: Talked to the neighbors, they're in favor.

CHAIRPERSON JAFFE: All right, why don't you have a seat? Then we'll see if anybody has any comments, and then we'll close it down for deliberation.

MR. LYNDE: Thank you.

CHAIRPERSON JAFFE: Anybody present who would like to speak on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, we'll close it down for Board deliberations.

Jeff, did you want to begin?

COMMISSIONER LANAGHAN: Yes, absolutely. The front yard setback, as I mentioned, you know, is an existing nonconforming line currently. They're just matching

it and, therefore, architecturally keeping the house, you know, much more together. I appreciate that actually. The fact that they kind of were trying to get the FAR to work and were instructed otherwise and the fact that more than 200 square feet is under a porch and not actually a livable space, those are all kind of conditions that I think make sense to approve this one.

CHAIRPERSON JAFFE: Yes, I'm familiar with this property. I used to walk by it all the time when I had a four-legged partner with me, and I saw this family grow. So, given what they're trying to do here, I think it sits well. I mean, Dunton Avenue, especially that stretch, you need to have -- ground. So, I think that there's a lot of value in trying to keep it as characteristic as it's going to be. So, I'm supportive of it.

Is there a motion?

COMMISSIONER SELBKA: Motion to approve.

COMMISSIONER LANAGHAN: I'll second that.

MR. BOJIN: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. BOJIN: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. BOJIN: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. BOJIN: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. BOJIN: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations.

MR. LYNDE: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:22 p.m.)

ZONING BOARD

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REPORT OF PROCEEDINGS OF A MEETING  
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS  
ZONING BOARD OF APPEALS

OF APPEALS

RE: 406 NORTH BEVERLY LANE - ZBA #25-028

REPORT OF PROCEEDINGS had before the Village of  
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights  
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,  
Arlington Heights, Illinois on the 16th day of September, 2025 at the hour of  
7:22 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman  
JEFFREY LANAGHAN  
MICHAEL O'CONNOR  
JOSEPH SELBKA  
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I  
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: Okay, next, Agenda Item D, 406 North Beverly Lane, ZBA #25-028.

MS. POORTINGA: Hi.

CHAIRPERSON JAFFE: Hi. Can you just state your, oh, have you signed in?

MS. POORTINGA: No.

CHAIRPERSON JAFFE: All right, we'll give you a moment.

MS. POORTINGA: Thank you.

CHAIRPERSON JAFFE: You're welcome.

MS. POORTINGA: Thank you. My name is Paula Poortinga, I'm at 406 North Beverly Lane in Arlington Heights.

(Witness sworn.)

MR. BOJIN: The property at 406 North Beverly Lane is zoned R-3 Residential Single-Family. The Petitioner is proposing to expand their existing front yard driveway to 26 feet wide. Code prohibits driveways wider than 22 feet.

Therefore, the Petitioner is requesting the following variation:

- A four-foot variation from Chapter 28, Section 10.2-11.1(b) to allow a 26-foot wide driveway where driveways may not exceed 22 feet in width.

MS. POORTINGA: Do I talk now?

COMMISSIONER LANAGHAN: You're up.

MS. POORTINGA: So, we welcomed a family member into our household at the beginning of this year. He's of driving age. He's my husband's oldest son from Australia, and we did not expect that he would ever get to live with us, so we're very happy that he's with us. We've turned into a three-car family, and I have two small little kids who are under age seven.

So, shuffling the cars has been a little bit of a hassle with keeping track of the little kids. It would just be lovely if we wouldn't have to shuffle the cars when we pull in and out of our garage. This is also the only paved space that we have to get to our front door.

We did just have a permit to widen the driveway with ribbons up to 21 feet. So, we've left this small portion of a few extra feet for the variance to be approved.

I think it stays within the character of the neighborhood. There are other neighbors that have driveways with what I consider a bump-out. They don't have the same size driveways as we have, but visually, it would be of visual similarity to other neighbors on our street.

We're just expanding the driveway. We're going to use the same materials, with poured concrete. It should look flawless, you know, it should look nice.

COMMISSIONER SELBKA: Did you speak to your neighbors about this?

MS. POORTINGA: Absolutely.

COMMISSIONER SELBKA: Any objections?

MS. POORTINGA: No, none at all.

COMMISSIONER SELBKA: How long have you lived in the house?

MS. POORTINGA: Two years.

COMMISSIONER SELBKA: All right, those are the only questions I've got.

COMMISSIONER LANAGHAN: I've got a couple just because I'm a little

confused by the exhibits. Pardon me for that. So, the one we're looking at now shows these yellow strips down the side. Is that what you've already done?

MS. POORTINGA: That's been approved and that's been completed, yes.

COMMISSIONER LANAGHAN: Okay, so that's not what we're talking about.

MS. POORTINGA: No.

COMMISSIONER LANAGHAN: We're talking about just the little --

MS. POORTINGA: That little triangle.

COMMISSIONER LANAGHAN: It's kind of the blackened area there or blue maybe on the one in front of it?

MS. POORTINGA: Correct.

COMMISSIONER LANAGHAN: Is what we're talking about, and that four-foot dimension by, you know, do you know how long that is by any chance?

MS. POORTINGA: It's about, I think it's 22 feet in length from the, it's from the road up to where our basketball hoop is.

COMMISSIONER LANAGHAN: Got you. So, that extra four feet, you can get the car in there without having issues with the other vehicles.

MS. POORTINGA: Yes, and it is like the minimum amount.

COMMISSIONER LANAGHAN: The minimum you're choosing.

MS. POORTINGA: Yes, we just measured our cars. We said four feet is all we need, so that's all we're going to ask for.

COMMISSIONER LANAGHAN: Perfect. All right, thank you.

CHAIRPERSON JAFFE: Any other questions?

(No response.)

CHAIRPERSON JAFFE: You may have a seat, thank you.

MS. POORTINGA: Okay, thanks.

CHAIRPERSON JAFFE: Anybody present who wishes to comment on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, we'll close it down for Board deliberation.

COMMISSIONER SELBKA: I'm in favor of this. We know it's difficult when you have an oddly-shaped, when you have a driveway and three cars, and when you have two small children, the less pulling in and out of your driveway you have to do the better. So, I think this is an appropriate variance and I'm for it.

COMMISSIONER O'CONNOR: It seems to be the minimum required.

COMMISSIONER SELBKA: Yes.

COMMISSIONER O'CONNOR: To accomplish what they're trying to do as well.

CHAIRPERSON JAFFE: Yes, I have to make the same comment. I appreciate that the owner didn't go overboard and that's important, too.

COMMISSIONER O'CONNOR: Yes, absolutely.

CHAIRPERSON JAFFE: So, is there a motion?

COMMISSIONER SELBKA: Motion to approve.

COMMISSIONER O'CONNOR: Second.

MR. BOJIN: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. BOJIN: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. BOJIN: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. BOJIN: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. BOJIN: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations.

MS. POORTINGA: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:27 p.m.)

ZONING BOARD

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REPORT OF PROCEEDINGS OF A MEETING  
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS  
ZONING BOARD OF APPEALS

OF APPEALS

RE: 814 SOUTH FERNANDEZ AVENUE - ZBA #25-029

REPORT OF PROCEEDINGS had before the Village of  
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights  
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,  
Arlington Heights, Illinois on the 16th day of September, 2025 at the hour of  
7:27 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman  
JEFFREY LANAGHAN  
MICHAEL O'CONNOR  
JOSEPH SELBKA  
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I  
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: Moving on to Agenda Item E, 814 South Fernandez Avenue, ZBA #25-029.

Good evening.

MRS. NEUKIRCH: Good evening.

CHAIRPERSON JAFFE: Your name and address?

MRS. NEUKIRCH: Alex Neukirch at 814 South Fernandez.

(Witness sworn.)

CHAIRPERSON JAFFE: He's going to start with the Staff report first.

MR. OSOBA: Let me get situated here.

The property at 814 South Fernandez Avenue is zoned R-3 Residential Single-Family District. The Petitioner is proposing a driveway extension on the south side of the driveway. The existing driveway is 17 feet wide at the sidewalk, and the Petitioner is proposing to extend the driveway by 16 feet to the south. Additionally, the driveway will continue in the south side yard along the side of the house for additional parking. The total driveway width proposed is 33 feet where the maximum driveway width for two-car garages is 22 feet.

Therefore, the Petitioner is requesting the following variation:

- An 11-foot variation from Chapter 28, Section 10.2-11.1(b) to allow an extension of an existing 17-foot wide driveway to a total of 33 feet where the maximum driveway width for two-car garages is 22 feet.

It should be noted that an e-mail was received on September 5th, 2025 from an adjacent property owner in objection to their variation request. The neighbor requested that the objection be included in the record as they would not be able to attend the Zoning Board meeting. That letter is in the agenda packet.

An additional objection letter was received on Monday, which was after the agenda packet was published. They requested that the letter be included in the agenda. I can read it into the record or provide the comments; however, you'd like to proceed with that.

CHAIRPERSON JAFFE: The order of operations, do we want the Petitioner to go first? Then we can cover both the one that was in the packet and not?

MR. OSOBA: Yes, that sounds great.

CHAIRPERSON JAFFE: Okay. All right, let's do that.

MRS. NEUKIRCH: Sure.

CHAIRPERSON JAFFE: So, go ahead.

MRS. NEUKIRCH: All right, not altering the essential character essentially, I am seeking to just extend the driveway, to extend the width of the driveway to be able to drive and park next to the garage instead of the front of the garage. Much like we heard earlier, I want to minimize moving the car off of the driveway. We have three young kids. We're going to have a basketball hoop out there, and like it was at my last house, every time, can I play basketball? Yes. Can you move the car? Yes.

So, we want to keep that to the minimum. We want to have that additional parking space. Again, three young kids, half my garage is filled with their stuff. They have ride-ons, they have scooters, they have all of these fun things.

Additionally, if you look at my site, it's unique itself in that it's not your standard rectangle. It is wider at the front, narrow in the back. So, I do have this

additional space in the front that I really can't do much of anything else with. So, I'd like to utilize it, I would like to be able to pull parking in there short of building a third car garage, to have somewhere to park and also have somewhere to put my garbage cans because they are not in front of my garage and it is not pretty.

Further, I already have two vehicles. I do have overnight guests. Again, with the shuffling of the cars, it isn't great. Additionally, I have a short street, so the next house, I'm between two houses basically, and my street is between Kirchoff and Maple. It is, my side is three houses. One person has people over, pretty much there's no more parking left on the street. So, this will give me more parking in order to avoid any other issues that that might cause with parking.

I think that's it.

MR. OSOBA: Did you want to --

CHAIRPERSON JAFFE: Yes, actually, do you want to, before we start questioning, yes, why don't we do that then? Can you put the one that's in the packet on the screen so the audience can see? And let's read that, and then could you read the second one in?

MR. OSOBA: Let me get you a copy in a little bit.

CHAIRPERSON JAFFE: Thank you.

MR. OSOBA: This is a letter that we received from Michael Scott on Saturday, September 13th, objection to a request for a variance at 814 South Fernandez:

I respectfully object to the request for a variance that proposes a near doubling of width of an existing driveway from 17 to 33 feet at the property located at 814 South Fernandez. While not disclosed on the notice of public hearing, the variance request also proposes extending the widened driveway 22 feet beyond the front of the home. Besides the garage creating a multi-vehicle parking lot viewed from the street and backyard of the adjacent property to the south, the width and length of the driveway variance requested is not consistent or compatible with any home on Fernandez or within the immediate neighborhood.

The hardship noted by the Petitioner to increase parking spaces can be accommodated without a variance with an existing ample street parking, an existing two-car garage and a standard 22-foot four-car driveway. The variance if approved beyond that which the existing code allows would change the character of this existing residential neighborhood and sets a dangerous precedent with potential for deteriorating home values.

I would appreciate my objection to be shared with the VAH Building Code Review Board responsible for approving and upholding the Village design codes. Please feel free to contact me with any questions.

COMMISSIONER O'CONNOR: So, you said there are three young children, two cars, two drivers?

MRS. NEUKIRCH: Yes.

COMMISSIONER O'CONNOR: Okay, and you talked about overnight guests. How often does that happen?

MRS. NEUKIRCH: My mom watches my kids, so sometimes if it's too late, just stay the night, you know. It happens often enough that we're dealing with it, not often enough that I can stand here and tell you it's everyday. Yes, she's close by, but sometimes it's just easier that way.

Can I speak to what was in the objection as well?

CHAIRPERSON JAFFE: Yes, but we have questions.

MRS. NEUKIRCH: Oh, okay. All right, you can go ahead.

CHAIRPERSON JAFFE: Why don't we get through the questions first from the Board?

MRS. NEUKIRCH: Sure.

CHAIRPERSON JAFFE: And then, yes, absolutely, you'll have an opportunity to respond to the objectors.

MRS. NEUKIRCH: Okay.

COMMISSIONER O'CONNOR: I was by the property today, and I know the first objection letter that was in the packet talked about green space. In this area, it's kind of a pie shape, well, it's a pie-shaped lot but there's a curve coming off of Kirchoff. So, there is quite a bit of green space between your neighbor's yard.

MRS. NEUKIRCH: Right.

COMMISSIONER O'CONNOR: Their backyard and your yard there.

MRS. NEUKIRCH: Right.

COMMISSIONER O'CONNOR: I understand, what's the, you know, I can understand the need to extend the driveway a little bit to the south, but what's the need to go back to the side of the garage?

MRS. NEUKIRCH: So, really, I wanted to have that additional parking space. Kind of the plan was first to just build a third car garage. Already built half that house, so that's definitely on the back burner right now. But the additional space is especially because I want to put up a basketball hoop. I want to have a big court for my kids to play on and not have to worry about the constant back and forth.

So, I really, I want to utilize that space because I can't do much with it, you know. I'm not going to put a play set out there or anything like that. So, it's just there.

I will say the green you saw was probably weeds, a lot of it. The previous owner had a lot of brick there and a lot of, and so now it's just kind of dirt, but I want to do something with it where I can actually use it.

COMMISSIONER O'CONNOR: Okay, there's no vehicle being parked there today?

MRS. NEUKIRCH: No.

COMMISSIONER O'CONNOR: Because you're right, it was kind of rough over on that side.

MRS. NEUKIRCH: Yes, I did. I did notice tracks. No, so right now, my current driveway is actually below code because I think code is like 22 and it's at 17. So, the second car is being parked off of the driveway just because if you park it on and you're trying to go into the garage, you have like this much space and it's just about it. But no, nothing is being parked there right now.

COMMISSIONER O'CONNOR: I can understand with the kids and the challenge that brings, and the street is shorter. But also, you know, hearing the objection, based on what's in with the packet, you know, I can also see the point of that homeowner in going back next to the garage, you know, making it start to kind of look more like a parking lot like he said. So, that could take away, you know, from the character of the neighborhood. I guess that was one of the challenges I had with this.

CHAIRPERSON JAFFE: Yes, I mean, that's, I was thinking the same thing. 17 feet is below code, it's narrower than most. You know, the yellow, this looks like the state of Nevada, that section, you know, I think that's reasonable, but yes, to your point, Mike, now we start going further up, I don't know, now I'm trying to question the hardship.

COMMISSIONER O'CONNOR: Yes, that's where I was going, too.

MRS. NEUKIRCH: Right, so I was just trying to clear up the driveway in general. I will say there are a few houses over by Pioneer Park, just a couple of blocks away, that also have this driveway where they do have the cars parked next to the house. I think it looks fine. I don't intend to put a boat there or a recreational vehicle or anything of that nature that was brought up. If I can also say that I can technically park those things there now without the driveway.

I really do just want to clear up the driveway and make it look aesthetically pleasing, I don't like having a car in front of the driveway, and then just clearing it up literally so that the kids have more space to play basically.

COMMISSIONER O'CONNOR: Have you received any other feedback? I know we've received two pieces of that here.

MRS. NEUKIRCH: Sure.

COMMISSIONER O'CONNOR: Have you talked to any of your other neighbors, the people that are either immediately to the north or south?

MRS. NEUKIRCH: On my street?

COMMISSIONER O'CONNOR: Yes.

MRS. NEUKIRCH: Right. No, the person across from me to the left, I spoke with him about two weeks ago. He came, he asked about it, we chatted. It was a two-hour long conversation, and he said great, I'm all for it, if I can make it, I'll vote yes. So, I feel like to the people who are actually on my block, it's only seven houses. We're not talking, you know, all these people and all of the space that's kind of taking away.

Really to that point, I would say that it adds because it does add parking, so it does add to the value. It clears up space on the street for other people. So, that's what I would say to that.

COMMISSIONER O'CONNOR: So, the one neighbor across the street, to the point, neither, the feedback we received are not people that are on your street, but they're near?

MRS. NEUKIRCH: Right.

COMMISSIONER O'CONNOR: But the neighbor to the south, the one that's on, I think their house is on Kirchoff?

MRS. NEUKIRCH: Yes, their house is on Kirchoff.

COMMISSIONER O'CONNOR: Did they have any feedback?

MRS. NEUKIRCH: They haven't said anything, no.

COMMISSIONER O'CONNOR: Okay, because this would get pretty close to their house.

MRS. NEUKIRCH: Right. Yes, yes. Yes, I was concerned about that.

COMMISSIONER O'CONNOR: They haven't said anything? Okay.

MRS. NEUKIRCH: You know, if it's an issue, you know, I can talk to them, but they haven't brought anything up. Their kid plays with my kid, it's very nice, but they haven't brought anything up, no.

COMMISSIONER O'CONNOR: Okay, all right.

CHAIRPERSON JAFFE: Did you want to make any other comments regarding the letters that were submitted?

MRS. NEUKIRCH: You know, to the point about this boat or RV or something, you know, technically, I guess I don't need concrete to park something there if I really wanted to, right? So, to the extent that the Village doesn't allow it, I wouldn't park anything there anyway. But I'm not, I just spent a lot of money on this house, making it look nice, I wouldn't put anything there that's going to bring down the aesthetics of the neighborhood is kind of the point.

It was frustrating that this person is telling me why I'm asking for this, you know, stating that the only reason she could want this is to park her boat or recreational vehicle there. That's not it, you know, I've been forthcoming, and that's the only reason that I'm looking.

CHAIRPERSON JAFFE: Have you already installed the patio in the back?

MRS. NEUKIRCH: No. I want to do the concrete all at the same time so that they don't double charge me. So, we're just waiting that out right now.

CHAIRPERSON JAFFE: Can the patio be used as a basketball area?

MRS. NEUKIRCH: So, it's covered. Yes, so we're going to have like an outdoor area there.

CHAIRPERSON JAFFE: Do you guys have any other questions?

Comments?

COMMISSIONER LANAGHAN: Well, comments for sure. I do have an issue with basically blowing through the code by 33 percent. That's not the intent of what we're up here to do. So, I am opposed to that.

I guess I would ask Staff, you know, if she were to put a basketball court or something like that, would that need a variance, or is that something separate just because it's a driveway, that they would need something of that nature?

MR. OSOBA: A basketball court in the front yard would need a variance. Basketball courts are technically accessory structures so they have to go the backyard, but if it met all the codes, it could just be a building permit.

COMMISSIONER LANAGHAN: Got you, okay.

CHAIRPERSON JAFFE: Did you want to make a comment?

MRS. NEUKIRCH: Okay, it was a hoop, just, you know, a basketball hoop.

COMMISSIONER LANAGHAN: No, I understand, but --

MRS. NEUKIRCH: Oh, okay.

COMMISSIONER LANAGHAN: -- you were saying you wanted to provide a place for the kids.

MRS. NEUKIRCH: And I know that I need a permit, right.

COMMISSIONER LANAGHAN: Yes, I understand that and I do get that.

MRS. NEUKIRCH: Okay, I didn't know if there's like a court, yes.

COMMISSIONER LANAGHAN: That's a reasonable kind of thought a parent would have.

MRS. NEUKIRCH: Yes. Yes.

COMMISSIONER LANAGHAN: I'm saying, you know, what this looks like though, your neighbors are, you know, not incorrect, it looks like a parking lot. Even though I know that's not your intent.

MRS. NEUKIRCH: Right.

COMMISSIONER LANAGHAN: You've stated that, but you know, at some point in time this house will be sold and the next people, you know, very well could do something like that. Again, my biggest objection is the size of the variance.

MRS. NEUKIRCH: I understand.

COMMISSIONER LANAGHAN: It's not the minimum; it's the maximum of what you'd be asking for. So, you know, I have an issue with that personally.

MRS. NEUKIRCH: Right. So, I was just trying to place three cars across.

COMMISSIONER LANAGHAN: I understand.

MRS. NEUKIRCH: So, again, having in my mind the idea of making it a three-car garage with that.

COMMISSIONER LANAGHAN: You just heard the one before, so you could do that in 26 feet.

MRS. NEUKIRCH: Well, the one before me didn't have all that extra space on the side, so that to me would be the difference.

CHAIRPERSON JAFFE: Does the Board have any other comments?

COMMISSIONER SELBKA: As for a comment, you know, again, I think to allow the three cars for that little sort of extension up to the house, I'd be okay with that. It's the second slab that I have an issue with, that's sort of just to the west of the house.

MR. OSOBA: South?

COMMISSIONER SELBKA: Is that south? Oh, excuse me, yes, sorry. Yes, just to the south of the house. I think that is, and I was looking at the objector, where his address is, and he would be looking out right at that, more closely looking at that.

So, I'm willing to go with the area that is attached to the current driveway, I'm willing to go with a variance to allow that, but I'm not willing to vote for a variance for the slab that's to the south of the home.

COMMISSIONER O'CONNOR: I think from what I'm hearing, you know, from the Board here, there's a few of us that feel similarly. There is an opportunity for you to continue this hearing if you would like to go back and re-look at it, because if it is declined, it has a preclusive effect, meaning you can't come back for a variance for a year, period. So, you have one option.

MR. OSOBA: Chair, excuse me, we do need to open the public hearing for the rest of the --

CHAIRPERSON JAFFE: Before we go in deliberation?

MR. OSOBA: Before we go ahead and continue.

CHAIRPERSON JAFFE: Okay, thank you.

All right, if you could have a seat, please?

MRS. NEUKIRCH: Sure.

CHAIRPERSON JAFFE: We'll see if there's anyone in the public that wishes to speak.

MR. OUREDNIK: It will take me a moment, I apologize. I sign in?

CHAIRPERSON JAFFE: Just sign in; we don't need to swear you in.

MR. OUREDNIK: Okay.

CHAIRPERSON JAFFE: Just identify yourself please after you've signed in.

MR. OUREDNIK: So, my name is John Ourednik, I live at 814 South Salem Avenue, one block west of the property in discussion.

I guess I have two points. First, the neighbor directly to the north has

provided me a letter and I can give that to you or I can read it into the record. I'm not sure if you have a preference.

COMMISSIONER SELBKA: I think the letter should probably be read, right?

CHAIRPERSON JAFFE: Yes. I guess I didn't know, a neighbor gave you the letter?

MR. OUREDNIK: Yes.

CHAIRPERSON JAFFE: Okay, go ahead and read it, but then that needs to be submitted.

MR. OUREDNIK: Yes.

CHAIRPERSON JAFFE: So, do you have a copy for yourself?

MR. OUREDNIK: I'll leave this with you.

CHAIRPERSON JAFFE: Okay, go ahead.

MR. OSOBA: We can get you a copy.

MR. OUREDNIK: So, this is regarding 814 South Fernandez. To the Village of Arlington Heights Zoning Board of Appeals, Planning and Community Development. To whom it may concern:

I am Irene Corcoran. I reside at 707 West Maple Street, Arlington Heights, directly north of the property in discussion. I apologize, I am not able to attend tonight's meeting in person and pray that you will accept my written statement.

I have no objection to the Neukirchs widening their driveway. While I have lived next to 814 South Fernandez for over 30 years, I have only just met the Neukirch after they had just moved in. However, they are a lovely family and great neighbors. I fully trust that they will add to the Village of Arlington Heights community including its local aesthetics. Signed by Irene Corcoran.

As to the next, so I live at 814 South Salem, it's one block west. It's called the Cooney house even though I've lived there for 12 years. Maybe one day it will be mine.

So, we also have a large driveway. I've never once parked an RV, a boat, a trailer or anything else there. We just use it for the extra cars. We have a basketball hoop. The kids love playing basketball there. So, to the extent that the letter that was mailed in in the Board package says it can only be used for that, I don't think that's true at all because I've never used my large driveway for anything like that.

Further, the line of sight of the complaining neighbor, it has no view whatsoever of this and there is no reason for him to ever go down Fernandez. He lives right off of Ridge. This will be out of sight, out of mind. I'm not sure, I'm sure he has an interest in the community, but this is a short street, six, seven houses on the street, and Mr. Supplitt is I don't think anywhere near this property, close to 300 and some feet away.

Certainly, in the future he's worried that these people might be parking boats there. Well, this is a brand-new family, three young kids, it will be 20 years I think before they move out after the extent of remodeling that they've done. So, I think any concerns for parking RVs there in the future are pretty remote.

Secondly and finally, Mr. Supplitt, he has no problem going around kissing babies, I'm sure many of you might know him, is being elected to several different positions. I'm a little upset that he didn't have a chance to go and say hi to the Neukirch family despite living four houses away from them and find out what they're going to use

this for. He would have found out that you get a lawyer and an IT professional living there, a coach of a basketball team living there, maybe he just wants to have his kids play basketball there.

So, that's really all I have.

CHAIRPERSON JAFFE: Thank you.

Is there anyone else who would like to speak?

(No response.)

CHAIRPERSON JAFFE: Okay, so we have, of four neighbors, we have two who appear to be in support and two who have objections or concerns.

COMMISSIONER SELBKA: On the Ridge objection, I tend to discount that one because Mr. Ourednik mentioned, and I checked Google Maps, and he's correct that a Ridge property is pretty far away from where this slab would be. I have more concerns as to 715 West Maple, the Scott objection because that is right in the line of sight of where this slab would be. Like basically, his lot looks out onto where the slab would be, especially the one that's going to be just to the south of the house.

So, my concern is not with the widening of the driveway which, again I think that's a reasonable request, my concern is the additional slab to the south of the house that I think is problematic and there's a neighbor that's right near there who has objected to it. So, that's my concern.

CHAIRPERSON JAFFE: Jeff or Mike, are those --

COMMISSIONER LANAGHAN: Yes, certainly the secondary slab is much more concerning. I do have a concern with the driveway being widened to 33 feet. You know, 11 feet more, that's basically 11-foot per car, that's a driveway, that's not a parking stall. Parking stalls are nine-foot wide. You know, I could go with a 26, 27-foot something up to the garage; 33 feet is excessive in my opinion. Definitely that second slab is kind of just, you know, over the top, in my opinion.

CHAIRPERSON JAFFE: Are we okay with calling the Petitioner back up about a potential negotiation?

COMMISSIONER O'CONNOR: Yes.

CHAIRPERSON JAFFE: Would you like to return? So, look, you have some neighbors who are in great support of you and you have some neighbors who have concerns. Ultimately, the Board which would vote on this shares some but not all of the concerns. I think we recognize that you have a need to expand your parking spaces, but -

MRS. NEUKIRCH: Yes.

CHAIRPERSON JAFFE: -- to the plan that you submitted, given you need four affirmative votes and there are five of us, you're hearing from most of us where our heads are at, it would get denied and then you couldn't do anything with the driveway for a year. So, what we are offering is if you want to go back to the drawing board, come up with a revised plan that is not as audacious as this, your chances of success will probably increase.

COMMISSIONER SELBKA: Or you have the right to ask for a continuance and, you know, a whole Board of seven, you may be able to squeak through with everything. So, that's a possibility as well. You have that right, so you should think about that as well.

MRS. NEUKIRCH: Okay, my driveway right now is awful. I don't particularly

want to, would it be possible if I just amended it right now and just took off that slab next to the garage and just ask for the part in front and then to just pull that walkway all the way up?

CHAIRPERSON JAFFE: How would that work, Dan?

MR. OSOBA: Theoretically, some member of the ZBA could make a motion to approve the petition with the condition that they remove some feature that's already there. It should be noted that that driveway extension on the side is not part of the variance requested. It's only 22 by 13 feet wide. It does contribute to the aesthetics of the overall lot. The kind of wedge, the odd-shaped portion on the driveway in the bottom is the, the full width of that is the 33 feet. So, if there was a motion that included conditions to amend the plan, that could be made by the members.

CHAIRPERSON JAFFE: You're not good with 33, you want it to be narrower?

COMMISSIONER LANAGHAN: Yes, I think 26 or 27; 26 is what the last person just asked, and I realize they're completely separate things. They're unique situations. I'm not trying to tie these together but, you know, a normal parking lot, a normal parking stall in a parking lot is nine-foot wide. So, you know, 26-27 feet, you should be able to get three cars in there without any problem. 33 is too wide in my opinion. Then, definitely, this slab that's being added adjacent to the garage, you know, it's just kind of overkill which I think you've heard from the rest of them. So, I'd be in support of a 26, 27-foot wide up to the garage.

CHAIRPERSON JAFFE: Can you remind us how many children you have?

MRS. NEUKIRCH: Three.

CHAIRPERSON JAFFE: How old are they?

MRS. NEUKIRCH: Nine, six and three, but she'll be four next month.

CHAIRPERSON JAFFE: And your mother occasionally spends the night to watch the kids. Her car would need to be parked in the driveway and not on the street to avoid --

MRS. NEUKIRCH: Correct.

COMMISSIONER SELBKA: I'm willing to give the homeowner the whole 33 feet, but not the slab without an issue. So, I would vote for that.

CHAIRPERSON JAFFE: Frank?

COMMISSIONER PORTERA: Yes, I think the neighbor comment, it's two against two and that's put some stock into the 707 Maple being in favor of the variance as presented. The Petitioner has let us know that she's added on to this house and renovated it, adding to the value of the neighborhood as a family that's growing and wants to stay in the neighborhood. So, if she can work with us and remove that extra slab, I would be in favor.

MRS. NEUKIRCH: Thank you.

COMMISSIONER O'CONNOR: I'd be in support of the 33, I think that is --

CHAIRPERSON JAFFE: Jeff, I see your logic, but with the number of kids and their ages, I think that space would probably be used. So, I'm okay with the 33.

All right, so if you are still aligned with this approach, we are going to make a motion that this proposal is going to be amended.

MRS. NEUKIRCH: Sure.

CHAIRPERSON JAFFE: That's going to be amended to remove that

rectangular slab on the south side of the home.

MRS. NEUKIRCH: Understood.

COMMISSIONER SELBKA: So, don't need the Driveway Extension 22 by 13 but we are allowing Driveway Extension 31 by 16.

CHAIRPERSON JAFFE: Okay, so you may have a seat back.

MRS. NEUKIRCH: Thank you.

CHAIRPERSON JAFFE: All right, so the motion needs to reflect, what, Dan?

MR. OSOBA: So, the motion would need to reflect what, if anything, were to be amended based on the Petitioner's proposed plans, that the Zoning Board would make a motion to approve the variance for the 33-foot wide driveway with the condition that X, Y, Z is removed from the plan.

COMMISSIONER SELBKA: I will make a motion to grant the variance as amended, as proposed by the Petitioner today, allowing the area entitled "Driveway Extension 31 by 16" in the drawings, but denying or withdrawing "Driveway Extension 22 by 13" in the drawings. That would mean the slab, the proposed slab of concrete directly to the south of the house, that request will be denied and is withdrawn by the Petitioner, but the request for the Driveway Extension 31 by 16 which is parallel to the existing driveway will be allowed.

Is that clear enough, Dan?

MR. OSOBA: That is, yes.

CHAIRPERSON JAFFE: Because it needs recording.

COMMISSIONER SELBKA: Yes.

COMMISSIONER O'CONNOR: I second that.

MR. OSOBA: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: No.

MR. OSOBA: Mr. Jaffe.

CHAIRPERSON JAFFE: Yes.

You're all set. Have a good evening.

MRS. NEUKIRCH: Thank you again.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:58 p.m.)

ZONING BOARD

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REPORT OF PROCEEDINGS OF A MEETING  
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS  
ZONING BOARD OF APPEALS

OF APPEALS

RE: 1002 NORTH CHESTNUT AVENUE - ZBA #25-030

REPORT OF PROCEEDINGS had before the Village of  
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights  
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,  
Arlington Heights, Illinois on the 16th day of September, 2025 at the hour of  
7:58 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman  
JEFFREY LANAGHAN  
MICHAEL O'CONNOR  
JOSEPH SELBKA  
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I  
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: Let's go to Agenda Item F, 1002 North Chestnut Avenue, ZBA #25-030.

MR. HOFFMAN: Hi, I'm the contractor. My name is Eric Hoffman, and my address is 929 Shagbark Lane, West Dundee.

MR. LETTVIN: I'm the homeowner, Brian Lettvin, 1002 North Chestnut Avenue.

CHAIRPERSON JAFFE: Could you both raise your right hands?  
(Witnesses sworn.)

CHAIRPERSON JAFFE: Thank you.

MR. OSOBA: The property at 1002 North Chestnut Avenue is zoned R-3 Residential Single-Family District. The Petitioner is proposing a building addition in the rear of the property for a three-seasons room. The addition will be covered by a roof and have walls on two of the three sides. The open side is proposed to face west with walls on the north and south sides. The building addition encroaches 10.3 feet into the required rear setback which is 30 feet in the R-3 District.

Therefore, the Petitioner is requesting the following variation:

- A 10.3-foot variation from Chapter 28, Section 5.1-3.3(d) to allow a three-seasons room addition set back 19.7 feet from the rear property line where the rear setback minimum is 30 feet.

CHAIRPERSON JAFFE: Go ahead.

MR. HOFFMAN: So, Dan, can you just help me out on something? We ran into where if we detached it, there was substantially less setback, and then also if it was just a deck, there's substantially less. There's only a 15-foot setback which would be like four feet inside the setback. Then, we talked to Dan about, okay, can we keep it one inch away because we want it to look like it is attached, and then it was that doesn't meet the spirit of the rule or something. Then we kind of got into, well, how far away do we need to be, and then there really wasn't a concrete answer. Then it just became, okay, then we want to attach it because being detached is going to not increase the value of the home as much as being attached.

CHAIRPERSON JAFFE: So, you're back to you want to attach it?

MR. HOFFMAN: Yes.

CHAIRPERSON JAFFE: So, let's walk through the four reasons why you want to attach it.

MR. LETTVIN: So, for starters, the whole premise of this is that we, the current existing situation is like a steep step down to a concrete patio which is already existing. We have, my mother-in-law helps like watch our kids. We have, for the record, a growing family, so, three, just turned eight, and 10.

COMMISSIONER LANAGHAN: We are, one second, we are pro growing families.

MR. LETTVIN: Yes, it seems like. That's the premise. It's almost a prerequisite. But our mother-in-law helps with, you know, caring for them and helps out when she comes over to watch them because we're both working. One of the things is that we wanted to make it so that it was a walkout space, so that she didn't have, wasn't subjected to like the steep steps.

Then the second piece is that it provides a space for her to get

outside exposure. She has a condition where she can't be directly exposed to sunlight but still needs to be outside. I actually even provided a note from her doctor that has an indication that she can't have direct sun exposure, so that's why we're trying to do like the covered porch area. So, that's kind of like the hardship aspect of it.

Additionally, this is a corner lot. So, you can tell by the plat that as you reach the, I guess west side of the property, there is a 14-foot like alley that's there, but it's all grass. So, it's like there's really no street there. So, there is a good 14 feet of space that's really, I guess --

CHAIRPERSON JAFFE: I live three blocks southeast so I'm very familiar with the lot.

MR. LETTVIN: Awesome. So, well, I guess now I'm done, right? So, there's that piece of it. Then, what else am I missing?

MR. HOFFMAN: There's a lot of grass on the side, too --

MR. LETTVIN: Oh, for the permeable --

CHAIRPERSON JAFFE: Sir? Pardon me. Sir, please, thank you.

Go ahead.

MR. LETTVIN: Yes. So, the whole front and then parkway side, on the south side of it is all grass. So, that wouldn't be any issue in terms of like running into issues with permeable space or any of that nature. I'm trying to think, did I miss anything?

MR. HOFFMAN: Yes, I think we're pretty much very close to the exact same size as what they have now for concrete. So, it's not adding anything or very little. I think maybe the landings might just barely make it over.

CHAIRPERSON JAFFE: How long have you owned the house?

MR. LETTVIN: We've lived there for five years, a little over five years. We moved here, love the area, love the schools, and we're going to be here until the kids go through all the schools plus some.

MR. HOFFMAN: I think our biggest thing is if we were to detach it, it's not going to be as nice as if it's attached, but we're allowed to have it some amount away but we're not exactly, we couldn't really get a clear concrete number on how far that needed to be.

CHAIRPERSON JAFFE: So, you've lived in the house for five years, you've got three kids, and the mother-in-law. Have you discussed this project with your neighbors?

MR. LETTVIN: Yes. We actually have some in attendance with us, too, so they are all very supportive over it.

CHAIRPERSON JAFFE: Do you guys have any questions?

COMMISSIONER LANAGHAN: Just one. The variance request is you're in the rear yard. Did you think about maybe elongating it as opposed to doing it in a square?

MR. HOFFMAN: It's only like four or five feet or something like that, but if it's a deck or a detached, we can go another four feet further. It's kind of a weird --

COMMISSIONER LANAGHAN: Yes. Well, the way it reads is 19.7, so you're at 10.3-foot variance, so maybe that's --

MR. HOFFMAN: Yes, so that would only be a five-foot room, but --

COMMISSIONER LANAGHAN: Yes, so that's basically --

MR. HOFFMAN: -- if we detached it, we can go into the rear yard like four more feet --

COMMISSIONER LANAGHAN: Yes, got it.

MR. HOFFMAN: -- because it becomes 15 --

COMMISSIONER LANAGHAN: And I'm assuming with your mother-in-law and the condition she has, a four or five-foot wide porch would be in the sunshine half the time anyway. So, okay, I got you. Makes sense.

CHAIRPERSON JAFFE: Any other questions from the Board?

COMMISSIONER O'CONNOR: I know you said you have neighbor support, but the neighbor to the north or the neighbor to the west, have they commented?

MR. LETTVIN: The neighbor to the north is present and the neighbor to the west is present.

COMMISSIONER O'CONNOR: Okay, we'll hear from them then.

CHAIRPERSON JAFFE: All right, why don't you have a seat? We'll see if anybody wants to comment, and if they do, you can come back up.

MR. LETTVIN: Thank you.

CHAIRPERSON JAFFE: Is there anybody who'd like to comment on this petition?

MR. BOYD: Kent Boyd, 1003 North Mitchell. So, we're just to the west of this property, and we're supportive.

CHAIRPERSON JAFFE: Thank you for that.

Anybody else present who'd like to comment?

MS. WALTERS: I'm Trish Walters, I live in the home adjacent. So, in the picture, just above.

Initially, I thought, wow, that's a lot of building. But then I walk out in the backyard, everybody has their garages at the back. It's no different than anything else. So, I go, yes, go for it. My garage is at the very back, so they're staring at that wall and it's really not any different except it will feel more open. So, I think it's a good move.

CHAIRPERSON JAFFE: So, you're in support?

MS. WALTERS: Yes.

CHAIRPERSON JAFFE: Okay, thank you.

MR. FILIPEK: I'm Doug Filipek; I'm the homeowner at 936 North Chestnut, two houses south on the other side of Willow. Also a growing family, but just wanted to say that we're entirely in support of it. In talking to neighbors, everybody is totally in favor. We've reviewed the plans and hope you vote in favor for it. Thank you.

CHAIRPERSON JAFFE: Thank you.

MR. ANDREWS: Hi, Robert Andrews. I live at 916 North Chestnut. We're in support, me and my wife. Like Doug said, everybody in the neighborhood is fine with it.

CHAIRPERSON JAFFE: Thank you.

MR. ANDREWS: Thank you.

CHAIRPERSON JAFFE: Anybody else?

(No response.)

CHAIRPERSON JAFFE: You have the opportunity to respond to any of those four favorable comments.

MR. LETTVIN: No, thank you.

CHAIRPERSON JAFFE: We'll close it down for Board deliberation.

I can start. I think the Petitioner and the architect did a nice job giving us the context and background as to why they're asking for what they're asking for. Given

the family and living circumstances, I don't find this to be an unreasonable request. Neighbor comments were four in support and zero in objections. So, I have no concerns at this course.

COMMISSIONER SELBKA: Agreed.

CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER LANAGHAN: I move to approve as presented.

COMMISSIONER SELBKA: Second.

MR. OSOBA: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations. Dan, do we have any other business this evening?

MR. OSOBA: We do not.

CHAIRPERSON JAFFE: Okay, and public comment, does anybody want to talk about anything?

(No response.)

CHAIRPERSON JAFFE: All right, is there a motion to adjourn?

COMMISSIONER LANAGHAN: So moved.

COMMISSIONER SELBKA: Second.

CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: We are off the record.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 8:10 p.m.)

STATE OF ILLINOIS     )  
                                  ) SS.  
COUNTY OF KANE        )

I, RON LeGRAND, SR., depose and say that  
I am a digital court reporter doing business in the State of  
Illinois; that I reported verbatim the foregoing proceedings and  
that the foregoing is a true and correct transcript to the best of  
my knowledge and ability.

\_\_\_\_\_  
RON LeGRAND, SR.

SUBSCRIBED AND SWORN TO  
BEFORE ME THIS \_\_\_\_\_ DAY OF  
\_\_\_\_\_, A.D. 2025.

\_\_\_\_\_  
NOTARY PUBLIC

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS  
ZONING BOARD OF APPEALS  
PUBLIC HEARING  
SEPTEMBER 16, 2025  
FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 805 S. Walnut Ave. – Kroes Residence

Applicant: Brian & Carrie Kroes

Zoning Relief Requested:

- A 3.02-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 2.98-feet instead of the required 6.0-foot minimum and an additional 1.0-foot for the eave.

Date of Publication: 8/30/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Lanaghan, O’Connor, Portera, Selbka

Having heard and considered the testimony and evidence at the public hearing of September 16, 2025, the ZBA makes the following **findings of fact**:

The petitioner is proposing a second-story addition above the existing attached garage adjacent to the south side of the property. The existing home is setback 2.98-feet from the interior (south) side yard where a minimum side yard setback of 6.0-feet is required. The petitioner is proposing to maintain this non-conforming side setback from the second-story addition.

**For Variation Requests:**

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

**The ZBA finds that evidence of the following was presented at the public hearing** (check all that apply with an “X”):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

**Does the ZBA Find in Favor of the Applicant for Relief Requested?**

**Relief Granted (if any):**

- A 3.02-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 2.98-feet instead of the required 6.0-foot minimum and an additional 1.0-foot for the eave.

**Reason for Determination:**

The petitioner testified as to the hardship, existing conditions and substandard setbacks of the subject property, and similar improvements in the surrounding neighborhood. The Zoning Board commented that the variance is minimal, matches the existing non-conforming setback, and there were no concerns raised from adjacent property owners.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays 0 Absent 2 Abstain 0

Date: September 16, 2025

Benjamin Jaffe, Chair  
Zoning Board of Appeals  
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

SEPTEMBER 16, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 613 S. Bristol Ln. – Tyler Residence

Applicant: Kevin Purdom – JRC Design Build

Zoning Relief Requested:

- A 404 square-foot variation from Chapter 28, Section 5.1-3.4(a)(1) (Maximum Floor Area Ratio) to allow a floor area ratio of 3,662 square-feet instead of the allowed 3,258 square-feet.

Date of Publication: 8/30/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Lanaghan, O’Connor, Portera, Selbka

Having heard and considered the testimony and evidence at the public hearing of September 16, 2025, the ZBA makes the following findings of fact:

The petitioner is proposing a first-story addition in the rear yard and a second-story addition on the front of the existing home. In the R-3 District, the maximum floor area ratio (FAR) is 0.45 for lots less than 8,750 square-feet. The subject property is 7,240 square-feet, which yields a maximum square-footage of 3,258 square-feet. With the petitioner’s proposed building additions, the dwelling will have 3,662 square-feet, or an FAR of 0.51, where 3,258 square-feet, or an FAR of 0.45, is the maximum.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

**Does the ZBA Find in Favor of the Applicant for Relief Requested?**

**Relief Granted (if any):**

- A 404 square-foot variation from Chapter 28, Section 5.1-3.4(a)(1) (Maximum Floor Area Ratio) to allow a floor area ratio of 3,662 square-feet instead of the allowed 3,258 square-feet.

**Reason for Determination:**

The petitioner testified as to the hardship, existing conditions of the subject property, and similar improvements in the surrounding neighborhood. Additionally, the petitioner testified that the Design Commission reviewed and approved the proposed architectural design of the building addition. The Zoning Board commented that the variance is the minimal necessary, the design was already approved by the Design Commission, and there were no concerns raised from adjacent property owners.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays 0 Absent 2 Abstain

Date: September 16, 2025

Benjamin Jaffe, Chair  
Zoning Board of Appeals  
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS  
ZONING BOARD OF APPEALS  
PUBLIC HEARING  
SEPTEMBER 16, 2025  
FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 608 N. Dunton Ave. – Lynde Residence

Applicant: Lee Anne Butler – RBR Total Home Remodeling

Zoning Relief Requested:

- A 6.7-foot variation from Chapter 28, Section 5.1-3.a (Required Minimum Yards) to allow an addition with a 15.3-foot front yard setback where a 22-foot setback is required.
- A 171 square-foot variation from Chapter 28, Section 5.1-3.4 (Maximum Floor Area Ratio) to allow a floor area ratio of 3,040 square-feet instead of the allowed 2,869 square-foot maximum.

Date of Publication: 8/30/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Lanaghan, O’Connor, Portera, Selbka

Having heard and considered the testimony and evidence at the public hearing of September 16, 2025, the ZBA makes the following findings of fact:

The property is zoned R-3 and has a total land area of approximately 6,375 square feet. The petitioner is proposing to construct an addition in the front and side of the house. This addition will have a 15.3-foot front yard setback where a 22-foot setback is required. Additionally, the building will have a floor area ratio of 3,040 square feet where the maximum floor area ratio, per Code, is 2,869 square feet.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

- X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

**Does the ZBA Find in Favor of the Applicant for Relief Requested?**

**Relief Granted (if any):**

- A 6.7-foot variation from Chapter 28, Section 5.1-3.a (Required Minimum Yards) to allow an addition with a 15.3-foot front yard setback where a 22-foot setback is required.
- A 171 square-foot variation from Chapter 28, Section 5.1-3.4 (Maximum Floor Area Ratio) to allow a floor area ratio of 3,040 square-feet instead of the allowed 2,869 square-foot maximum.

**Reason for Determination:**

The petitioner testified that the existing footprint of the house made it impractical to construct an addition that was smaller or set back any further. The Zoning Board commented that the variance is consistent with the character of the neighborhood and would be the minimum necessary to allow for such an addition.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays 2 Absent 0 Abstain

Date: September 16, 2025

Benjamin Jaffe, Chair  
Zoning Board of Appeals  
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS  
ZONING BOARD OF APPEALS  
PUBLIC HEARING  
SEPTEMBER 16, 2025  
FINDINGS OF FACT, DECISION AND ORDER

**Agenda Item:** 406 N. Beverly Ln. – Poortinga Residence

**Applicant:** Paula Poortinga

**Zoning Relief Requested:**

- A 4-foot variation from Chapter 28, Section 10.2-11.1.b (Off-Street Parking and Loading) to allow a 26-foot wide driveway where driveways may not exceed 22 feet in width.

**Date of Publication:** 8/30/25

**Manner of Publication:** Daily Herald

**Zoning Board of Appeals (“ZBA”) Members Present:**

Jaffe, Lanaghan, O’Connor, Portera, Selbka

Having heard and considered the testimony and evidence at the public hearing of September 16, 2025, the ZBA makes the following **findings of fact**:

The property is zoned R-3 and has a total land area of approximately 7,920 square feet. The petitioner is proposing to expand their existing front-yard driveway to 26-foot wide. Code prohibits driveways wider than 22 feet.

**For Variation Requests:**

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

**The ZBA finds that evidence of the following was presented at the public hearing** (check all that apply with an “X”):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- The proposed variation is in harmony with the spirit and intent of this Chapter; and
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

**Does the ZBA Find in Favor of the Applicant for Relief Requested?**

**Relief Granted (if any):**

- A 4-foot variation from Chapter 28, Section 10.2-11.1.b (Off-Street Parking and Loading) to allow a 26-foot wide driveway where driveways may not exceed 22 feet in width.

**Reason for Determination:**

The petitioner testified that their household had 3 cars and found difficulty parking all of them on the existing driveway. The Zoning Board commented that the variance would improve the safety of the property and is the minimum necessary to allow 3 cars to use the driveway.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays 2 Absent 0 Abstain

Date: September 16, 2025

Benjamin Jaffe, Chair  
Zoning Board of Appeals  
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS  
ZONING BOARD OF APPEALS  
PUBLIC HEARING  
SEPTEMBER 16, 2025  
FINDINGS OF FACT, DECISION AND ORDER

**Agenda Item:** 814 S. Fernandez Ave. – Neukirch Residence

**Applicant:** Alexandria & Craig Neukirch

**Zoning Relief Requested:**

- A 11-foot variation from Chapter 28, Section 10.2-11.1(b) (Off Street Parking and Loading) to allow an extension of an existing 17-foot-wide driveway to a total of 33-feet where the maximum driveway width for two car garages is 22-feet.

**Date of Publication:** 8/30/25

**Manner of Publication:** Daily Herald

**Zoning Board of Appeals (“ZBA”) Members Present:**

Jaffe, Lanaghan, O’Connor, Portera, Selbka

Having heard and considered the testimony and evidence at the public hearing of September 16, 2025, the ZBA makes the following **findings of fact**:

The petitioner is proposing a driveway extension on the south side of the driveway. The existing driveway is 17-foot wide at the sidewalk and the petitioner is proposing to extend the driveway by 16-feet to the south. Additionally, the driveway will continue in the south side yard along the side of the house for additional parking. The total driveway width proposed is 33-feet where the maximum driveway width for two-car garages is 22-feet.

An email was received on September 5, 2025 from an adjacent property owner in objection to this variation request. The neighbor requested that the objection be included in the record as they would not be able to make the Zoning Board of Appeals meeting. The letter was provided in the agenda for the ZBA meeting. One additional letter was received from an adjacent property owner in objection to the variation request. Similarly, the property owner could not attend the meeting, but requested that the letter be read into the record at the meeting. The objection letter was read into the record. One property owner spoke in favor of the variance request and presented another a letter from another adjacent property owner which stated no objection to the new driveway widening.

**For Variation Requests:**

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an "X"):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- The proposed variation is in harmony with the spirit and intent of this Chapter; and
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

**Does the ZBA Find in Favor of the Applicant for Relief Requested?**

**Relief Granted (if any):**

- A 11-foot variation from Chapter 28, Section 10.2-11.1(b) (Off Street Parking and Loading) to allow an extension of an existing 17-foot-wide driveway to a total of 33-feet where the maximum driveway width for two car garages is 22-feet.
- The relief granted by the ZBA is conditioned upon the removal of the driveway extension labeled "Driveway Extension 22 by 13" identified on the petitioner's proposed plans titled "814 S. Fernandez Work Plans\_v1" and proposed directly to the south of the house.

**Reason for Determination:**

The petitioner testified to the unique site characteristics and the shape of the lot, which provides a very wide and large front yard and a narrow and small back yard. The petitioner indicated the variance request was the minimal necessary in order to utilize open space in the front yard while also providing additional off-street parking for guests and family. The Zoning Board commented that the variance request for 33-foot driveway, in tandem with the additional driveway extension on the side of the house, may not be consistent with the appearance and character of the neighborhood with a large amount of surface parking in the front and side of the house. In addition, the Zoning Board discussed the testimony of two property owners in opposition to the petition and two property owners in favor of the petition. The Zoning Board deliberated on the minimality of the variance request, the unique site characteristics and the unique shape of the lot. A motion was made to approve the petitioner's variance request with the condition that the additional concrete driveway extension on the side of house be removed.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 4 Nays 1 Absent 2 Abstain

Date: September 16, 2025

Benjamin Jaffe, Chair  
Zoning Board of Appeals  
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

SEPTEMBER 16, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 1002 N. Chestnut Ave. – Lettvin Residence

Applicant: Mike Moffit – Woodridge Deck & Gazebo Co.

Zoning Relief Requested:

- A 10.3-foot variation from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards) to allow a three-seasons room addition setback 19.7-feet from the rear property line where the rear setback minimum is 30-feet.

Date of Publication: 8/30/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Lanaghan, O’Connor, Portera, Selbka

Having heard and considered the testimony and evidence at the public hearing of September 16, 2025, the ZBA makes the following **findings of fact**:

The petitioner is proposing a building addition in the rear of the property for a three-seasons room. The addition will be covered by a roof and have walls on two of three sides. The open side is proposed to face west with walls on the north and south sides. The building addition encroaches 10.3-feet into the required rear yard setback, which is 30-feet in the R-3 District.

**For Variation Requests:**

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

**The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):**

X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

X The proposed variation is in harmony with the spirit and intent of this Chapter; and

X The variance requested is the minimum variance necessary to allow reasonable use of the property.

**Does the ZBA Find in Favor of the Applicant for Relief Requested?**

**Relief Granted (if any):**

- A 10.3-foot variation from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards) to allow a three-seasons room addition setback 19.7-feet from the rear property line where the rear setback minimum is 30-feet.

**Reason for Determination:**

The petitioner testified as to the hardship and existing site conditions of a dedicated but not constructed alley adjacent to the rear of the property. Two adjacent property owners spoke in favor of the petition. The Zoning Board commented that the variance is minimal and there were no concerns raised from adjacent property owners.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays 0 Absent 2 Abstain

Date: September 16, 2025

Benjamin Jaffe, Chair  
Zoning Board of Appeals  
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.



VILLAGE OF  
ARLINGTON HEIGHTS  
INC. 1887

**Zoning Board of Appeals  
10/6/2025**

**Item:** 832 N. Forrest Ave. - ZBA25-031  
**Department:** Planning & Community Development

**Item Description:**

**REQUEST**

A 4.14-foot variation from Chapter 28, Section 5.1-0.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.86-feet where the minimum side setback is 10.0-feet and an additional 9.0-inches for the eave.

**ATTACHMENTS:**

1. ZBA packet\_832 N Forrest Ave

## ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

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### Staff Analysis

Prepared By: Darko Bojin, Assistant Planner  
Hearing Date: October 6, 2025  
Date Prepared: September 30, 2025  
Project Title: Kroner/Monaco Residence  
Address: 832 N. Forrest Ave.

### Background Information

Petition Number: ZBA #25-031  
Petitioner: Marie Jung – Home Services Direct  
Address: 1111 N. Yale Ave.  
Villa Park IL 60181

Existing Zoning: R-3 – Residential Single-Family District

### Requested Action/Background Information

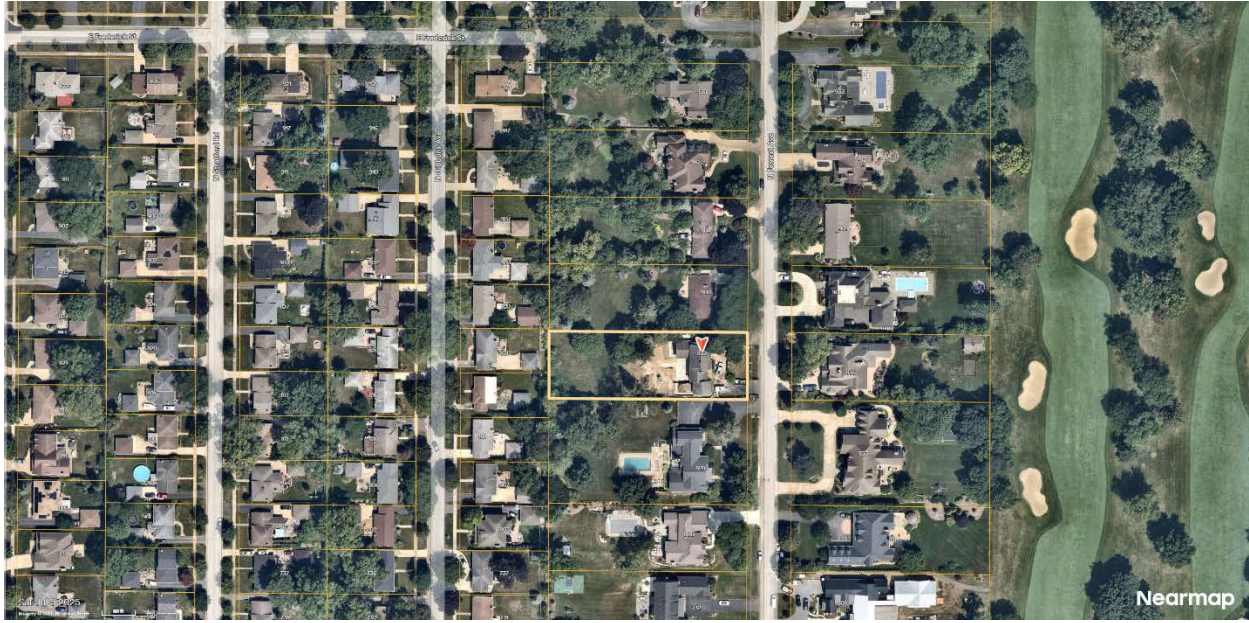
The property is zoned R-3 and has a total land area of approximately 29,700 square feet. The petitioner is proposing to construct a second story addition. This addition is proposed to match the existing 5.86-foot side yard setback where a 10-foot setback is required. The addition was reviewed by the Design Commission on May 13, 2025 and received approval with a condition that the Zoning Board of Appeals must review and approve the required variation. Therefore, the petitioner is requesting the following variations:

- A 4.14-foot variation from Chapter 28, Section 5.1-0.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.86-feet where the minimum side setback is 10.0-feet and an additional 9.0-inches for the eave.

### Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

**Map of General Vicinity**



**Items required to be Submitted 15 Days Prior to Public Hearing**

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/17/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/17/25	
3. Letter that was Mailed	✓	9/17//25	
4. Photographs of Sign on Property	✓	9/1725	

Photographs of Existing Structure



# Village of Arlington Heights



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**To:** Marie Jung  
**From:** Darko Bojin  
**Department:** Department of Planning and Community Development  
**File Number:** ZBA 25-031  
**Project:** 832 N. Forrest Avenue  
**Date:** September 30, 2025

---

## **ZONING COMMENTS:**

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 4.14-foot variation from Chapter 28, Section 5.1-0.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.86-feet where the minimum side setback is 10.0-feet and an additional 9.0-inches for the eave.

If you have any questions, please contact [dbojin@vah.com](mailto:dbojin@vah.com):

## **Planning and Community Development**

1. This project was submitted for Design Commission review with the proposed addition set back to comply with code, which received Design Commission approval on May 13, 2025. The massing of the revised design as submitted for ZBA review is substantially compliant with the design as approved by the Design Commission. However, Staff will need to review all exterior materials, colors, and details for final approval upon building permit submittal to determine compliance with the Design Commission's approval or if a Design Commission re-review will be required.

## **Building and Life Safety**

1. No comments.

## **Engineering**

1. No comments.

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that a public hearing will be held on Monday, October 6, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 4.14-foot variation from Chapter 28, Section 5.1-0.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.86-feet where the minimum side setback is 10.0-feet and an additional 9.0-inches for the eave.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or [planning-mail@vgh.com](mailto:planning-mail@vgh.com).

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT 37 IN C.H. TAYLOR'S ARLINGTON TOWN GARDENS, A SUBDIVISION OF THE WEST 1/2 OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 7, 1946 AS DOCUMENT NUMBER 1373591, IN COOK COUNTY, ILLINOIS.

Commonly known as: 832 N. Forrest Avenue, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or [healthmail@vgh.com](mailto:healthmail@vgh.com).

Benjamin Jaffe, Chair  
Zoning Board of Appeals

Published in Daily Herald Sept. 20, 2025 (305802)

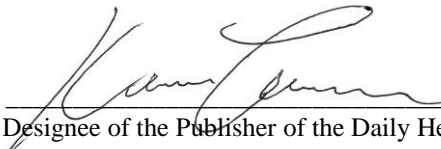
**CERTIFICATE OF PUBLICATION**

**Paddock Publications, Inc.**

**Northwest Suburbs  
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 09/20/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY   
Designee of the Publisher of the Daily Herald

Control # 305802



# PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

## PETITION

NOW COMES the Petitioner Brett Kroner and Stefania Monaco  
being the owner of the property commonly know as: 632 N Forrest Ave, Arlington Heights, IL  
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a  
Variation from Section 12


Chapter 28, of the Arlington Heights Municipal Code, in order to: build secon floor above existing garage at the same set back as existing garage. Also build addition along the same set back as the existing garage.

*I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain):* Yes, the variance will allow the property to look more aesthetically pleasing. The variance allows the second floor to be built within the set backs of the existing garage and does not change any zoning issues.

*I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain):* Yes, the homeowners purchased this home recently and wanted to do some renovations and build an addition to meet their needs.

*I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain):* Yes, the variance does not change any zoning issues since the garage is already existing and will not change. The variance affects the second floor above the garage so it aligns with the garage set backs.

*I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain):* Yes, the variance allows the second floor to align within the same set backs as the existing garage.

Signed:  Date: 7/29/25  
Petitioner

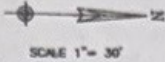
Revised 1/14/25

## Project Description

832 N. Forrest Ave, Arlington Heights

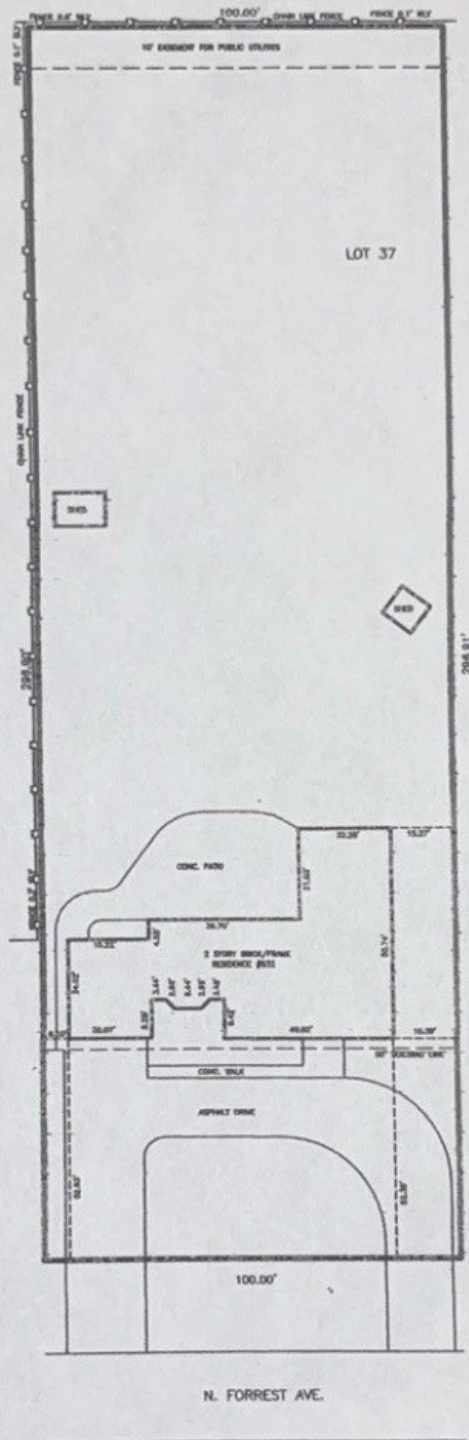
The homeowners are building a second story addition as well as an addition behind the existing house. The variance is for the second floor addition above the existing garage and first floor addition behind the garage. Homeowner would like to build the additions with the same setback as the existing garage so that the house is more aesthetically pleasing.

# PLAT OF SURVEY



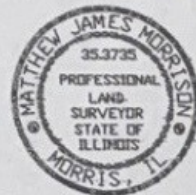
LOT 37 IN C.H. TAYLOR'S ARLINGTON TOWN GARDENS, A SUBDIVISION OF THE WEST 1/2 OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 7, 1946 AS DOCUMENT NUMBER 13735491, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS 832 N. FORREST AVE., ARLINGTON HEIGHTS, IL. 60004



1. COMPARE ALL SURVEY POINTS WITH ONE ANOTHER BEFORE BUILDING BY SAME, AND REPORT ANY DISCREPANCIES IMMEDIATELY.
2. CHECK LEGAL DESCRIPTION WITH DEED, AND REPORT ANY DISCREPANCIES IMMEDIATELY.
3. BUILDING LINES, IF ANY, SHOWN HEREON ARE AS SHOWN ON THE RECORDED SUBDIVISION.
4. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SOLANG.
5. PROPERTY CORNERS NOT SET AT REQUEST OF CLIENT.
6. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

**SPIES & ASSOCIATES, INC.**  
 Civil Engineers - Land Surveyors  
 534 WEST CAMPUS DRIVE  
 ARLINGTON HEIGHTS, ILLINOIS 60004  
 PH 847.577.8808 FAX 847.577.0229



STATE OF ILLINOIS ) S.S.  
 COUNTY OF COOK )

SPIES & ASSOCIATES INC. HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE, AND THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF SAID SURVEY.

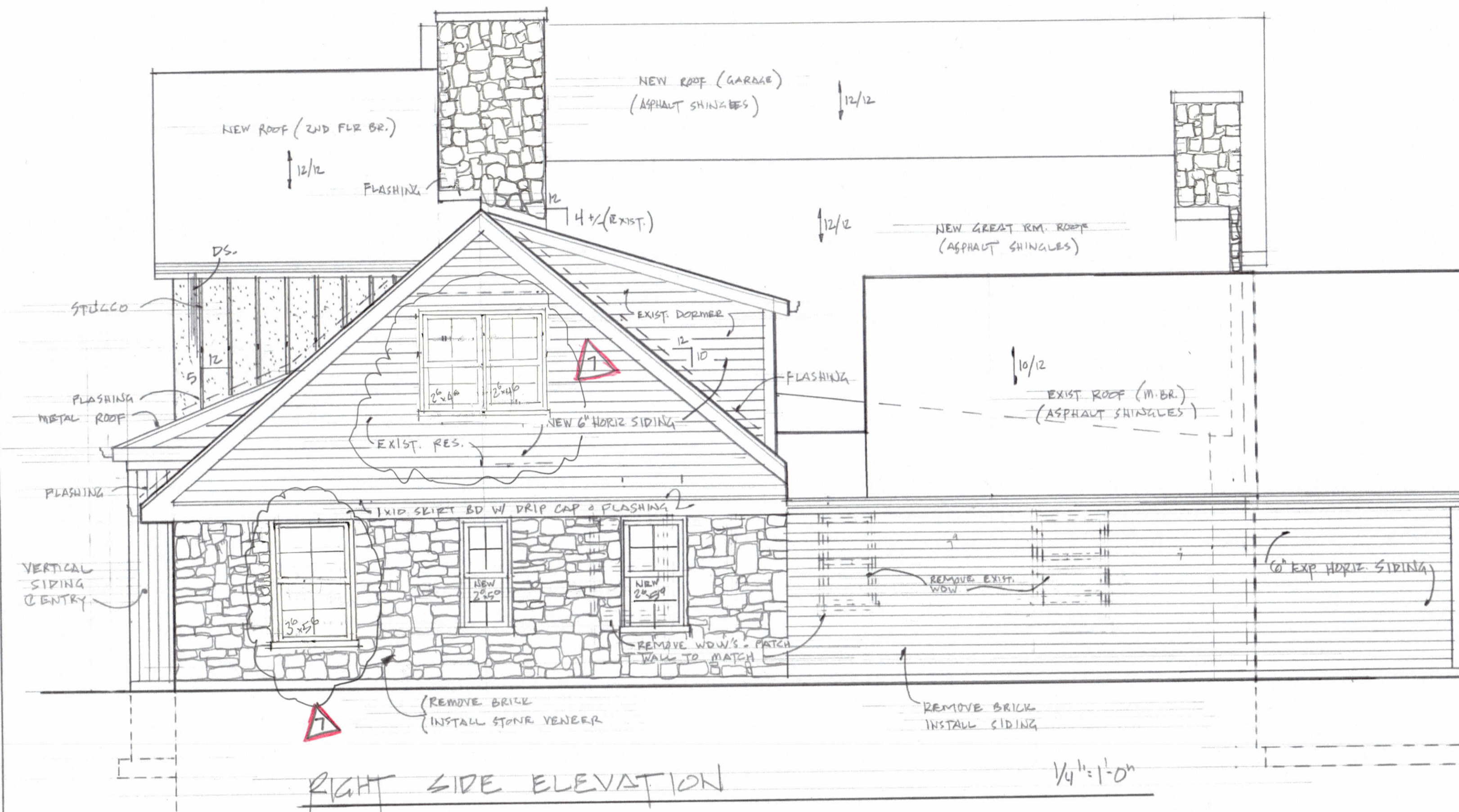
ARLINGTON HEIGHTS, ILLINOIS, DECEMBER 10, 2013.

*Matthew James Morris*  
 Matthew James Morris  
 ILLINOIS PROFESSIONAL LAND SURVEYOR LICENSE NO. 35.3735

FILE No.: 4786







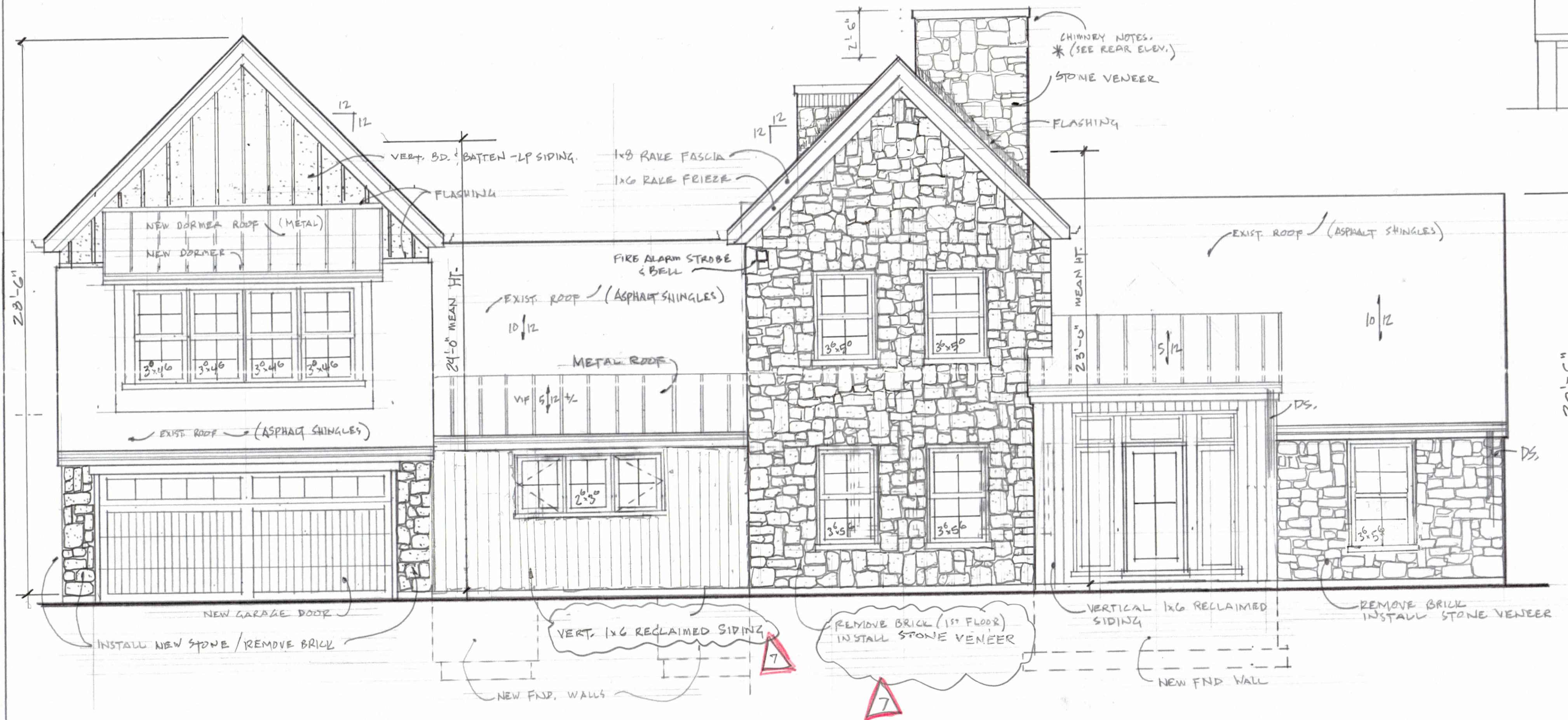
RIGHT SIDE ELEVATION

1/4" = 1'-0"



EXISTING RIGHT SIDE ELEVATION

1/8" = 1'-0"



EXISTING FRONT ELEVATION

1/8" = 1'-0"

Proposed Addition For

Mr. Brett Kroner  
832 N. Forrest  
Arlington Ht., IL 60004

Mark Swanson, Architect  
NCARB, IL

224-563-8494

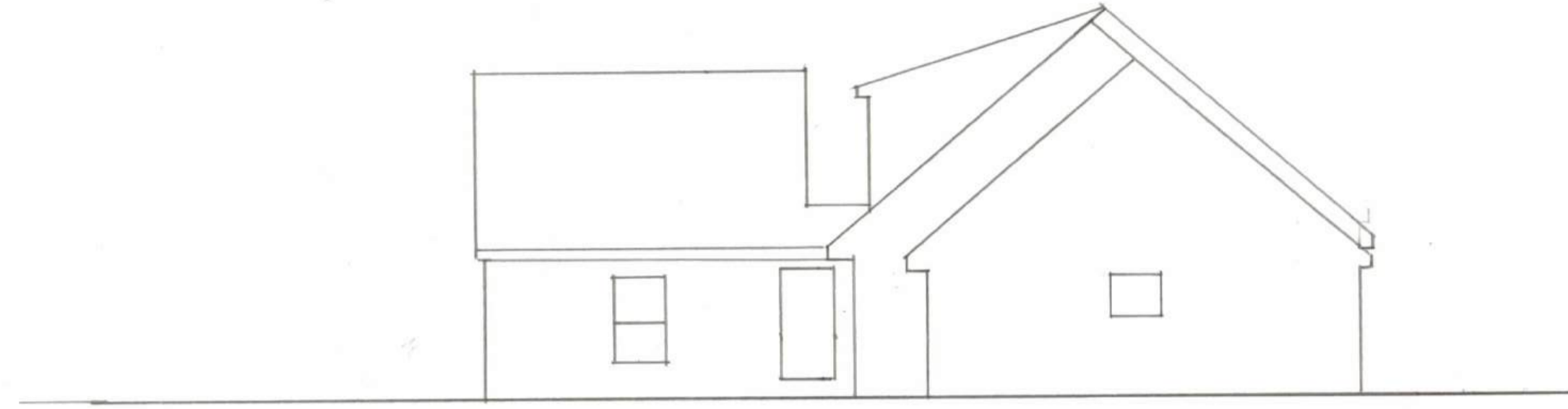
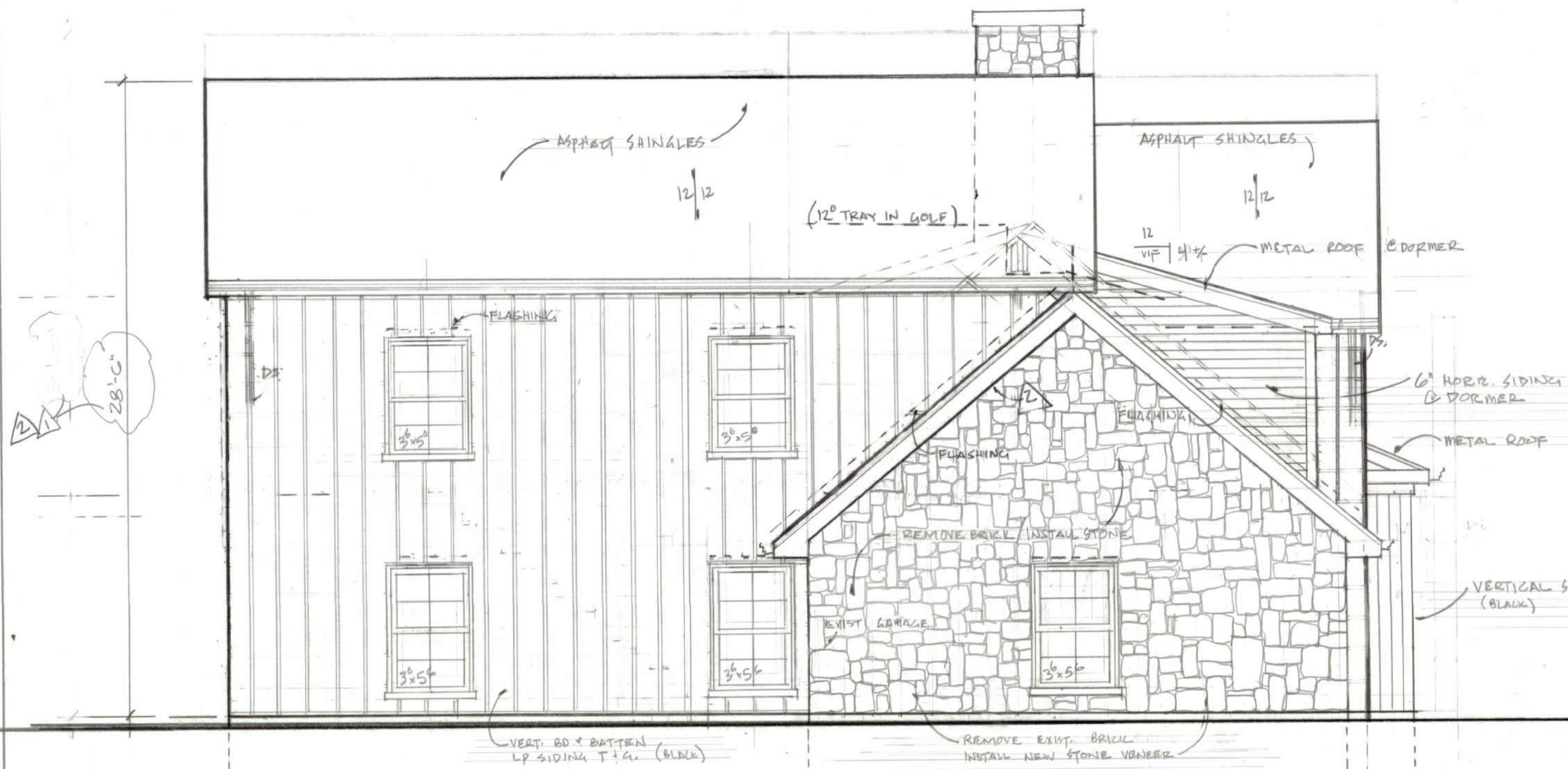
swansonmc@comcast.net  
www.behance.net/swansonmc  
www.houzz.com/pro/swansonmc  
www.facebook.com/mcsarchitect  
536 S. Summit St.  
Barrington, IL 60010

DATE

3/11/25 DEMO  
3/18/25 PERMIT  
7/29/25 ZBA-1  
9/11/25 REVISIONS

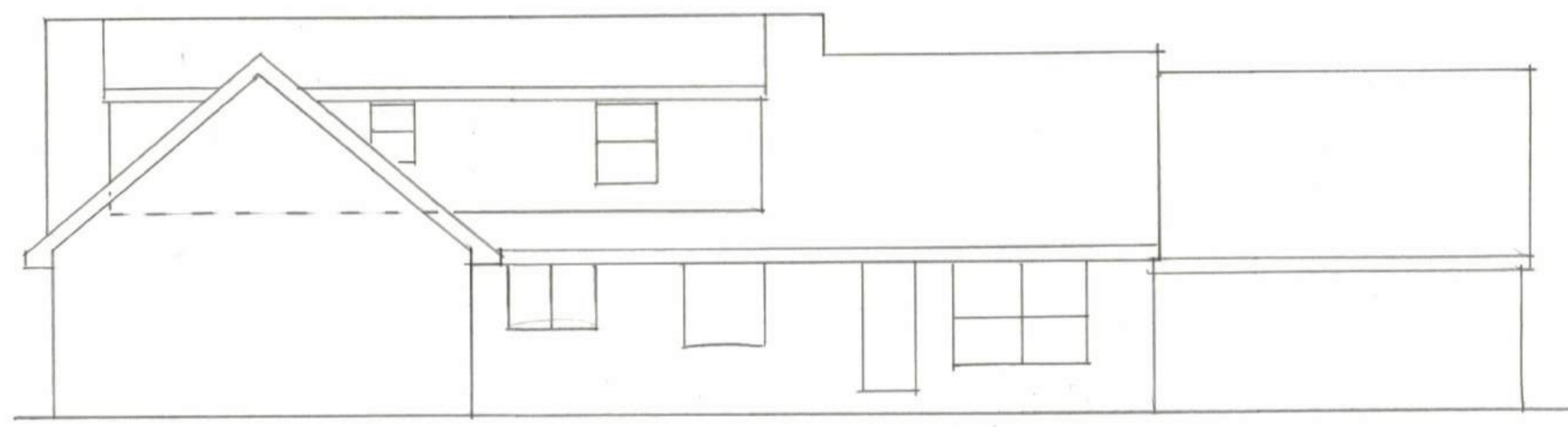
SHEET  
**10**  
of 13  
Kroner

Elev.

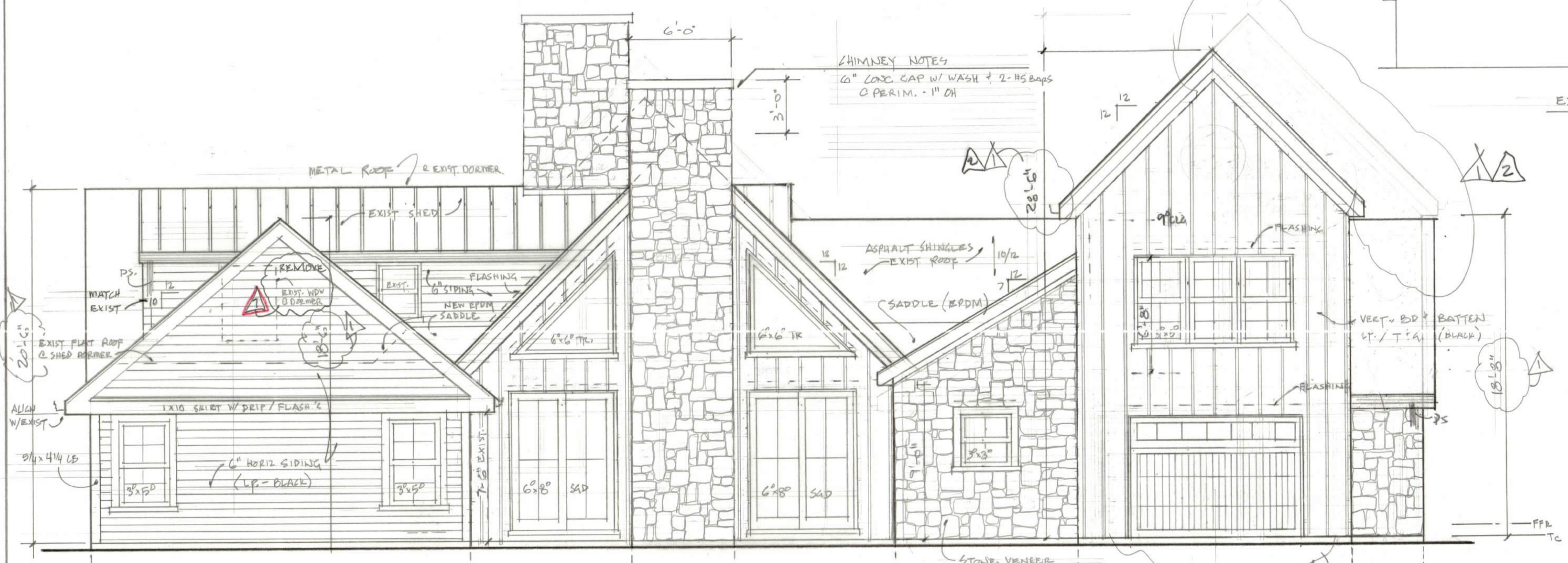


EXIST LEFT SIDE ELEV. 1/8"=1'-0"

LEFT SIDE ELEVATION 1/4"=1'-0"



EXIST REAR ELEV. 1/8"=1'-0"



REAR ELEVATION 1/4"=1'-0"



Proposed Addition For  
Mr. Brett Kroner  
832 N. Forrest  
Arlington Hts., IL 60004

Mark Swanson, Architect  
NCARB, IL  
224-563-8494  
www.balance.net/swansonm  
www.houzz.com/pro/swansonm  
swansonm@comcast.net  
536 S. Summit St.  
Barrington, IL 60010

DATE	REVISIONS
3/11/25	DEMO
3/18/25	PERMIT
4/8/25	REV. 1
	REV. 2
5/28/25	REV. 3
5/28/25	REV. 4
9/11/25	REVISIONS

SHEET  
**11**  
Of 17  
Kroner



VILLAGE OF  
ARLINGTON HEIGHTS  
INC. 1887

**Zoning Board of Appeals**  
**10/6/2025**

**Item:** 848 S. Belmont Ave. - ZBA25-032  
**Department:** Planning & Community Development

**Item Description:**

**REQUEST**

1. A 320 square-foot variation from Chapter 28, Section 6.5-7(b) (Maximum Size of Accessory Structures) to allow an accessory structure to be 620 square-feet in size where the maximum size is 300 square-feet.
2. A 1.7-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a pool appurtenance to be located 6.3-feet from the north side property line where 8-feet is required.

**ATTACHMENTS:**

1. ZBA packet\_848 S Belmont Ave

## ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

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### Staff Analysis

Prepared By: Darko Bojin, Assistant Planner  
Hearing Date: October 6, 2025  
Date Prepared: September 30, 2025  
Project Title: McAloon Residence Residence  
Address: 848 S. Belmont Ave.

### Background Information

Petition Number: ZBA #25-032  
Petitioner: Mark Demsky  
Address: 113 Dartmouth Ct.  
Glenview, IL 60026

Existing Zoning: R-3 – Residential Single-Family District

### Requested Action/Background Information

The property is zoned R-3 and has a total land area of approximately 24,725 square feet. The petitioner is proposing to construct a cabana, which is considered a pool appurtenance in the Zoning Code, in the rear and side yard. This cabana will have a 6.3-foot side yard setback where an 8-foot setback is required. Additionally, the structure will be 620 square-feet in size where the maximum size of an accessory structure, per Code, is 300 square feet. Therefore, the petitioner is requesting the following variations:

- A 320 square-foot variation from Chapter 28, Section 6.5-7(b) (Maximum Size of Accessory Structures) to allow an accessory structure to be 620 square-feet in size where the maximum size is 300 square-feet.
- A 1.7-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a pool appurtenance to be located 6.3-feet from the north side property line where 8-feet is required.

### Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

**Map of General Vicinity**



**Items required to be Submitted 15 Days Prior to Public Hearing**

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/25/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/25/25	
3. Letter that was Mailed	✓	9/25/25	
4. Photographs of Sign on Property	✓	9/25/25	

Photographs of Existing Structure



# Village of Arlington Heights



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**To:** Mark Demsky  
**From:** Darko Bojin  
**Department:** Department of Planning and Community Development  
**File Number:** ZBA 25-032  
**Project:** 848 S. Belmont Avenue  
**Date:** September 30, 2025

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## ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 320 square-foot variation from Chapter 28, Section 6.5-7(b) (Maximum Size of Accessory Structures) to allow an accessory structure to be 620 square-feet in size where the maximum size is 300 square-feet.
- A 1.7-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a pool appurtenance to be located 6.3-feet from the north side property line where 8-feet is required.

If you have any questions, please contact [dbojin@vah.com](mailto:dbojin@vah.com):

## Planning and Community Development

1. The design of the proposed pool house is very nice, but it has no architectural relationship to the existing house with a completely different style, materials, and colors. Generally speaking, Staff encourages accessory structures to be designed to match or complement the principal structure for a cohesive appearance. However, it is less of a concern in this case since the structure will be almost completely screened from view within the rear yard.

## Building and Life Safety

1. No comments.

## Engineering

1. No comments.

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that a public hearing will be held on Monday, October 6, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

• A 320 square-foot variation from Chapter 28, Section 6.5-7(b) (Maximum Size of Accessory Structures) to allow an accessory structure to be 620 square-feet in size where the maximum size is 300 square-feet.

• A 1.7-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a pool appurtenance to be located 6.3-feet from the north side property line where 8-feet is required.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or [planning@mail@vgh.com](mailto:planning@mail@vgh.com).

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT 70 IN SCARSDALE ESTATES, BEING A SUBDIVISION OF THE EAST 1/2 OF THE SOUTHWEST 1/4 AND THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, (EXCEPT THE NORTH 685.4 FEET THEREOF ALSO EXCEPT THE EAST 40 ACRES OF THAT PART OF THE WEST 1/2 OF SAID SOUTHEAST 1/4 LYING SOUTH OF THE NORTH 685.4 FEET THEREOF AND ALSO EXCEPT THAT PART OF THE EAST 1/2 OF SAID SOUTHWEST 1/4 LYING WESTERLY OF THE CENTER LINE OF ARLINGTON HEIGHTS ROAD (CALLED STATE ROAD) AND SOUTH OF THE NORTH 685.4 FEET THEREOF) IN COOK COUNTY, ILLINOIS.

Commonly known as: 848 S. Belmont Avenue, Arlington Heights IL 60005

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or [healthmail@vgh.com](mailto:healthmail@vgh.com).

Benjamin Jaffe, Chair  
Zoning Board of Appeals  
Published in Daily Herald Sept. 20, 2025 (305804)

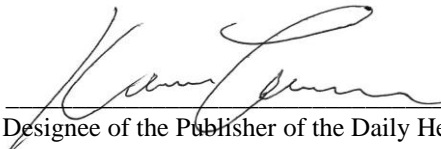
**CERTIFICATE OF PUBLICATION**

**Paddock Publications, Inc.**

**Northwest Suburbs  
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 09/20/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY   
Designee of the Publisher of the Daily Herald

Control # 305804



# PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

## PETITION

NOW COMES the Petitioner Frank and Charisse McAloon

being the owner of the property commonly know as: 848 S. Belmont Ave

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-0.3 and 6.5-7b

Chapter 28, of the Arlington Heights Municipal Code, in order to: \_\_\_\_\_

Construct a replacement pool cabana that is sited with a side yard setback equal to the existing structure's setback, and with a roof that is 620 sf, which is larger than the 300 sf allowable. The actual enclosed building is 60 sf.

*I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain):* The proposed cabana will replace an existing, deteriorating structure and will be built in the same general footprint, preserving the character and residential nature of the property. The new structure will be more aesthetically pleasing and consistent with neighboring properties.

*I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain):* This request stems from a unique medical condition, Porokeratosis, which requires protection from sun exposure. Replacing it with structure, with one that provides additional shade is necessary to maintain my health and quality of life.

*I hereby state that the proposed variation is in harmony with the spirit and intent of Chapter 28 (please explain):* This proposed variation supports that goal by improving an existing accessory structure in a way that enhances the appearance, function, and health safety of the property without negatively impacting the neighborhood or surrounding uses.

*I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain):* —  
The proposed replacement structure is modest relative to the property size, replaces a failing structure and maintains the original use and function of the existing cabana. The variation is needed to provide adequate shade for medical needs while being aesthetically pleasing.

Signed: Charisse McAloon

Date: August 4, 2025

Petitioner



August 7, 2025

**Project:**

Charisse and Frank McAloon Residence  
848 S. Belmont Avenue  
Arlington Heights, IL 60005

Project Narrative:

There is an existing, non-conforming cabana structure located in the rear yard of 848 S. Belmont that is in disrepair. The McAloons would like to replace this structure with a new building that would offer more shade opportunities for Charisse McAloon who has a skin condition that requires her to minimize her sun exposure.

The existing structure to be demolished consists of an enclosed shed with an open roof. The shed is approximately 93 sf, but with the roof, the building is calculated to be 315 sf, which is over the allowable footprint of 300 sf. (6.6-7b) In addition, the existing structure is closer to the interior side yard than would be allowed by the zoning ordinance. (5.1-0.3)

The replacement structure would have a smaller enclosed shed of 59 sf, but a larger roof for shade, which would bring the total square footage to 620. The replacement structure would be located in the current setback location, with the increased footprint entirely within the backyard- there would be no further encroachment on the north property line setback.

We cite the recent ZBA Case #20-034 for 754 S. Belmont, which is five houses to the north of the subject property. A 300 sf variance was granted for an accessory structure with a size of 600 sf. In that building, more than half of the structure is enclosed.

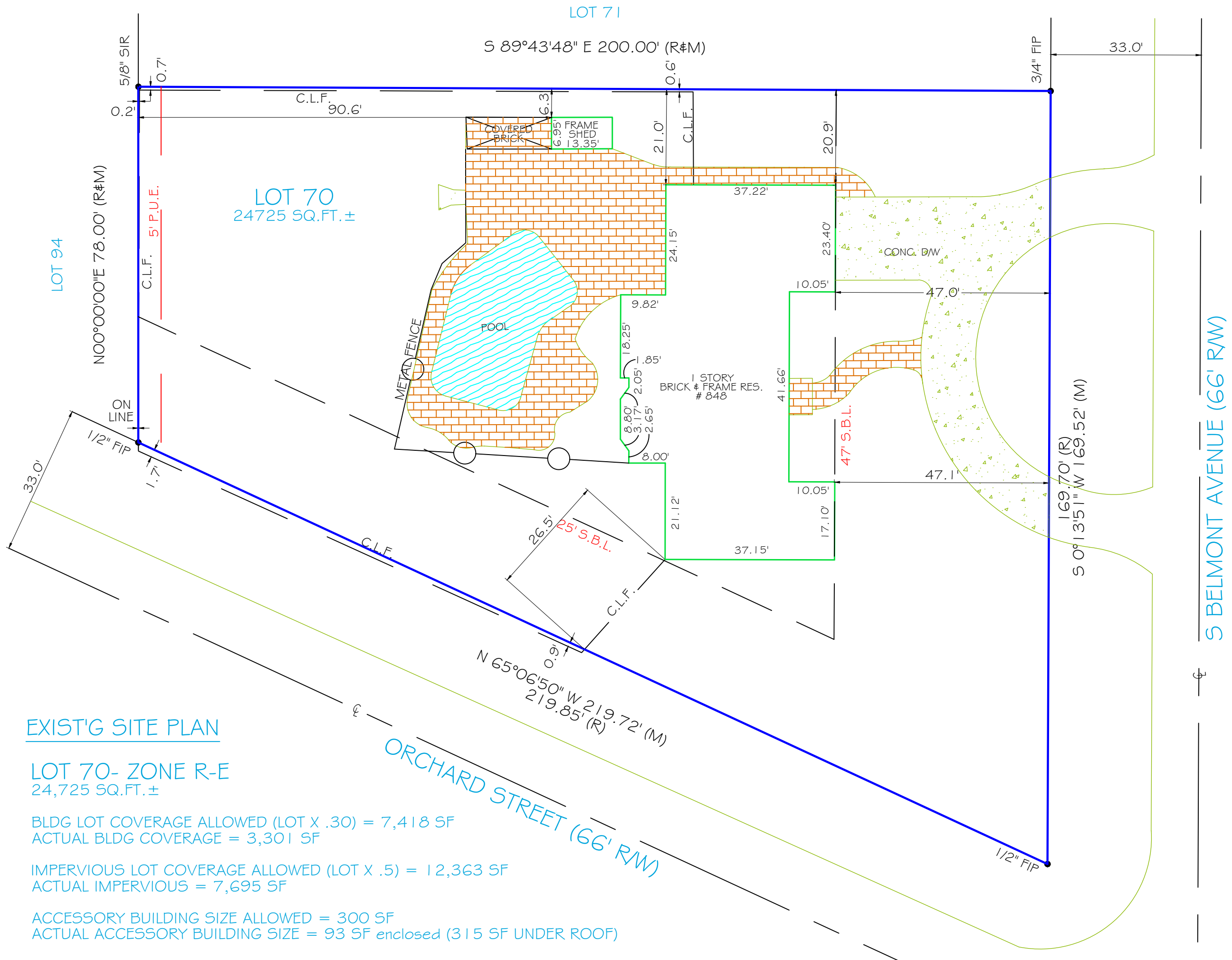
We respectfully ask that since most of the structure proposed for the subject property is open roof, that the ZBA grant a 320 sf variance, and allow the replacement structure to be located 6.3' from the north property line.

Best Regards,

A handwritten signature in black ink, appearing to read "Mark", written in a cursive style.

Mark Demsky Architect

113 Dartmouth Court  
Glenview, IL 60026  
t: 312-404-1340  
e: markdemsky@gmail.com



**EXIST'G SITE PLAN**

**LOT 70- ZONE R-E**  
24,725 SQ.FT.±

BLDG LOT COVERAGE ALLOWED (LOT X .30) = 7,418 SF  
ACTUAL BLDG COVERAGE = 3,301 SF

IMPERVIOUS LOT COVERAGE ALLOWED (LOT X .5) = 12,363 SF  
ACTUAL IMPERVIOUS = 7,695 SF

ACCESSORY BUILDING SIZE ALLOWED = 300 SF  
ACTUAL ACCESSORY BUILDING SIZE = 93 SF enclosed (315 SF UNDER ROOF)

LOT 71

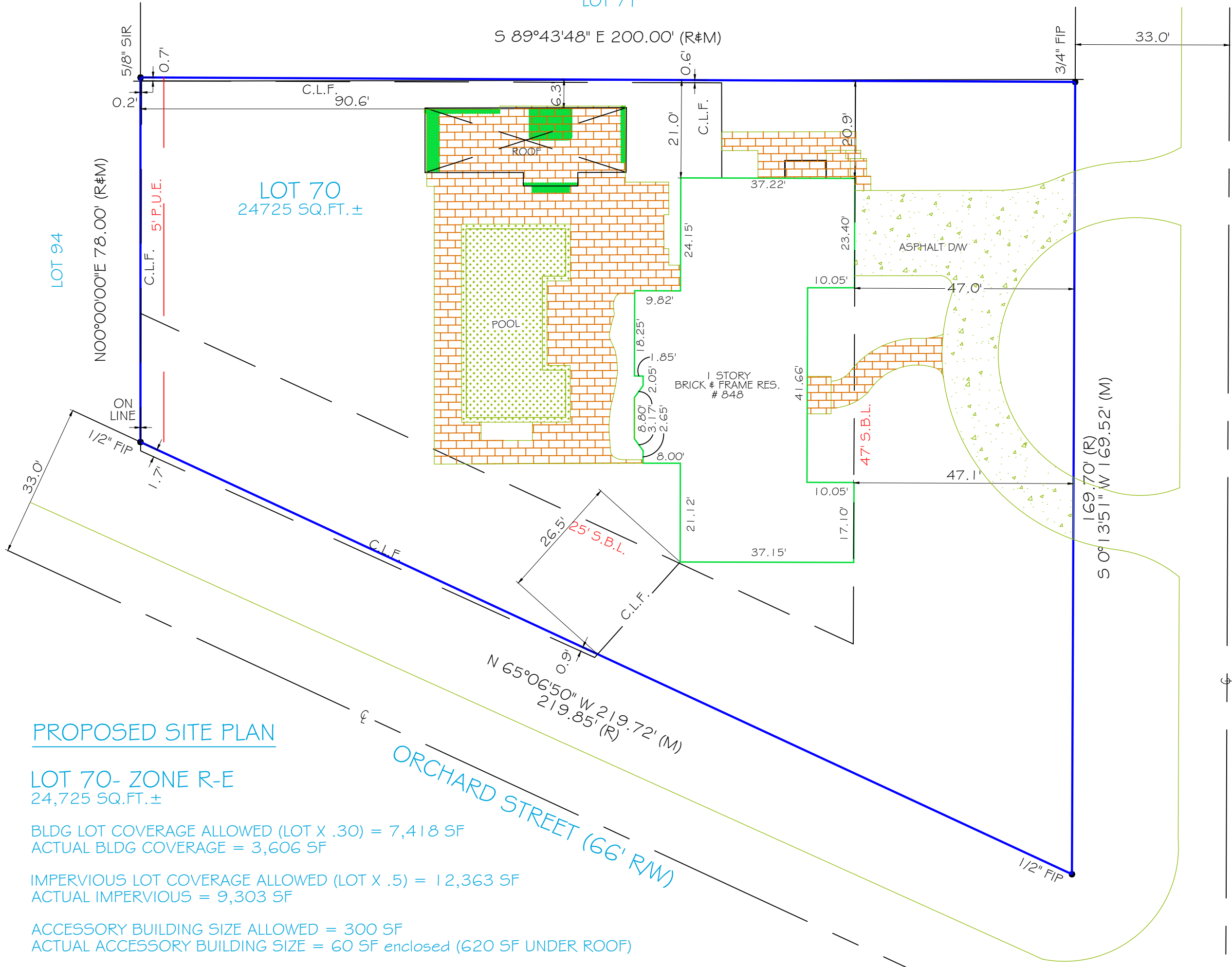
S 89°43'48" E 200.00' (R#M)

LOT 70  
24725 SQ.FT.±

LOT 94

N00°00'00"E 78.00' (R#M)

S BELMONT AVENUE (66' RW)



PROPOSED SITE PLAN

LOT 70- ZONE R-E  
24,725 SQ.FT.±

BLDG LOT COVERAGE ALLOWED (LOT X .30) = 7,418 SF  
ACTUAL BLDG COVERAGE = 3,606 SF

IMPERVIOUS LOT COVERAGE ALLOWED (LOT X .5) = 12,363 SF  
ACTUAL IMPERVIOUS = 9,303 SF

ACCESSORY BUILDING SIZE ALLOWED = 300 SF  
ACTUAL ACCESSORY BUILDING SIZE = 60 SF enclosed (620 SF UNDER ROOF)

ORCHARD STREET (66' RW)

N 65°06'50" W 219.72' (M)  
219.85' (R)



Aerial View



Aerial View from South



View of Existing Cabana looking North



View looking Northwest



View Along North Property Line



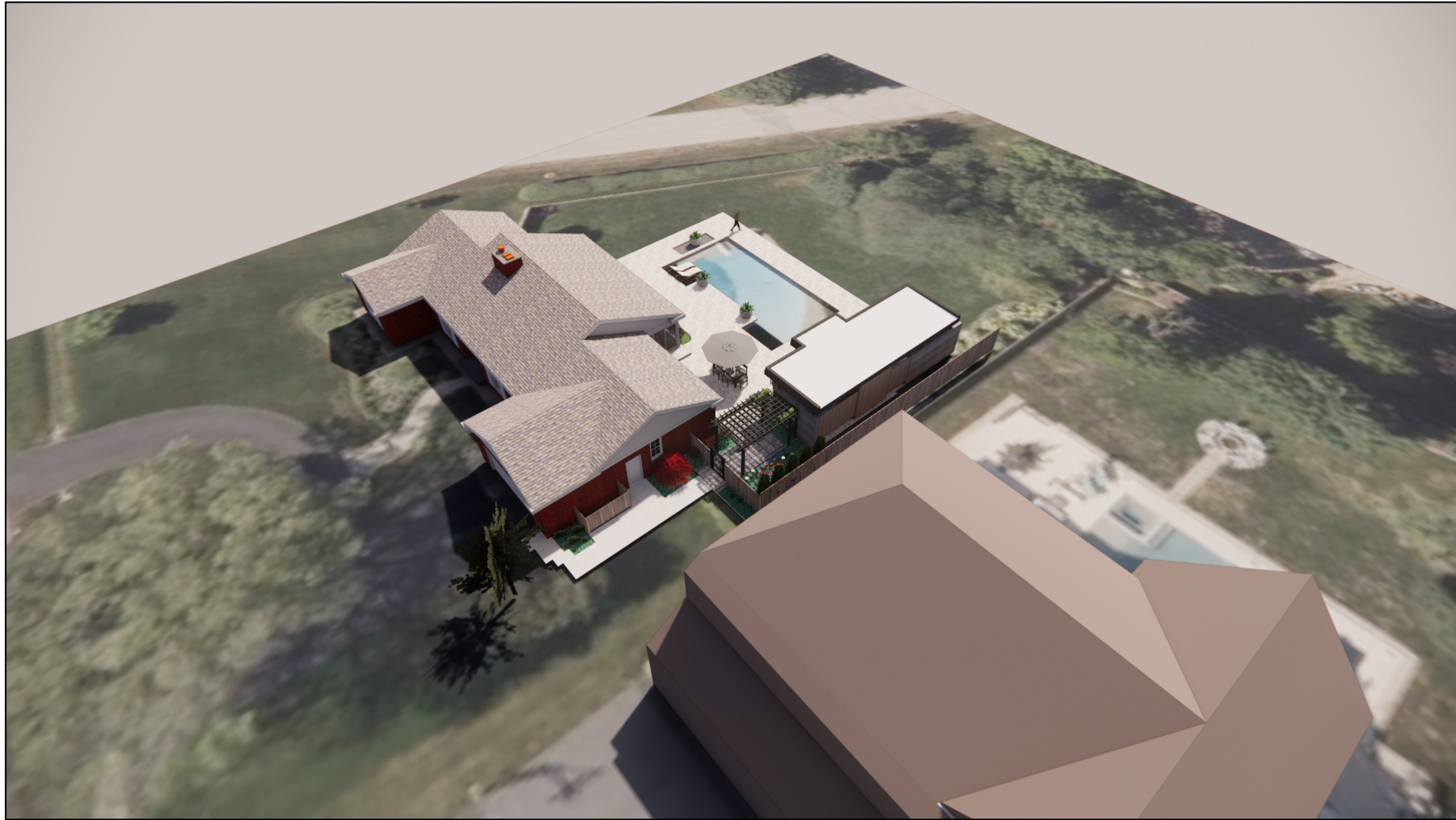
**ARCHITECT**  
 Mark Demsky Architect  
 113 Dartmouth Ct.  
 Glenview, IL 60026

**CLIENT**  
 Charisse & Frank McAloon  
 848 S. Belmont Ave.  
 Arlington Heights, IL 60005

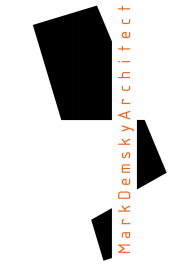
**PROJECT**  
 McAloon Cabana  
**ISSUE**  
 August 7, 2025  
**DRAWN BY**  
 MD  
**PROJECT NO.**  
 2502

Existing  
 Conditions

**A.01**



Aerial View of Proposed Design looking Southwest



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

**Aerial  
View**

**A.02**



Aerial View of Proposed Design looking Northeast



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

**Aerial  
View**

**A.03**



Aerial View of Proposed Design looking Northeast (Roof Removed)



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

**Aerial  
View**

**A.04**



Overhead View looking North (Roof Removed)

Perspective  
View

**A.05**

ISSUE  
August 7, 2025

PROJECT  
McAloon Cabana

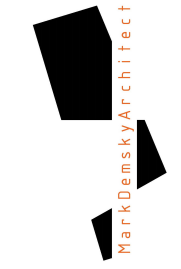
CLIENT  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

ARCHITECT  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026





View looking North



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

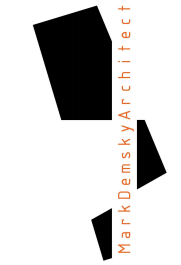
**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

**Perspective  
View**

**A.06**



View looking Northeast



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

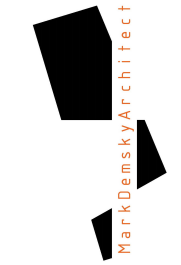
**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

**Perspective  
View**

**A.07**



Detail View looking Northeast



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

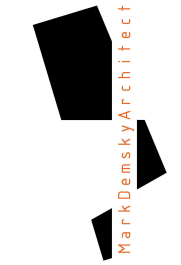
**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

Perspective  
View

**A.08**



Overall View looking Northwest



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

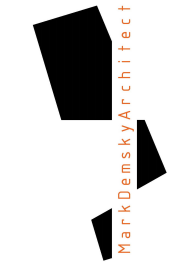
**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

Perspective  
View

**A.09**



Detail View looking Northwest



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

**Perspective  
View**

**A.10**



Detail View from Seating Area



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

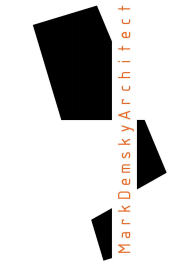
**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

**Perspective  
View**

**A.11**



Detail View from Spa/Grill Area



**ARCHITECT**  
Mark Demsky Architect  
113 Dartmouth Ct.  
Glenview, IL 60026

**CLIENT**  
Charisse & Frank McAloon  
848 S. Belmont Ave.  
Arlington Heights, IL 60005

**PROJECT**  
McAloon Cabana  
**PROJECT NO.**  
2502

**ISSUE**  
August 7, 2025  
**DRAWN BY**  
MD

Perspective  
View

**A.12**



Views of Entry Sequence along North Side of Residence



**ARCHITECT**  
 Mark Demsky Architect  
 113 Dartmouth Ct.  
 Glenview, IL 60026

**CLIENT**  
 Charisse & Frank McAloon  
 848 S. Belmont Ave.  
 Arlington Heights, IL 60005

**PROJECT**  
 McAloon Cabana  
**PROJECT NO.**  
 2502

**ISSUE**  
 August 7, 2025  
**DRAWN BY**  
 MD

Perspective  
 View

**A.13**



VILLAGE OF  
ARLINGTON HEIGHTS  
INC. 1887

**Zoning Board of Appeals  
10/6/2025**

**Item:** 4124 N. Walnut Ave. - ZBA25-033  
**Department:** Planning & Community Development

**Item Description:**

**REQUEST**

A 9.0-foot variance from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yard) to allow an attached pergola to be constructed 21-feet from the rear property line where a 30-foot building setback is required.

**ATTACHMENTS:**

1. ZBA packet\_4124 N Walnut Ave

## ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

---

### Staff Analysis

Prepared By: Dan Osoba, Planner  
Hearing Date: October 6, 2025  
Date Prepared: October 1, 2025  
Project Title: Zaba Residence  
Address: 4124 N. Walnut Ave.

#### Background Information

Petition Number: ZBA #25-033  
Petitioner: Kevin Erdmann / Erdmann Construction  
Address: 3104 N. Arlington Heights Rd.  
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

#### Requested Action/Background Information

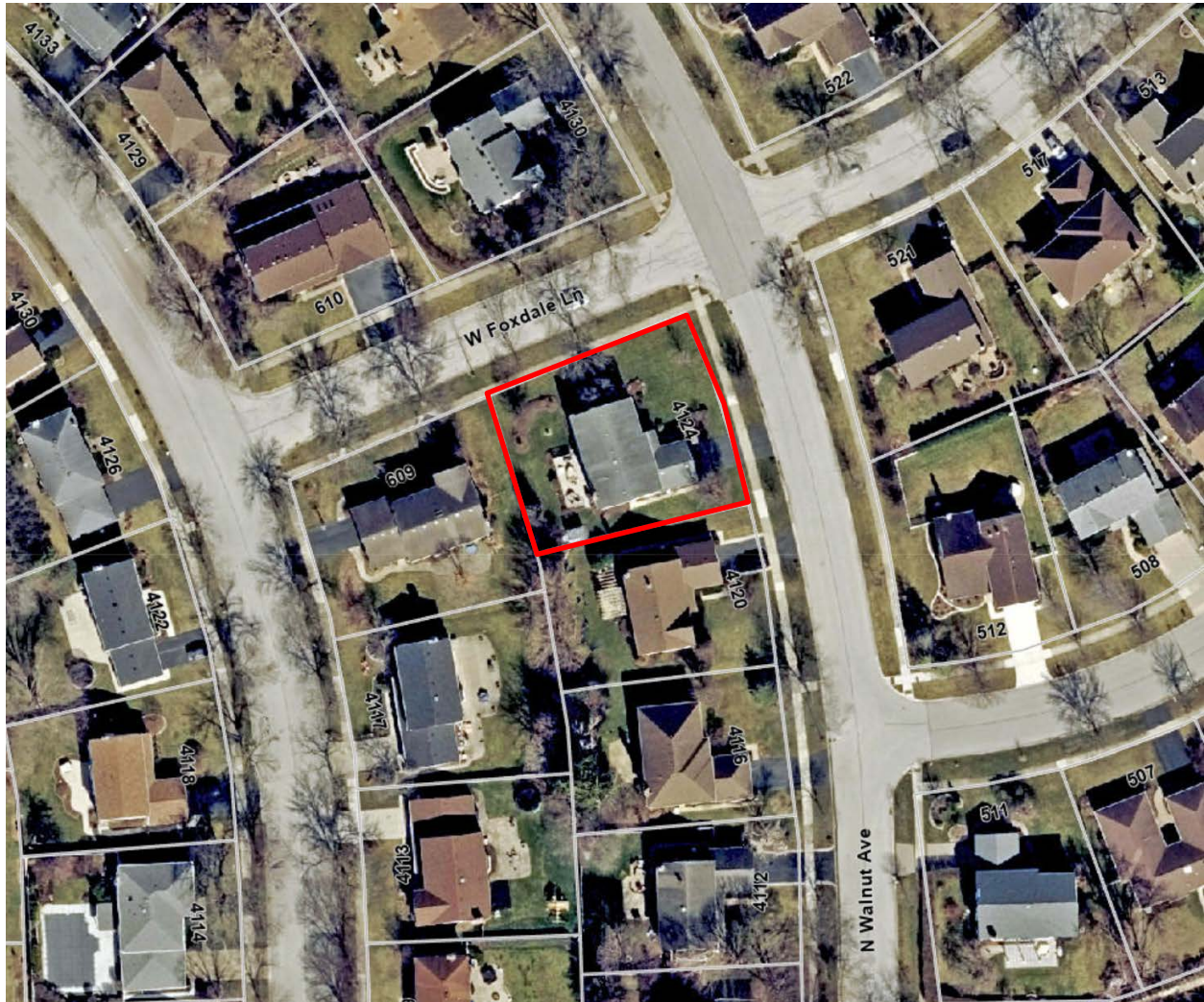
The petitioner is proposing a 9-foot tall pergola above an existing patio in the rear yard (west) of the property. The proposed pergola is setback 21-feet from the rear property line. The proposed structure is attached to the rear wall of the home and therefore must comply with the 30-foot rear yard setback in the R-3 District. Therefore, the petitioner is requesting the following variation:

- A 9.0-foot variance from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yard) to allow an attached pergola to be constructed 21-feet from the rear property line where a 30-foot building setback is required.

#### Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

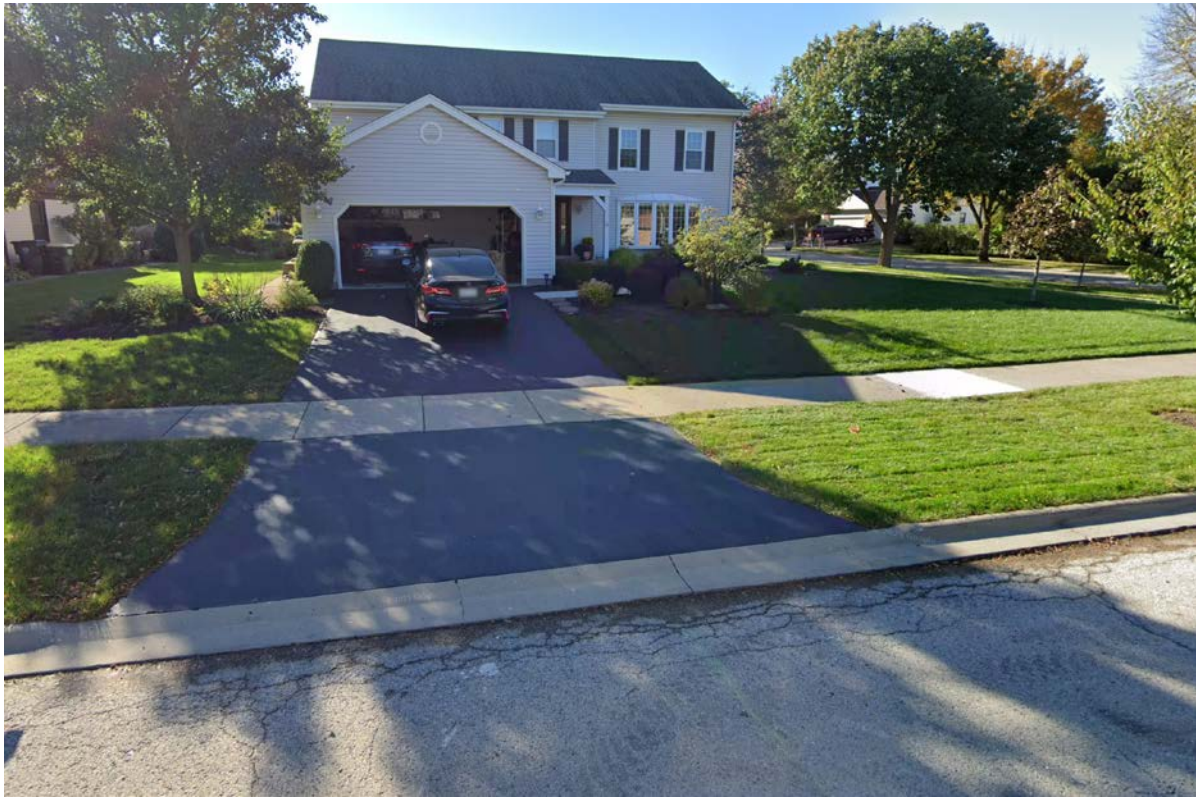
Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/18/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/18/25	
3. Letter that was Mailed	✓	9/18/25	
4. Photographs of Sign on Property	✓	9/18/25	

Photographs of Existing Structure





# Village of Arlington Heights

---

**To:** Kevin Erdmann  
**From:** Dan Osoba  
**Department:** Department of Planning and Community Development  
**File Number:** ZBA 25-033  
**Project:** 4124 N. Walnut Avenue  
**Date:** October 1, 2025

---

## **ZONING COMMENTS:**

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 9.0-foot variance from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yard) to allow an attached pergola to be constructed 21-feet from the rear property line where a 30-foot building setback is required.

If you have any questions, please contact [dosoba@vah.com](mailto:dosoba@vah.com):

### **Planning and Community Development**

1. No comments.

### **Building and Life Safety**

1. No comments.

### **Engineering**

1. No comments.

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that a public hearing will be held on Monday, October 6, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:  
• A 9.0-foot variance from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yard) to allow an attached pergola to be constructed 21-feet from the rear property line where a 30-foot building setback is required.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or [planning\\_mail@vgh.com](mailto:planning_mail@vgh.com).

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT 160 IN TERRAMERE OF ARLINGTON HEIGHTS UNIT 3, BEING A SUBDIVISION IN THE NORTH 1/2 OF FRACTIONAL SECTION 6, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. Commonly known as: 4124 N. Walnut Avenue, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or [healthmail@vgh.com](mailto:healthmail@vgh.com).  
Benjamin Jaffe, Chair  
Zoning Board of Appeals  
Published in Daily Herald Sept. 20, 2025 (305807)

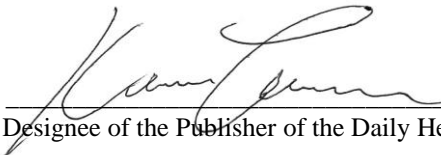
**CERTIFICATE OF PUBLICATION**

**Paddock Publications, Inc.**

**Northwest Suburbs  
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 09/20/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY  \_\_\_\_\_  
Designee of the Publisher of the Daily Herald

Control # 305807



# PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

## PETITION

NOW COMES the Petitioner Matthew Zaba

being the owner of the property commonly know as: 4124 N Walnut Ave, Arlington Heights, IL 60004

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.6

Chapter 28, of the Arlington Heights Municipal Code, in order to: Construct a 16' x 14' motorized Struxure pergola over the rear patio,

which results in a 21' rear yard setback instead of the required 30'.

*I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain):* \_\_\_\_\_

The proposed pergola is an open-air structure that complements similar rear yard improvements in the neighborhood. It will not obstruct views or impact neighboring properties and is compatible with surrounding residential uses.

*I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain):* \_\_\_\_\_

The lot's depth and the required 30' rear yard setback create a unique limitation that restricts reasonable use of the rear yard. These conditions make it difficult to add a modest structure without needing a variance.

*I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain):* \_\_\_\_\_

The pergola maintains open-air construction, is not enclosed, and is positioned within the rear yard in a way that minimizes impact on neighboring properties. The request supports the Ordinance's intent by promoting functional, attractive residential improvements while still preserving neighborhood character and privacy.

*I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain):* \_\_\_\_\_

The proposed pergola is modest in size and placed to maintain as much rear yard setback as possible. This variance allows for the installation of the pergola without exceeding what is necessary for functional use.

Signed: Matthew Zaba  
Petitioner

Date: 8/7/25

LEGEND

A = ASSUMED	NW = NORTHWEST
C = CALCULATED	P.O.B. = POINT OF BEGINNING
CH = CHORD	P.O.C. = POINT OF COMMENCEMENT
CL = CENTERLINE	R = RECORD
D = DEED	RAD = RADIUS
E = EAST	R.O.W. = RIGHT OF WAY
F.I.P. = FOUND IRON PIPE	S = SOUTH
F.I.R. = FOUND IRON ROD	S.I.P. = SET IRON PIPE
FT. = FEET/FOOT	S.I.R. = SET IRON ROD
L = ARC LENGTH	SE = SOUTHEAST
M = MEASURED	SW = SOUTHWEST
N = NORTH	W = WEST
NE = NORTHEAST	

# PLAT OF SURVEY

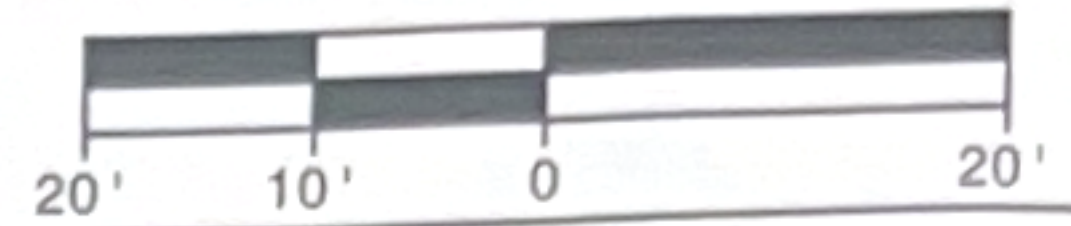
OF

LOT 160 IN TERRAMERE OF ARLINGTON HEIGHTS UNIT 3, BEING A SUBDIVISION IN THE NORTH 1/2 OF FRACTIONAL SECTION 6, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA OF SURVEY:

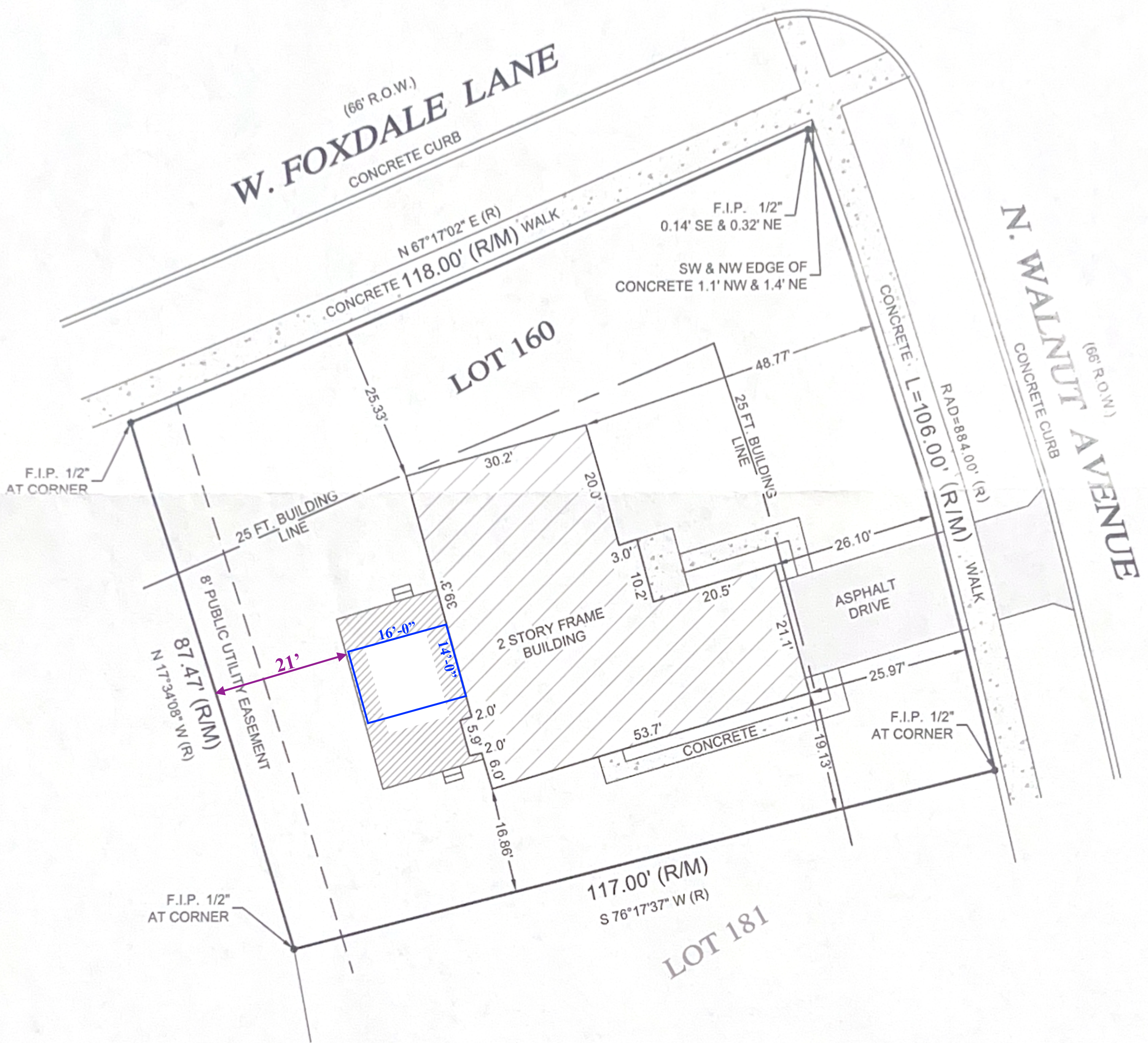
\*CONTAINING 11,439 SQ. FT. OR 0.26 ACRES MORE OR LESS\*

	= CHAIN LINK FENCE
	= WOOD FENCE
	= METAL FENCE
	= VINYL FENCE
	= EASEMENT LINE
	= SETBACK LINE
	= INTERIOR LOT LINE



BASIS OF BEARING:  
SOUTHEASTERLY LINE OF W. FOXDALE LANE AS FOUND MONUMENTED AND OCCUPIED PER RECORD SUBDIVISION.  
N 67°17'02" E (R)

**PROPOSED PERGOLA**



Morris Engineering, Inc.  
515 Warrenville Road, Lisle, IL 60532  
Phone: (630) 271-0770  
FAX: (630) 271-0774  
WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS }  
COUNTY OF DUPAGE }SS  
I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 16TH DAY OF MARCH, A.D., 2018, AT LISLE, ILLINOIS.

*J. Lee Morrison*  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2317  
LICENSE EXPIRATION DATE NOVEMBER 30, 2018  
ILLINOIS BUSINESS REGISTRATION NO. 184-001245



NOTE:

1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 4124 N. WALNUT AVENUE  
ARLINGTON HEIGHTS, ILLINOIS

CLIENT LAW OFFICE OF BARBARA K. HYMAN

FIELDWORK DATE (CREW) 03/09/2018 (MM/MM)

DRAWN BY: LV REVISED: JOB NO. 18-02-0248



**Zaba Residence**  
 4124 North Walnut Avenue  
 Arlington Heights, IL  
 60004

STRUXURE (6X6) SHEET SET INDEX			
DATE	REV #	SHEET ID	SHEET DESCRIPTION
		COVER	COVER SHEET
		G1	GENERAL NOTES
		G2	GENERAL NOTES 2
		A1	EXISTING CONDITIONS DIMENSION PLAN
		A2	PROJECT FLOOR PLAN
		B1	MECHANICAL PLAN
		S1	STRUXURE (6X6) FLOOR PLAN
		S2	STRUXURE (6X6) ELECTRICAL PLAN
		S3	STRUXURE (6X6) RENDERINGS
		XS1	STRUXURE DETAILS: TYPICAL CORNER ASSEMBLY
		XS2	STRUXURE DETAILS: BEAM TO STRUXURE CONNECTIONS
		XS3	STRUXURE DETAILS: FUNCTIONAL POST BASE (6X6) CONNECTION
		XS4	STRUXURE DETAILS: LOUVER DETAILS
		XS5	STRUXURE DETAILS: FAN BEAM CONNECTION
		XS6	STRUXURE DETAILS: GUTTER ASSEMBLY DETAILS
		XS7	STRUXURE DETAILS: SOMFY MOTOR SPECIFICATIONS
		XS8	STRUXURE DETAILS: HOST TO STRUXURE CONNECTION DETAILS
		PT1	PIERTECH HELICAL PIER (6X6) DETAILS
		PT2	PIERTECH HELICAL PIER DETAILS 2

**PROJECT SCOPE:**  
 WE ARE BUILDING A NEW PERGOLA, FRAMING AND PIERS.



**STRUXURE (6X6) DRAWINGS FOR PERMIT**

**PROJECT NAME:**  
 Zaba Residence  
 4124 North Walnut Avenue  
 Arlington Heights, IL  
 60004

**Date:**  
 07/18/2025

**Sheet:**  
 COVER

**APPLICABLE CODES:**

**VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS**

**VILLAGE CODES:**

- 1. ICC 2018 INTERNATIONAL BUILDING CODE \*(23)
- 2. ICC 2018 INTERNATIONAL RESIDENTIAL CODE \*(23)
- 3. ICC 2018 INTERNATIONAL FIRE CODE \*(27)
- 4. ICC 2018 INTERNATIONAL EXISTING BUILDING CODE \*(23)
- 5. ICC 2018 INTERNATIONAL MECHANICAL CODE \*(23)
- 6. ICC 2018 INTERNATIONAL FUEL GAS CODE \*(23)
- 7. ICC 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE \*(23)
- 8. NFPA 2017 NATIONAL ELECTRICAL CODE \*(23)
- 9. ICC 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE \*(26)

**STATE CODES:**

- 10. 2014 ILLINOIS PLUMBING CODE \*(23)
- 11. 2021 ILLINOIS ENERGY CONSERVATION CODE
- 12. 2018 ILLINOIS ACCESSIBILITY CODE
- 13. NFPA 2015 LIFE SAFETY CODE (OSFM)

**GENERAL NOTES:**

- 1. THIS STRUCTURE HAS BEEN DESIGNED AND SHALL BE FABRIATED IN ACCORDANCE WITH THE STRUCTURAL PROVISIONS OF THE AFORE REFERENCED BUILDING CODE. STRUCTURE SHALL BE FABRICATED IN ACCORDANCE WITH ALL GOVERNING CODES. CONTRACTOR SHALL INVESTIGATE AND CONFORM TO ALL LOCAL BUILDING CODE AMENDMENTS WHICH MAY APPLY AND GOVERN DESIGN CRITERIA OR SPANS BEYOND STATED HEREIN MAY REQUIRE ADDITIONAL SITE SPECIFIC SEALED ENGINEERING.
- 2. THE EXISTING HOST STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED SYSTEM AS VERIFIED BY THE ENGINEER & OR ARCHITECT OF RECORD, et.al. THE HOST STRUCTURE WHICH IS DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS MUST PROVIDE SUFFICIENT CAPACITY FOR THIS SPECIFIED DECK SYSTEM. NO WARRANTY OR GUARANTEE TO THESE CONDITIONS, EITHER EXPRESSED OR IMPLIED, IS OFFERED WITH THIS CERTIFICATION.
- 3. THE CONTRACTOR SHALL CAREFULLY CONSIDER POSSIBLE IMPOSING LOADS OF ROOF, INCLUDING BUT NOT LIMITED TO ANY CONCENTRATED LOADS WHICH MAY JUSTIFY GREATER DESIGN CRITERIA. ALL STRUCTURAL MEMBERS AS SHOWN HAVE BEEN DESIGNED TO CARRY IN PLACE DESIGN LOADS ONLY; THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ANY ADDITIONAL LOADS AND FORCES IMPOSED DURING MANUFACTURING, TRUCKING, ERECTING, AND HANDLING.
- 4. SPECIAL INSPECTIONS MAY BE REQUESTED OR REQUIRED AT THE DISCRETION OF THE AUTHORITY HAVING JURISDICTION.
  - 4.1. IN AREAS OF SEISMIC DESIGN CATEGORY (SDC) D-F, AN INSPECTOR SHALL EXAMINE THE DESIGNATED SEISMIC SYSTEM, MOUNTING, AND ANCHORAGE REQUIRING QUALIFICATION IN ACCORDANCE WITH SECTION 13.2.2 OF ASCE7 PER IBC 1705.12.4, AS WELL AS INSPECT REINFORCEMENT AND VERIFY PLACEMENT PER IBC 1908.4.

**LOUVERED PERGOLA DESIGN & OPERATION:**

- 1. DURING SUCH PERIODS OF TIME AS ARE DESIGNATED BY THE U.S. WEATHER BUREAU AS A HIGH WIND OR SNOW ADVISORY FOR THE AREA, THIS SYSTEM MUST BE LOCKED IN THE **OPEN POSITION** WITH THE LOUVER BLADES **VERTICAL** AND ANY FANS OR ACCESSORY COMPONENTS SHALL BE **REMOVED**. WINDSCREENS, IF SPECIFIED, SHALL BE RETRACTED PRIOR TO WIND SPEEDS OF 35 MPH.
- 2. THIS STRUCTURE SHALL NOT BE WALKED UPON AND NOT DESIGNED FOR HUMAN ACTIVITY OR STORAGE.
- 3. SYSTEM SHALL BE EQUIPPED WITH SOMFY CERTIFIED WIND SENSOR WHICH WILL ROTATE THE LOUVERS TO THE OPEN (VERTICAL) POSITION WHEN PEAK WIND GUSTS REACH 60 MPH OR GREATER. IT IS RECOMMENDED THAT THE PERGOLA SYSTEM BE UNPLUGGED ONCE THE WIND SENSOR ACTIVATES THE OPEN POSITION. IT IS THE OWNER'S RESPONSIBILITY TO ENSURE THE LOUVERS ARE PROPERLY ROTATED IN THE EVENT OF POWER LOSS OR SENSOR MALFUNCTION PRIOR TO A DESIGN EVENT. ENSURE SYSTEM PERGOLA OWNER SHALL BE NOTIFIED IN WRITING OF THESE CONDITIONS & BY USE OF A PERMANENT LABEL NEAR THE OPERATING MECHANISM.
- 4. NO CERTIFICATION IS OFFERED FOR WATERPROOFING, SIZING, OR OPERATION OF GUTTERS. ALL GUTTERS SHALL BE KEPT CLEAN OF DEBRIS AND PERIODICALLY CHECKED.
- 5. SYSTEM NOT DESIGNED FOR WATERSHED OF RAINFAL FROM ADJACENT ROOFS UNLESS SPECIFICALLY SHOWN HEREIN, TYP. ENGINEERING EXPRESS "EX" SHALL RE-EVALUATE THE SYSTEM IF INSTALLATION CONDITIONS ALLOW FOR RUNOFF FROM ADJACENT ROOF AS IT MAY NOT BE CLEAR DURING THE DESIGN PHASE.

**STRUCTURAL MATERIALS AND CONNECTIONS: STRUCTURAL WOOD (AS APPLICABLE):**

**STRUCTURAL ALUMINUM & ALUMINUM WELDING:**

- 1. ALL COMPONENTS SHALL BE STRUCTURAL ALUMINUM (U.N.O.) AND SHALL BE FABRICATED AND ERECTED ACCORDING TO THE GOVERNING BUILDING CODE AND MATERIAL STANDARDS REFERENCED ON THIS SHEET.
- 2. ALL STRUCTURAL ALUMINUM SHALL BE MIN 3/8" THICK U.N.O. AND BE OF THE FOLLOWING ALLOY AND TEMPER:
  - 2.1. BEAMS, PURLINS, COLUMNS ..... 6063 - T6
  - 2.2. ALL OTHER EXTRUSIONS ..... 6063 - T6
  - 2.3. FASTENERS ..... SS 316/SS 304
- 3. ALL STRUCTURAL ALUMINUM SHALL BE FRAMED PLUMB AND TRUE AND ADEQUATELY BRACED DURING CONSTRUCTION.
- 4. ALL BEAMS SHALL HAVE A MINIMUM OF 1 1/2" DEPTH FULL BEARING SUPPORT U.N.O.
- 5. WHERE ALUMINUM IS IN CONTACT WITH OTHER METALS EXCEPT 300 SERIES STAINLESS STEEL, ZINC, OR CADMIUM AND THE FAYING SURFACES ARE EXPOSED TO MOISTURE, THE OTHER METALS SHALL BE PAINTED OR COATED WITH ZINC, CADMIUM, OR ALUMINUM.
- 6. UNCOATED ALUMINUM SHALL NOT BE EXPOSED TO MOISTURE OR RUNOFF THAT HAS COME IN CONTACT WITH OTHER UNCOATED METALS EXCEPT THE 300 SERIES STAINLESS STEEL, ZINC, CADMIUM, ALUMINUM SURFACES TO BE PLACED IN CONTACT WITH MASONRY, CONCRETE, WOOD, FIBERBOARD, OR OTHER POROUS MATERIAL THAT ABSORBS WATER SHALL BE PAINTED.
- 7. FOR ALUMINUM IN CONTACT WITH CONCRETE: ACCEPTABLE PAINTS: PRIMING PAINT (ONE COAT) SUCH AS ZINC, MOLYBDATE PRIMER IN ACCORDANCE WITH FEDERAL SPECIFICATION TT-P-645B ("GOOD QUALITY", NO LEAD CONTENT). ALT: WRAP ALUMINUM WITH A SUITABLE PLASTIC TAPE APPLIED IN SUCH A MANNER AS TO PROVIDE ADEQUATE PROTECTION AT THE OVERLAPS.
- 8. ALUMINUM SHALL NOT BE EMBEDDED IN CONCRETE TO WHICH CORROSIVE COMPONENTS SUCH AS CHLORIDES HAVE BEEN ADDED IF THE ALUMINUM WILL BE ELECTRICALLY CONNECTED TO STEEL. EMBEDDED ALUMINUM ELEMENTS WILL BE COVERED WITH PLASTIC TAPE OR OTHERWISE PROTECTED AS PER 2015 ADM. M.7.3.
- 9. BOLT HOLES SHALL BE DRILLED THE SAME NOMINAL DIAMETER AS THE BOLT +1/16".
- 10. ALUMINUM WELDING SHALL BE PERFORMED IN ACCORDANCE WITH WELD FILLER ALLOYS MEETING ANSI.AWS A5.10 STANDARDS TO ACHIEVE ULTIMATE DESIGN STRENGTH IN ACCORDANCE WITH THE ALUMINUM DESIGN MANUAL PART I-A, TABLE 7.3.1. ALL ALUMINUM CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOLERANCES, QUALITY, AND METHODS OF CONSTRUCTION AS SET FORTH IN THE AMERICAN WELDING SOCIETY'S STRUCTURAL WELDING CODE - ALUMINUM (D1.2). MINIMUM WELD IS 1/8" THROAT FULL PERIMETER FILLET WELD UNLESS OTHERWISE NOTED.
- 11. STAINLESS STEEL FASTENERS SHALL BE ASTM F593 316 SS COLD WORKED CONDITION. PROVIDE (5) PITCHES MINIMUM PAST THE THREAD PLANE FOR ALL SCREW CONNECTIONS. ALL FASTENER CONNECTIONS TO METAL SHALL PROVIDE 2XDIAMTERE EDGE DISTANCE AND 2.5 DIAMETER SPACING.
- 12. SELF-DRILLING SCREWS SHALL BE TEK BRAND/ALL POINTS FASTENERS OF SIZE #14, STAINLESS STEEL 300 SERIES, WITH MINIMUM 1/2" THREAD ENGAGEMENT BEYOND THE CONNECTED PAR, UNLESS OTHERWISE NOTED.
- 13. THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.
- 14. ELECTRICAL GROUND, WHEN REQUIRED, TO BE DESIGNED & INSTALLED BY OTHERS.

- 1. ALL DIMENSIONS LUMBER SHALL BE STRUCTURAL GRADE #2 SOUTHERN YELLOW PINE OR BETTER MEETING APPLICABLE REQUIREMENTS OF THE SOUTHERN PINE INSPECTION BUREAU (SPIB) AND PRESSURE-IMPREGNATED (PT) BY AN APPROVED PROCESS (ACQ 0.4 PRESSURE TREATED) PRESERVATIVE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE BUILDING CODE AND AMERICAN WOOD PRESERVES ASSN (AWPA) "BOOK OF STANDARDS" OR OR 0.55 SPECIFIC GRAVITY MIN.
- 2. ALL METAL CONNECTIONS IN CONTACT WITH WOOD USED IN LOCATIONS EXPOSED TO WEATHER SHALL BE GALVANIZED.
- 3. NAILS SHALL PENETRATE THE SECOND MEMBER A DISTANCE EQUAL TO THE THICKNESS OF THE MEMBER BEING NAILED THERETO. THERE SHALL BE NOT LESS THAN 2 NAILS IN ANY CONNECTION.
- 4. MEMBERS SHALL BE FREE OF CRACKS AND KNOTS. MOISTURE CONTENT SHALL BE 19% OR LESS.
- 5. WOOD THAT IS IN CONTACT WITH CONCRETE OR MASONRY, AND AT OTHER LOCATIONS AS SHOWN ON STRUCTURAL DRAWINGS, SHALL BE PROTECTED WITH #30 FELT (UNLESS NOTED OTHERWISE) OR PRESSURE TREATED IN ACCORDANCE WITH AITC-109. MEMBER SIZE SHOWN ARE NOMINAL UNLESS NOTE OTHERWISE.

**OTHER MATERIALS (AS APPLICABLE)**

- 1. ANY SPECIFIED LIGHT GAUGE STEEL MEMBERS SHALL CONFORM TO ASTM A36 AND CURRENT EDITION OF AISC WITH MINIMUM Fy=36 KSI
- 2. GLASS PANELS (IF SHOWN) SHALL BE MIN 3/8" FULLY TEMPERED GLASS & MUST COMPLY WITH ANSI Z97.1/CATEGORY II CPSC 16 CFR 1201 AS CERTIFIED BY GLASS MANUFACTURER.

**ANCHORS & FASTENERS:**

- 1. ALL FASTENERS TO BE #14 OR GREATER ASTM F593 COLD COLD WORKED 316 STAINLESS STEEL, UNLESS NOTED OTHERWISE. FASTENERS SHALL BE CADMIUM-PLATED OR OTHERWISE CORROSION-RESISTANT MATERIAL AND SHALL COMPLY WITH SPECIFICATION FOR ALUMINUM STRUCTURES BY THE ALUMINUM ASSOCIATION INC. & ANY APPLICABLE FEDERAL, STATE, AND/OR LOCAL CODES.
- 2. ALL METAL CONNECTORS USED IN LOCATIONS EXPOSED TO WEATHER SHALL HOT-DIP GALVANIZED.
- 3. ALL FASTENERS SHALL BE SPACED WITH 2X DIAMETER END DISTANCE AND 2.5X DIAMETER MINIMUM SPACING TO ADJACENT FASTENERS, UNLESS NOTED OTHERWISE. PROVIDE (5) PITCHES MINIMUM PAST THE THREAD PLANE FOR ALL FASTENERS.
- 4. ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MINIMUM EMBEDMENT SHALL BE AS NOTED HEREIN. MINIMUM EMBEDMENT AND EDGE DISTANCE ARE DEPTHS INTO SOLID SUBSTRATE AND DO NOT INCLUDE THICKNESS OF STUCCO, FOAM, BRICK, AND OTHER WALL FINISHES. ALL CONCRETE ANCHORS SHALL BE INSTALLED TO NON-CRACKED CONCRETE ONLY.
- 5. ANCHOR QUANTITIES INDICATED IN DETAILS ARE FOR GRAPHICAL PURPOSES ONLY. DO NOT SCALE DIAMETER, LENGTH, OR PENETRATION(S). HEAD STYLE(S) ARE FREELY INTERCHANGEABLE.

**NON-STRUCTURAL ELEMENTS:**

- 1. THE INSTALLATION OF ANY ACCESSORIES THAT DO NOT AFFECT THE STRUCTURAL INTEGRITY OF THE STRUCTURE ARE OUTSIDE THE SCOPE OF THIS CERTIFICATION AND NOT REQUIRED TO BE CERTIFIED UNDER THIS STRUCTURAL DRAWING. THEY MAY BE INSTALLED WITHIN LIMITATIONS STATED HEREIN AND IS DESIRED PER MFR. SPECIFICATIONS. DETAILS PROVIDED HEREIN ARE FOR REFERENCE ONLY.



GENERAL NOTES

Zaba Residence  
4124 North Walnut Avenue  
Arlington Heights, IL  
60004

Date:  
07/18/2025

Sheet:  
G1

**REINFORCING STEEL:**

- ALL REINFORCEMENT SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF ASTM A615, GRADE 60 UNLESS NOTED OTHERWISE, FREE FROM OIL, LOOSE SCALE AND LOOSE RUST AND BENT, LAPPED, PLACED, SUPPORTED AND FASTENED ACCORDING TO THE "ACI DETAILING MANUAL" (SP-66) AND THE ACI 318.
- ALL WELDING WIRE FABRIC IS TO CONFORM TO ASTM A185 MINIMUM YIELD STRENGTH OF 85 KSI.
- CLEAR COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE.  
  
FOOTINGS EXPOSED TO THE EARTH: 3"  
UNFORMED FACES EXPOSED TO EARTH: 3"  
FORMED FACES IN CONTACT WITH EARTH: 2"  
SLABS NOT IN CONTACT WITH EARTH: 3/4"  
SLABS EXPOSED TO WEATHER: 2"  
BEAMS AND COLUMNS: 1-1/2"
- ALL STEEL SHALL BE SECURELY HELD IN PLACE DURING POURING OF CONCRETE. IF REQUIRED, ADDITIONAL BARS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS.
- WHEN REINFORCING STEEL IS NOTED AS CONTINUOUS REINFORCING IN SLABS, WALLS, AND/OR BEAMS, SPLICE CONTINUOUS REINFORCING STEEL ONLY WHEN UNAVOIDABLE DUE TO STOCK LENGTHS.
  - LAP CONTINUOUS REINFORCING A MINIMUM OF 48 BAR DIAMETERS IN BEAMS & COLUMNS, 36 BAR DIAMETERS IN SLABS.
  - STAGGER ALL SPLICES AT A MINIMUM OF FOUR FEET. ADJACENT BAR WITH SPLICES ARE NOT ACCEPTABLE.
  - LOCATE TOP BAR FOR SPLICES AT SUPPORTS, OR BETWEEN SUPPORTS AND 1/2 SPAN POINT UNLESS OTHERWISE NOTED ON PLANS, DETAILS, OR SCHEDULE.
  - CONTINUITY AT COLUMNS SHALL BE PROVIDED BY CONTINUING HORIZONTAL RE-BARS THROUGH COLUMNS OR BY BENDING HORIZONTAL REINFORCING INTO COLUMNS A DISTANCE OF 30".
  - PROVIDE 12" STANDARD ACI HOOK MINIMUM FOR ALL DISCONTINUOUS TOP REINFORCING.
  - PROVIDE INTERIOR AND EXTERIOR HORIZONTAL LAPPED CORNER BAR AT ALL CORNERS TO MATCH SIZE, TYPE AND SPACING IF HORIZONTAL WALL REINFORCING APPLIED.
  - PROVIDE 2 #5 X 48" DIAGONALLY AT CORNERS OF ALL OPENINGS WIDER THAN 15". EXTEND BOTTOM BARS 8" PAST OPENINGS GREATER THAN 3'-0" ON BOTH SIDES.
  - LAP SPLICES IN WELDED WIRE FABRIC ARE TO BE MADE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE CROSS WIRE SPACING PLUS 3".
- SHOP DRAWINGS SHALL BE SUBMITTED FOR E.O.R. REVIEW AND APPROVAL BEFORE INSTALLATION.
- ALL STRUCTURAL PRECAST UNITS AND THEIR ATTACHMENTS TO THE MAIN STRUCTURAL SHALL BE INSPECTED AFTER ERECTION, BUT BEFORE CONCEALMENT. SUCH INSPECTIONS SHALL BE PERFORMED BY AN ARCHITECT OR PROFESSIONAL ENGINEER REGISTERED IN THE PERMITTING STATE.

**CERTIFICATION & LIABILITY:**

- USE OF THIS DOCUMENT CONSTITUTES ACCEPTANCE OF THE PROPOSED SYSTEM LAYOUT, COMPONENTS SELECTED, AND INSTALLATION. THESE DRAWINGS ARE NOT INTENDED TO BE USED AS FABRICATION OR SHOP DRAWINGS.
- DIMENSIONS ARE SHOWN TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. THEY MAY VARY SLIGHTLY, BUT SHALL REMAIN IN CONFORMANCE WITH THE LIMITATIONS OF THIS PLAN. THE CONTRACTOR IS TO VERIFY ALL FIELD DIMENSIONS PRIOR TO INSTALLATION, AND VERIFY THAT PROPOSED DIMENSIONS AND FIELD CONDITIONS AGREE WITH THIS PROPOSED PLAN.

**CERTIFICATION & LIABILITY:**

- INFORMATION CONTAINED HEREIN IS BASED ON CONTRACTOR SUPPLIED DATA AND MEASUREMENTS. WORK SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE ENGINEER OF RECORD SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO RE-EVALUATE WORK UPON DISCOVERY OF ANY INACCURATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.
- USE OF THIS DOCUMENT CONSTITUTES ACCEPTANCE OF THE PROPOSED SYSTEM, LAYOUT, COMPONENTS SELECTED, AND INSTALLATION REQUIREMENTS.
- ALTERATIONS, ADDITIONS, HIGHLIGHTS, OR OTHER MARKINGS TO THIS DOCUMENT ARE ONLY PERMITTED TO SHOW SITE SPECIFIC CONDITIONS. HOWEVER ANY CHANGES, ALTERATIONS OR ADDITIONS MADE TO THE CONTENT OF THIS DOCUMENT WILL INVALIDATE THIS CERTIFICATION.
- EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.
- 'STRUXURE' PERGOLA INSTALLATION IS TO BE PERFORMED BY A CERTIFIED INSTALLER, TO FOLLOW ALL ADOPTED & APPLICABLE CODES AS WELL AS THE SYSTEM'S INTENDED ASSEMBLY, CONFIRM SOLID STRUCTURAL SUPPORT AT ALL LOAD BEARING POINTS.

**ABBREVIATIONS:**  
 0 = SLOPE, DEGRESS  
 (+) = POSITIVE (DOWN-IN) PRESSURE  
 (-) = NEGATIVE (UP-OUT) PRESSURE  
 Hc = EAVE HEIGHT  
 PSF = POUNDS PER SQUARE FOOT  
 MPH = MILES PER HOUR  
 TYP = TYPICAL

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 WWW.CALL811.COM

**THIS SUBMITTAL IS FOR STRUCTURAL PURPOSES ONLY.**  
 THIS PRODUCT SHALL BE CONSTRUCTED USING PARTS MANUFACTURED BY "STRUXURE SOUTH FLORIDA" ALL NON-STRUCTURAL ELECTRICAL/MECHANICAL UNITS AND COMPONENTS SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE ADOPTIONS/REQUIREMENTS, SEE DESIGN CRITERIA BELOW.

PROJECT PARTS TAKEOFF & SCHEDULE PROVIDED BY THE MANUFACTURER MAY NOT MATCH THE INFORMATION DETAILED HEREIN. MATERIAL TAKEOFF & COORDINATION SHALL NOT BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO CONFIRM THE MATERIALS, HARDWARE, AND ANY REQUIRED CONNECTION ANCHORS USED FOR INSTALLATION. MATCH THE INFORMATION SHOWN HEREIN BEFORE INSTALLATION BEGINS. REFER TO THE PROJECT INFORMATION BLOCK PROVIDED ABOVE FOR A QUICK REFERENCE OF PROJECT STYLE & MATERIAL REQUIREMENTS.

**SCOPE OF WORK:**

DESIGN & INSTALLATION OF A 'STRUXURE' PERGOLA AS DESIGNED HEREIN AT THE ADDRESS NOTED IN THE PLANS.

**EXCLUSIONS:**

THE DESIGN OF THE EXISTING HOST STRUCTURE, MECHANICAL ELEMENTS, EGRESS, WATERPROOFING, ELECTRICAL, WIRING, FAN BEAMS, FANS, OR ANY ACCESSORY ATTACHMENTS ARE NOT INCLUDED WITH THIS DESIGN OR CERTIFICATION UNLESS NOTED OTHERWISE.

**MEMBERS / COMPONENTS TO BE INSTALLED BY OTHERS**

- CONCRETE FOOTING OR SLABS
- KNEE WALLS OR PARAPETS
- STEEL MEMBERS OR ANY WELDED STEEL SLEEVES
- BASE PLATE EMBEDS
- WOOD BLOCKING OR ANY OTHER HOST ATTACHMENTS SUCH AS STEEL STUDS, WOOD STUDS, ETC.

**SCOPE OF WORK:**

DESIGN & INSTALLATION OF 'STRUXURE' PERGOLA AS DESIGNED HEREIN AT THE ADDRESS NOTED IN THE PLANS.

**EXCLUSIONS:**

THE DESIGN OF THE EXISTING HOST STRUCTURE, MECHANICAL ELEMENTS, EGRESS, WATERPROOFING, ELECTRICAL, WIRING, FAN BEAMS, FANS OR ANY OTHER ACCESSORY ATTACHMENTS ARE NOT INCLUDED WITH THIS DESIGN OR CERTIFICATION U.N.O.

**DESIGN CRITERIA:**

INTERNATIONAL BUILDING CODE (2021)  
 ILLINOIS BUILDING CODE (2021)  
 ASCE 7-22 LOAD COMBINATIONS

- DEAD LOADING
  - ROOF DEAD LOAD ..... 5 PSF
- LIVE LOADING
  - ROOF LIVE LOAD ..... 20 PSF
- SNOW LOADING
  - GROUND SNOW LOAD ..... 54.0 PSF
  - SNOW EXPOSURE FACTOR ..... 1.0
  - SNOW LOAD IMPORTANCE FACTOR ..... 1.0
  - THERMAL FACTOR ..... 2.0
  - SNOW DRIFT ..... PER CODE
- WIND LOADING INPUTS
  - METHODOLOGY ..... OPEN STRUCTURE
  - RISK CATEGORY ..... II
  - ULTIMATE WIND SPEED ..... 110 MPH (ASD = SQRT (0.6)\*VULT
  - WIND EXPOSURE FACTOR ..... C
  - DIRECTIONALITY / OTHER FACTORS ..... Kd = 0.85, G = 0.85, Kz = 0.85, Kzt = 1.0
  - MEAN ROOF HEIGHT ..... 10 FT 8 IN
  - SYSTEM MOUNTING HEIGHT ..... 0 FT
- SEISMIC LOADS
  - RISK CATEGORY ..... II
  - SITE CLASS ..... D
  - SS ..... 0.14
  - SI ..... 0.067
  - SEISMIC DESIGN CATEGORY (SDC) ..... B
  - LONG TRANSITION PERIOD (LT) ..... 12
- A.S.D. COMBINED LOADING
  - GRAVITY (+) ..... 72.70 PSF
  - UPLIFT (+) ..... - 10.0 PSF
  - LATERAL ..... 15.04 PSF

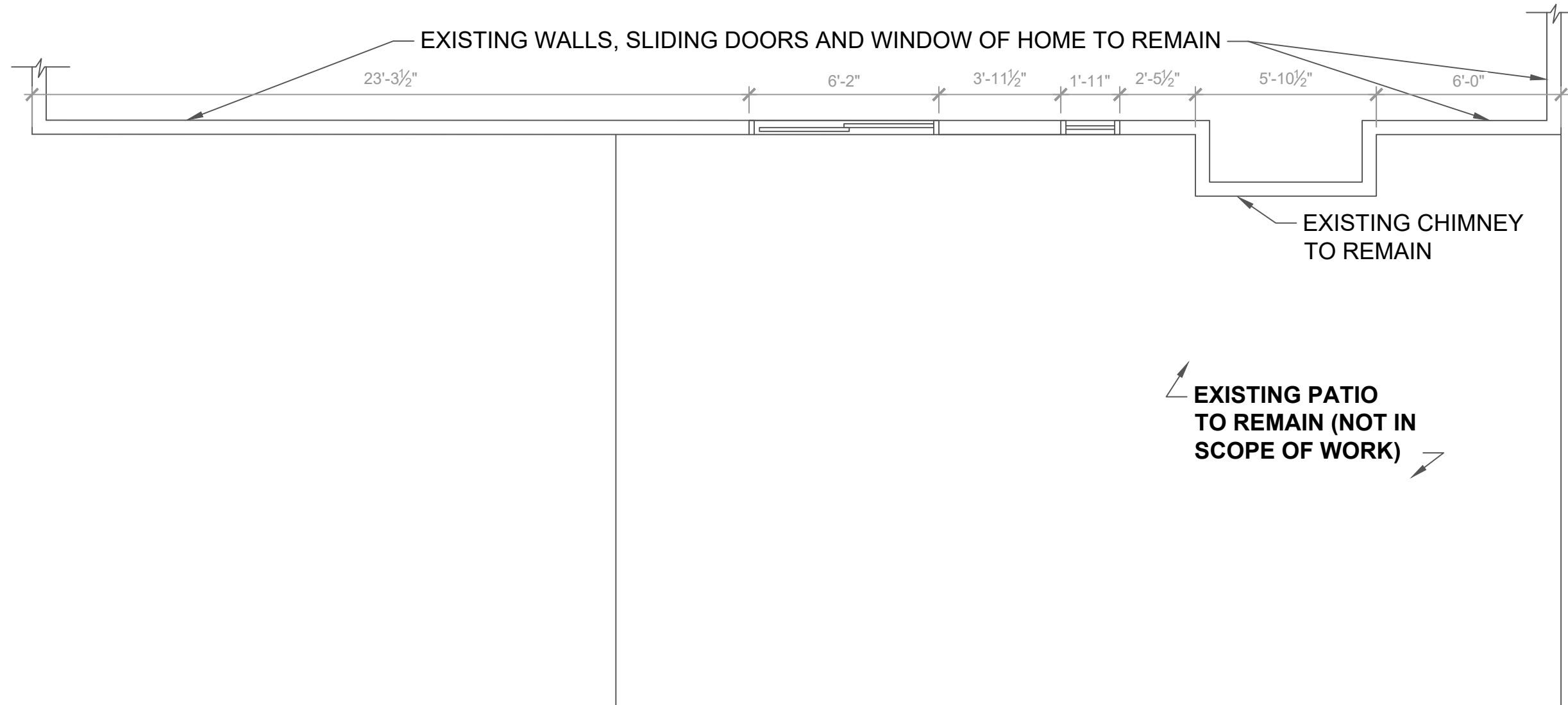


SHEET TITLE:  
**GENERAL NOTES 2**

PROJECT NAME:  
**Zaba Residence**  
 4124 North Walnut Avenue  
 Arlington Heights, IL  
 60004

Date:  
**07/18/2025**

Sheet:  
**G2**



**LEGEND:**  
 ——— EXISTING WALLS/HOME  
 - - - - - EXTENT OF DEMO

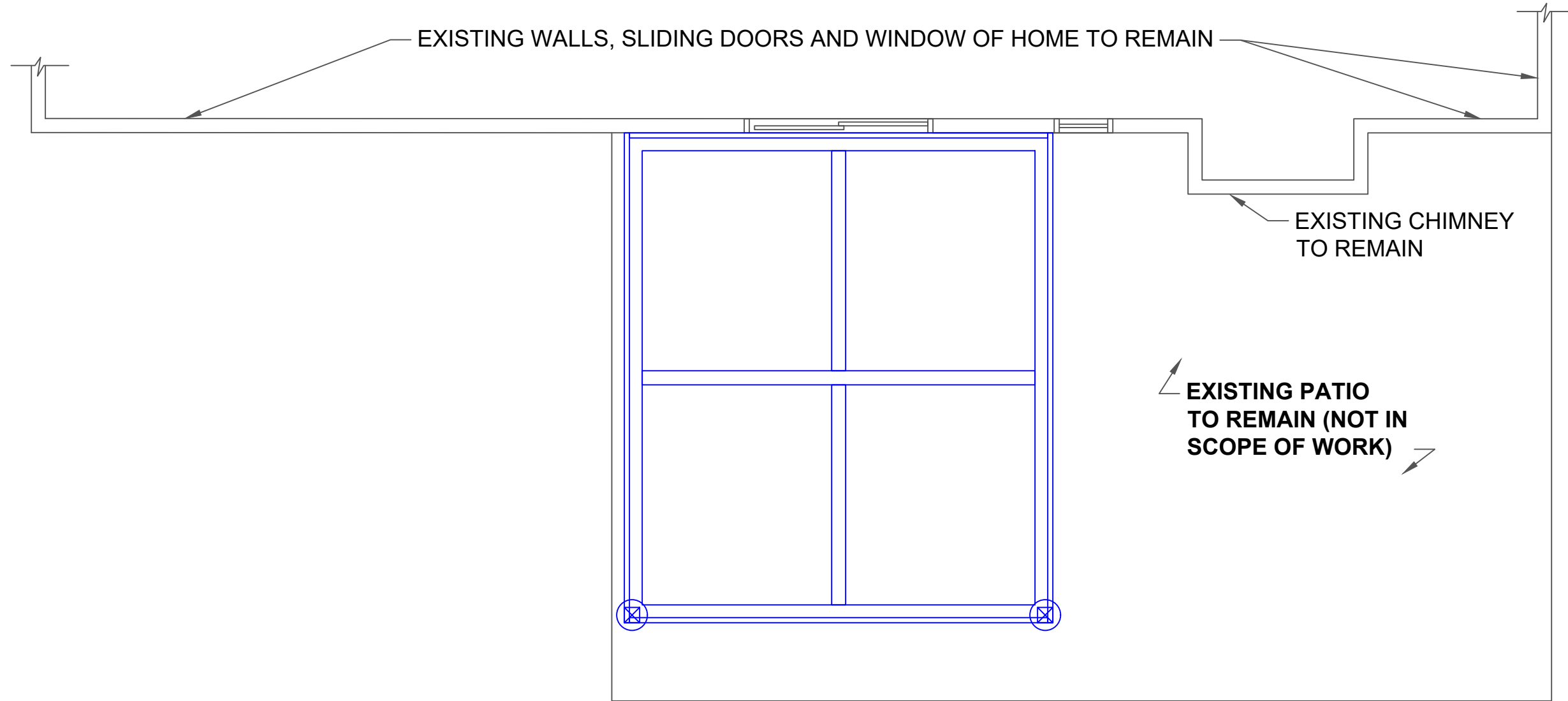
**EXISTING FLOOR PLAN A:**  
 SCALE: ¼" = 1'-0"

SHEET TITLE  
 EXISTING CONDITIONS DIMENSION PLAN

PROJECT NAME:  
 Zaba Residence  
 4124 North Walnut Avenue  
 Arlington Heights, IL  
 60004

Date:  
 07/18/2025

Sheet:  
 A1



**LEGEND:**

- EXISTING WALLS/HOME
- STRUXURE FRAMING
- NEW PATIO
- NEW DECK
- PIERTECH HELICAL PIER

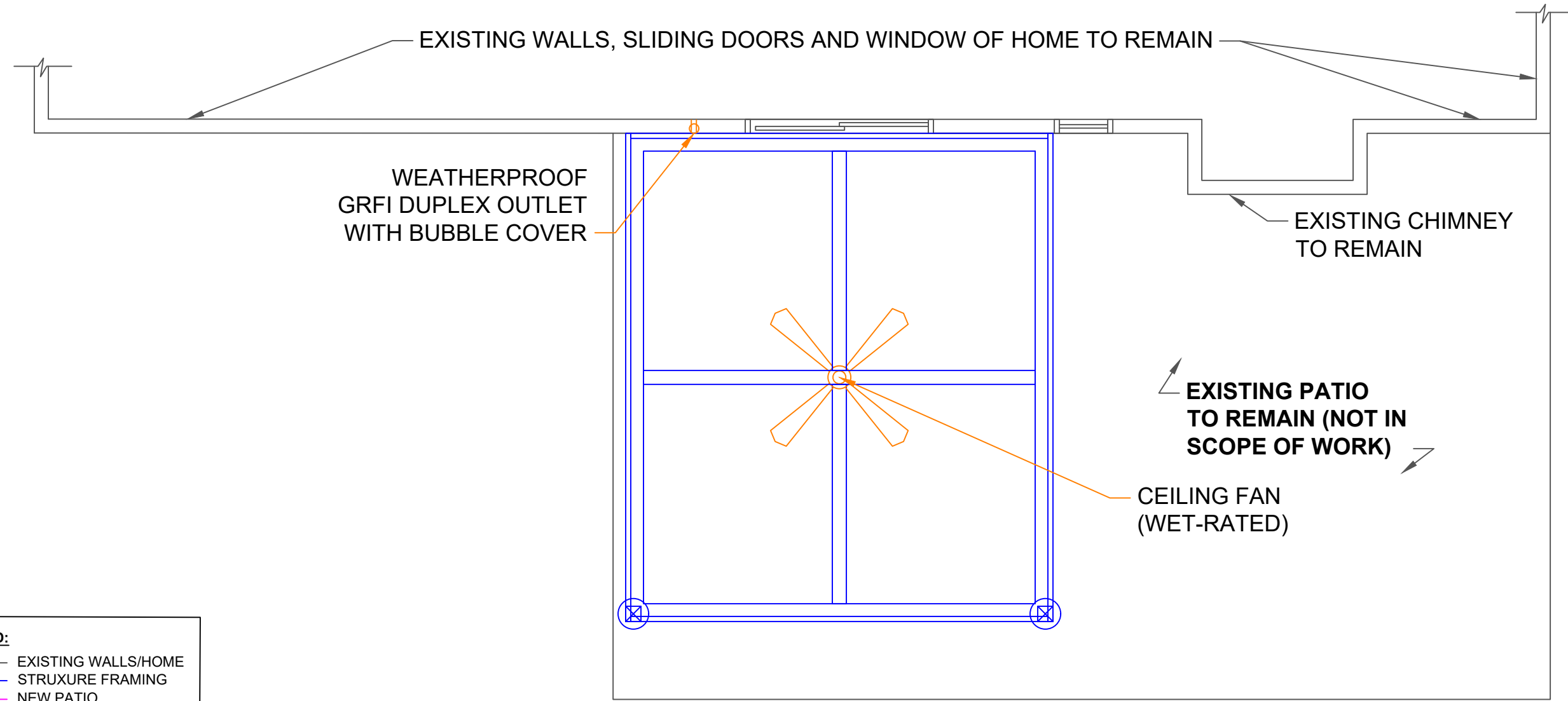
**EXISTING FLOOR PLAN A:**  
SCALE: 1/4" = 1'-0"

SHEET TITLE  
**PROJECT FLOOR PLAN**

PROJECT NAME:  
**Zaba Residence**  
4124 North Walnut Avenue  
Arlington Heights, IL  
60004

Date:  
07/18/2025

Sheet:  
**A2**



**LEGEND:**

- EXISTING WALLS/HOME
- STRUXURE FRAMING
- NEW PATIO
- NEW DECK
- PIERTECH HELICAL PIER
- ⚡ GRFI
- ✂ CEILING FAN

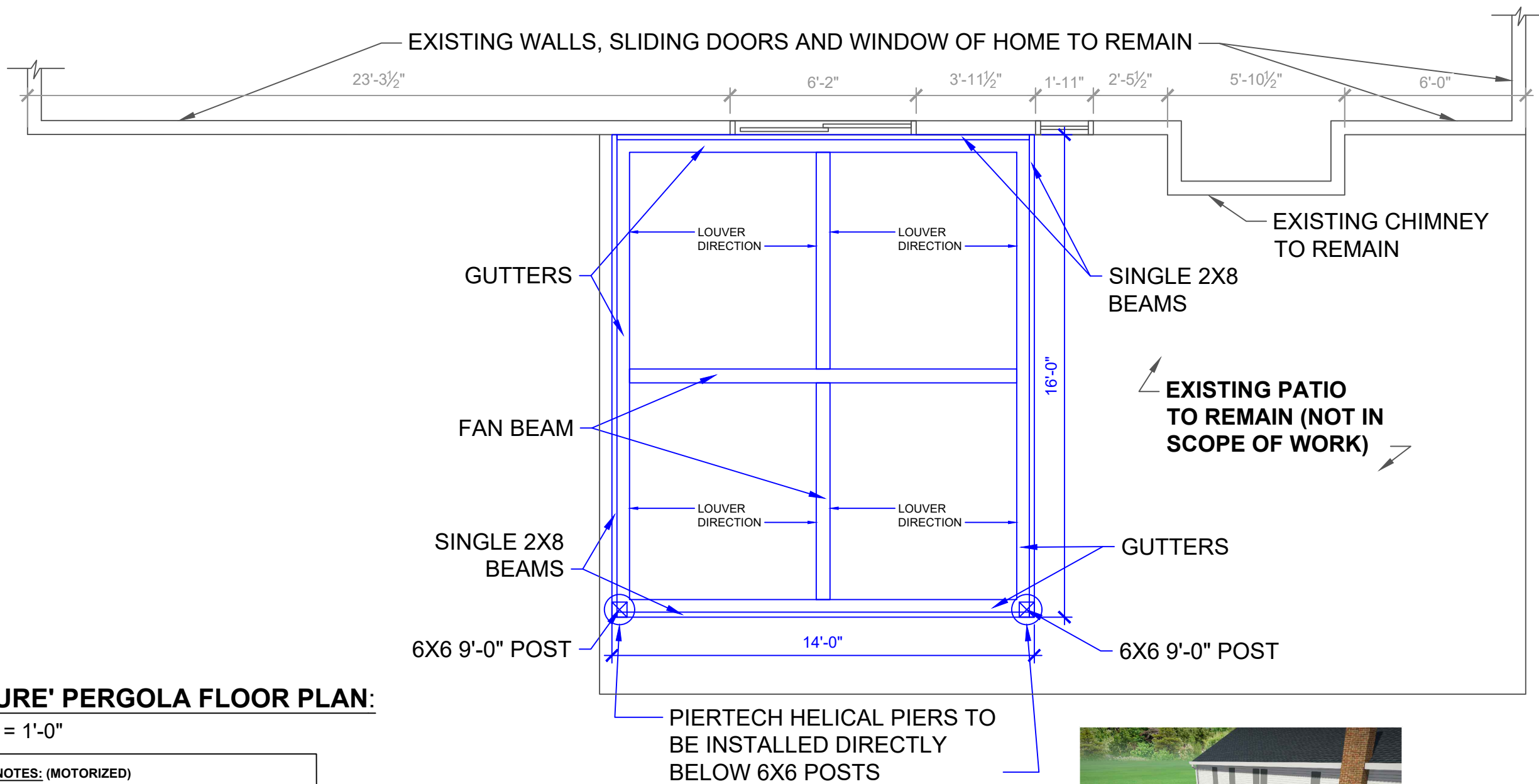
**MECHANICAL PLAN:**  
SCALE: 1/4" = 1'-0"

SHEET TITLE  
**MECHANICAL PLAN**

PROJECT NAME:  
**Zaba Residence**  
4124 North Walnut Avenue  
Arlington Heights, IL  
60004

Date:  
07/18/2025

Sheet:  
**B1**



**'STRUXURE' PERGOLA FLOOR PLAN:**

SCALE:  $\frac{1}{4}'' = 1'-0''$

**STRUXURE NOTES: (MOTORIZED)**

- STRUXURE PIVOT 6
- WALL MOUNT CONNECTION
- 16'-0" (L) X 14'-0" (W) X 9'-0" (H)
- BLACK STRUXURE WITH WHITE LOUVERS
- (2) 6"X6" X 9'-0" POSTS WITH FUNCTIONAL POST BASES
- (1) 14'-0" L FAN BEAM
- (1) 16'-0" L FAN BEAM

- (1) SOMFY X-DRIVE LOW PROFILE MOTOR
- SOMFY RAIN SENSOR
- SOMFY WIND SENSOR
- SOMFY TAHOMA WIFI ADAPTER
- SOMFY 1 CHANNEL HANDHELD REMOTE

- ADD STRUXURE CHARLESTON CAPS AND SAVANNAH BASES
- ADD 2-STEP CORNICE

**LEGEND:**

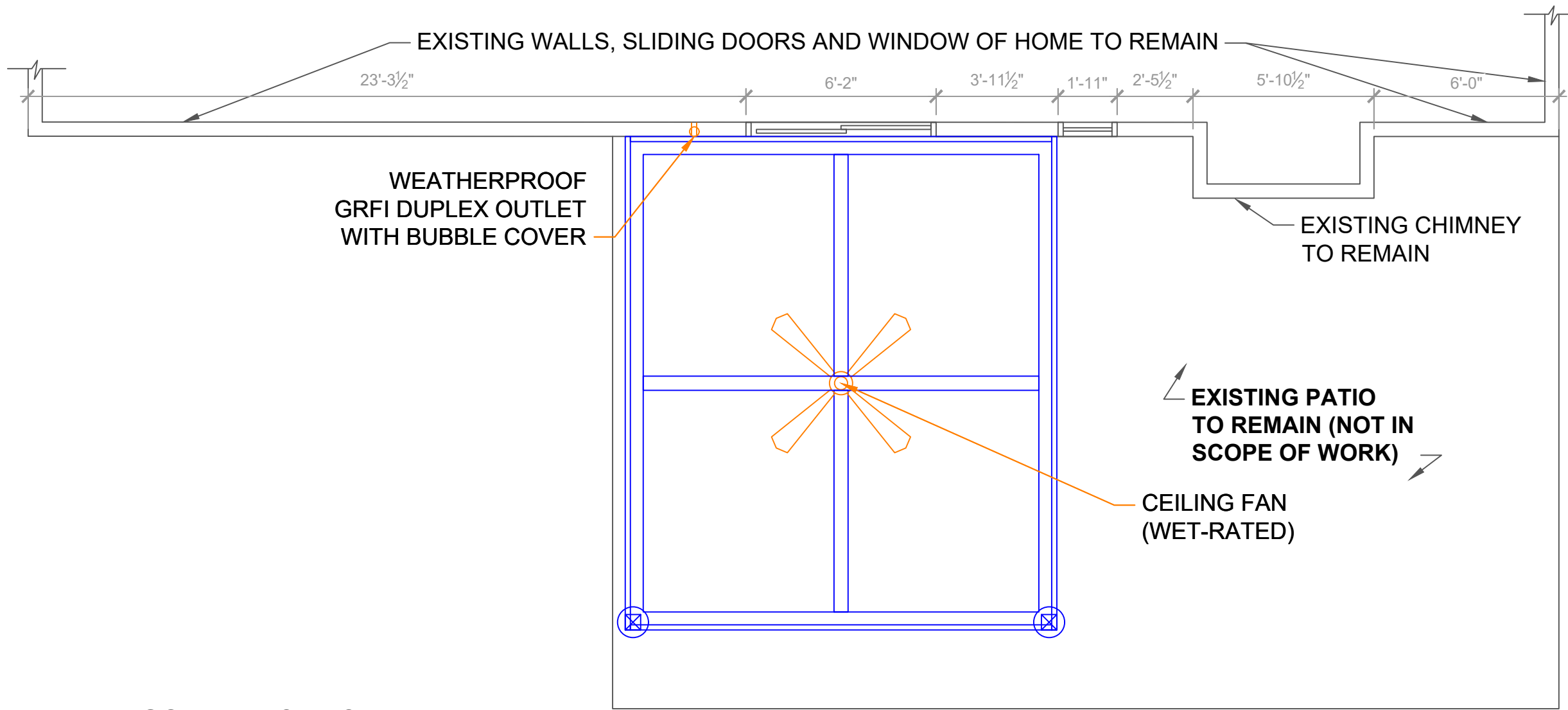
- STRUXURE FRAMING
- EXISTING WALLS/ETC.
- PIERTECH HELICAL PIER

**PROJECT SPECIFIC NOTES:**

- ROUND SHAFT 2 -  $\frac{7}{8}''$  X 0.203W PIERTECH HELICAL PILES TO BE INSTALLED DIRECTLY BELOW 6X6 STRUXURE POSTS



**3D RENDERING:**  
SCALE: NTS



**'STRUXURE' PERGOLA ELECTRICAL PLAN:**

SCALE: 1/4" = 1'-0"

**STRUXURE NOTES: (MOTORIZED)**

- STRUXURE PIVOT 6
- WALL MOUNT CONNECTION
- 16'-0" (L) X 14'-0" (W) X 9'-0" (H)
- BLACK STRUXURE WITH WHITE LOUVERS
- (2) 6"X6" X 9'-0" POSTS WITH FUNCTIONAL POST BASES
- (1) 14'-0" L FAN BEAM
- (1) 16'-0" L FAN BEAM

- (1) SOMFY X-DRIVE LOW PROFILE MOTOR
- SOMFY RAIN SENSOR
- SOMFY WIND SENSOR
- SOMFY TAHOMA WIFI ADAPTER
- SOMFY 1 CHANNEL HANDHELD REMOTE

- ADD STRUXURE CHARLESTON CAPS AND SAVANNAH BASES
- ADD 2-STEP CORNICE

**LEGEND:**

- STRUXURE FRAMING
- EXISTING WALLS/ETC.
- PIERTECH HELICAL PIER
- GRFI
- CEILING FAN

**PROJECT SPECIFIC NOTES:**

- ROUND SHAFT 2 - 3/8" X 0.203W PIERTECH HELICAL PILES TO BE INSTALLED DIRECTLY BELOW 6X6 STRUXURE POSTS
- ADD BUBBLE COVERS FOR ALL GRFI'S



**3D RENDERING:**

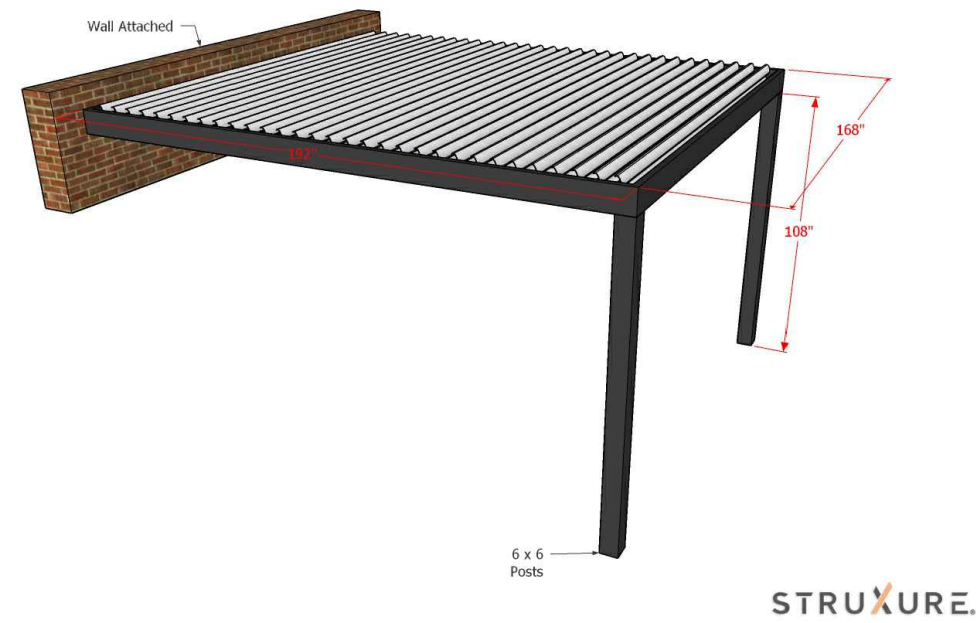
SCALE: NTS

SHEET TITLE  
STRUXURE (6X6) ELECTRICAL PLAN

PROJECT NAME:  
**Zaba Residence**  
4124 North Walnut Avenue  
Arlington Heights, IL  
60004

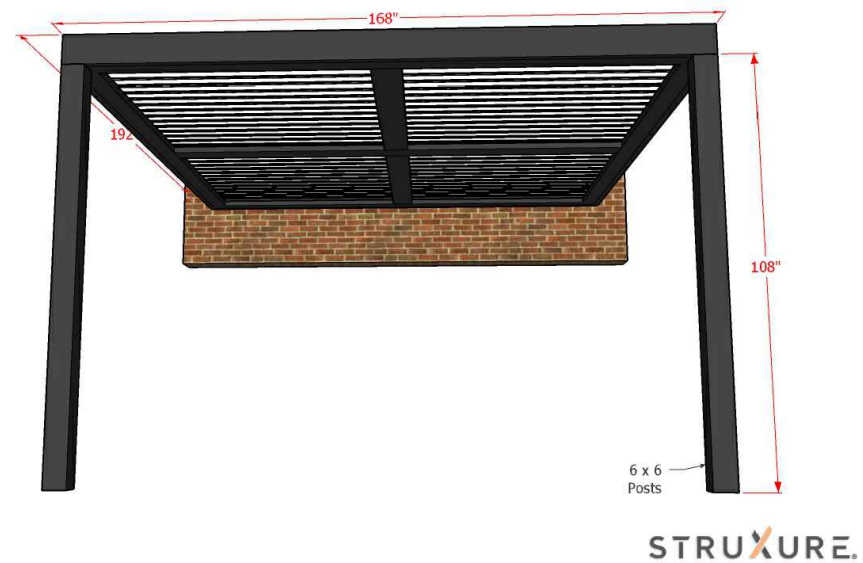
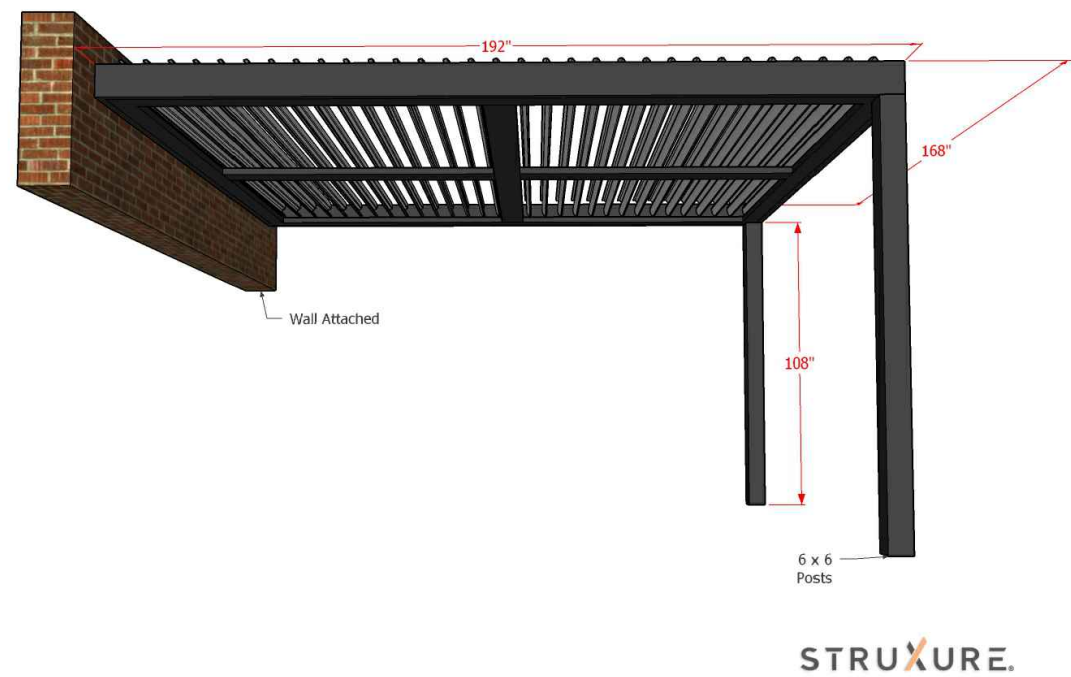
Date:  
07/18/2025

Sheet:  
S2



**'STRUXURE' PERGOLA PLAN VIEW:**  
SCALE: NTS

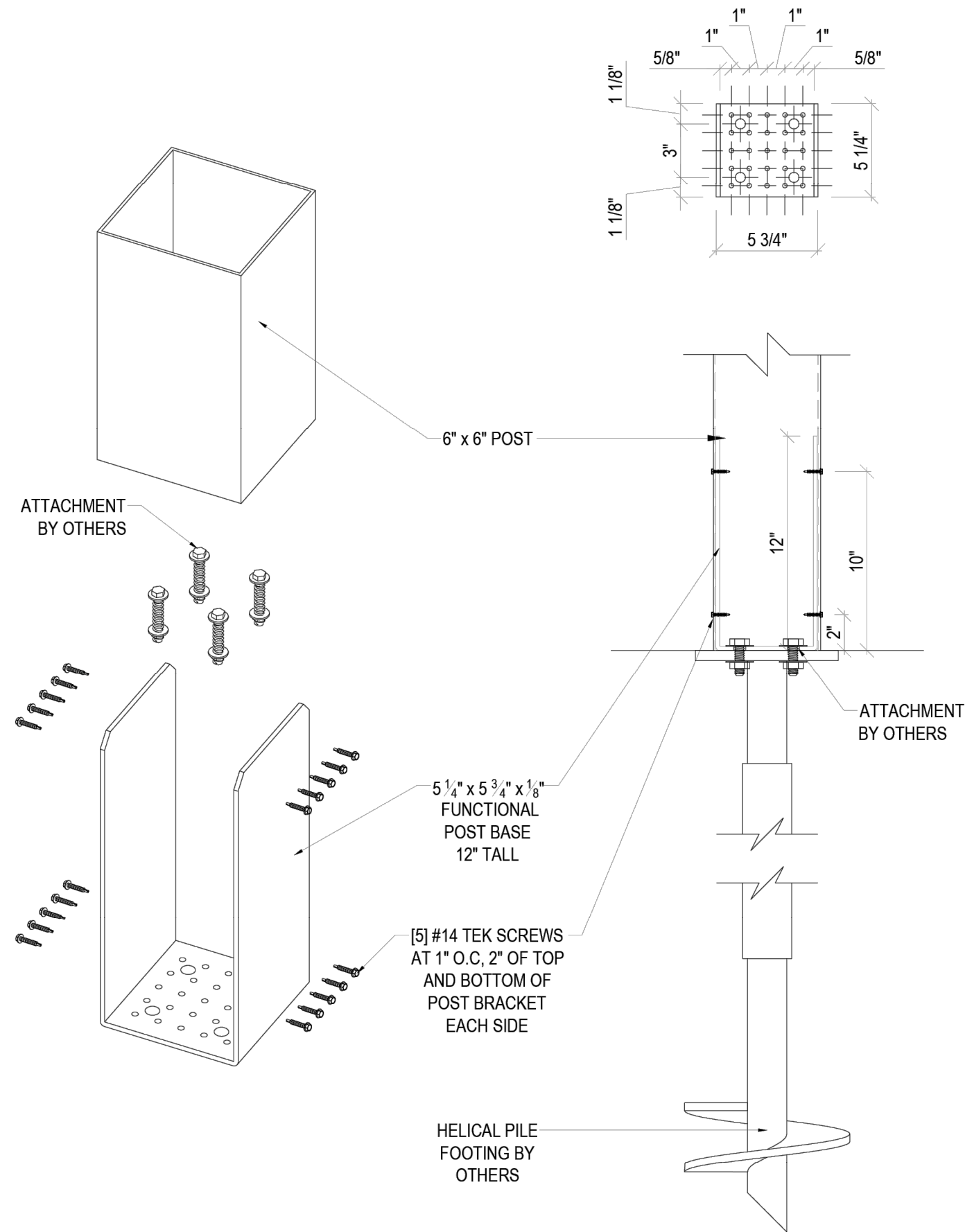
**'STRUXURE' PERGOLA ISOMETRIC VIEW:**  
SCALE: NTS



**'STRUXURE' PERGOLA SIDE VIEW:**  
SCALE: NTS

**'STRUXURE' PERGOLA FRONT VIEW:**  
SCALE: NTS

ALUMINUM TYPE:  
LOUVERS 6063-T5  
ALL OTHER COMPONENTS 6063-T5



**FUNCTIONAL POST BRACKET TO HELICAL PILE FOOTER CONNECTION 6"x6"**

1 1/2" = 1'-0"

**HELICAL PIER (6X6) CONNECTION DETAIL:**

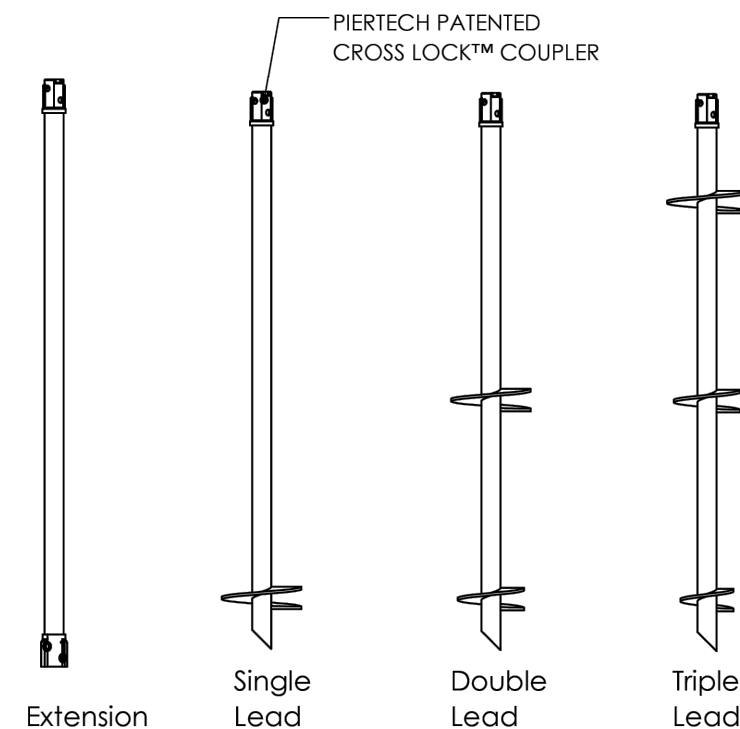
REVISIONS

REV	ECO	DESCRIPTION	BY	DATE	CHECK	DATE
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ROUND SHAFT 2-7/8" X  
.203 WALL HELICAL PILES

Helical Piles offer unique advantages over other deep foundation system, including rapid installation, improved bearing support, and lack of waste (excavated soils). The below Pier Tech Systems® (PTS) products are manufactured to internal quality standards using USA sourced steel, when applicable. Joining of helical pile components is provided by PTS patented Cross Lock™ splined coupler allowing ease of connection between components as well as achieving a rigid joint of higher torsional capacity. The torsional rating of the helical pile is defined in accordance with AISC 360 and/or ICC-AC358 [laboratory testing or computational methods]. Structurally, the helical piles include a reduction in capacity to account for corrosive soil attack inclusive of loss of section (bare steel). Such reduction is based on a design period of 50 years for soils of moderate to high resistivity and acidic to base pH levels. PTS recommends that actual capacity of helical piles be determined through consultation with licensed professional engineer with consultation of geotechnical consultant, whenever possible. Helical piles are available in standard and custom lengths with helix configurations.

Properties and Specifications	
Shaft	RS 2-7/8" x .203W ASTM A500 Grade B/C, Fy=60ksi, Fu=70ksi
Helix*	8", 10", 12", 14" OD .375" Thickness 3" Pitch ASTM A572
Coupler	Patented Cross Lock™ ASTM A915-A915M Fy=116ksi, Fu=123.3ksi
Bolts	(2) 3/4" Grade 5 Min.
Finish	Bare Steel, Galvanized
Torque	
Maximum Torque**	8,290 ft-lbs
Capacity to Torque Ratio	9 (1/ft)
Capacity by Torque	
Ultimate Capacity Based on Torque***	74 kips
Allowable Capacity Based on Torque	37 kips
Structural Capacity	
Allowable Structural Capacity (Comp.)***, *-	48 kips
Allowable Structural Capacity (Ten.)***, *-	44 kips



Note: The above helical pile capacities imply installation into suitable bearing stratum at appropriate depth. Listed axial compressive load based on installation achieving the recommended maximum torque per noted soil factor under simple axial loading. Such capacity excludes necessary reduction due to combined stress from lateral loading or induced moment applied to pile head. PTS recommends consultation with licensed design engineer to establish allowable structural, and geotechnical design capacity of helical piles. As deep foundation system, PTS recommends the upper most helix flight be installed no less than 5 times the helix outside diameter, unless otherwise assessed by licensed design professional.

\*Other helix sizes available if requested.  
\*\*Maximum torque represents ultimate resistance of helical pile as based on laboratory testing or computational assessment of pile section. PTS recommends that ultimate torque applied during installation of helical piles be limited to no more than 85% of the listed maximum torque.  
\*\*\*Listed capacity of helical piles based on simple axial loading of shaft. Reduce capacity as necessary to comply with maximum combined stress within steel section (per AISC / IBC criteria - reduction to account for lateral shear and/or moment applied to head of helical piles). All listed values apply to Cross Lock™ coupler only.  
\*-Capacity based on corrosion of "bare" steel section per 50 year design period.



NAME	DATE	DIMENSIONS ARE IN INCHES	
DRAWN KE	5/8/23		
CHECKED MW	5/8/23	<b>PROPRIETARY AND CONFIDENTIAL</b> <small>THIS DRAWING AND ALL OTHER INFORMATION THERE ON IS THE PROPERTY OF PIERTECH, LLC AND IS CONSIDERED CONFIDENTIAL AND PROPRIETARY. COPYING, DISCLOSURE, TRANSMITTING TO OTHERS, AND ANY OTHER USE IS HEREBY PROHIBITED UNLESS CONSENT HAS BEEN OBTAINED. THIS DRAWING SHALL BE RETURNED OR DESTROYED AT THE REQUEST OF ITS OWNER. THIS DRAWING IS PROTECTED BY FEDERAL COPYRIGHT LAWS AND/OR FEDERAL AND STATE TRADE SECRET LAWS. ALL RIGHTS RESERVED.</small>	
MATERIAL	VARIES		
FINISH	BARE/GALV		

RS 2-7/8" X .203W  
CUT SHEET

SIZE	DWG. NO.	REV.
A	2.87-CUTSHEET	0
WEIGHT: N/A		SHEET 1 OF 1

HELICAL PIER (6X6) CONNECTION DETAIL:



VILLAGE OF  
ARLINGTON HEIGHTS  
INC. 1887

**Zoning Board of Appeals  
10/6/2025**

**Item:** 511 W. Wing St. - ZBA25-035  
**Department:** Planning & Community Development

**Item Description:**

**REQUEST**

1. A 13 square-foot variation from Chapter 28, Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage area of 3,062 square-feet instead of the permitted 3,049 square-feet.
2. A 322 square-foot variation from Chapter 28, Section 5.1-3.5(b) (Maximum Impervious Surface Coverage) to allow a coverage area of 4,678 square-feet instead of the permitted 4,356 square-feet.
3. A 4.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures) to allow an accessory structure height of 19.5-feet instead of the permitted 15-feet.

**ATTACHMENTS:**

1. ZBA packet\_511 W Wing St

## ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

### Staff Analysis

Prepared By: Dan Osoba, Planner  
 Hearing Date: October 6, 2025  
 Date Prepared: October 1, 2025  
 Project Title: Holland Residence  
 Address: 511 W. Wing St.

#### Background Information

Petition Number: ZBA #25-035  
 Petitioner: Robert Flubacker  
 Address: 1895 Rohlwing Rd, Suite B  
 Rolling Meadows IL 60005

Existing Zoning: R-3 – Residential Single-Family District

#### Requested Action/Background Information

On December 13, 2021, this property received approval from the Zoning Board of Appeals pursuant to petition ZBA21-043, a wrap-around front porch building addition that encroached into the required front setback and increased the building lot coverage and impervious surface coverage over the maximum code allowances. With the current petition ZBA25-035, the petitioner is proposing to reduce the previously approved building lot coverage and impervious surface coverage. However, the proposed building lot coverage and impervious surface coverage still exceed code required maximums and due to the site layout modifications, the petitioner is requesting approval of variations to building lot coverage and impervious surface coverage that were previously approved under a different scope of work.

The scope of work proposed in this petition is to reconstruct a larger detached framed two-car garage with an area of 550 square-feet and a roof height of 19.5' to replace an existing garage that was destroyed in a fire earlier this year. In addition to the garage reconstruction, the petitioner is proposing to reconfigure the driveway, which will remove existing concrete and impervious surface that surrounds the existing garage. The table below identifies previously approved variations from 2021 and the current requested variations:

	Code Requirement	ZBA21-043 Approval	ZBA25-035 Current Request
Front Yard Setback	22.2-feet	14.7-feet (7.5-foot variance)	Not Applicable
Building Lot Coverage	3,049 square-feet	3,253 square-feet (204 square-foot variance)	3,062 square-feet (13 square-foot variance)
Impervious Surface Coverage	4,356 square-feet	4,869 square-feet (513 square-foot variance)	4,678 square-feet (322 square-foot variance)
Accessory Structure Height	15-feet	Not Applicable	19.5-feet (4.5-foot variance)

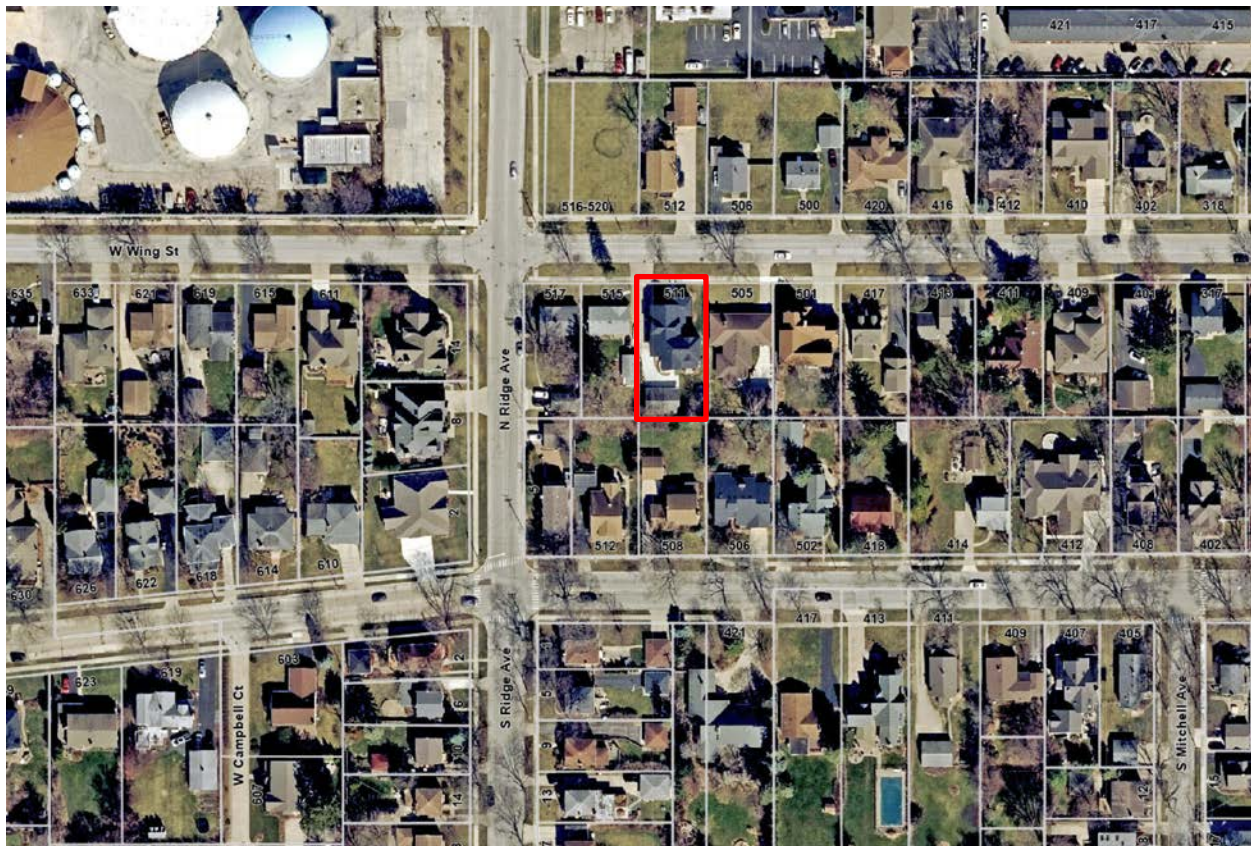
The petitioner is requesting the following variations:

- A 13 square-foot variation from Chapter 28, Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage area of 3,062 square-feet instead of the permitted 3,049 square-feet.
- A 322 square-foot variation from Chapter 28, Section 5.1-3.5(b) (Maximum Impervious Surface Coverage) to allow a coverage area of 4,678 square-feet instead of the permitted 4,356 square-feet
- A 4.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures) to allow an accessory structure height of 19.5-feet instead of the permitted 15-feet.

**Variation Review Standards**

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

**Map of General Vicinity**



**Items required to be Submitted 15 Days Prior to Public Hearing**

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/19/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/19/25	
3. Letter that was Mailed	✓	9/19/25	
4. Photographs of Sign on Property	✓	9/19/25	

Photographs of Existing Structure



# Village of Arlington Heights



---

**To:** Robert Flubacker  
**From:** Dan Osoba  
**Department:** Department of Planning and Community Development  
**File Number:** ZBA 25-035  
**Project:** 511 W. Wing St  
**Date:** October 2, 2025

---

## ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 13 square-foot variation from Chapter 28, Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage area of 3,062 square-feet instead of the permitted 3,049 square-feet.
- A 322 square-foot variation from Chapter 28, Section 5.1-3.5(b) (Maximum Impervious Surface Coverage) to allow a coverage area of 4,678 square-feet instead of the permitted 4,356 square-feet
- A 4.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures) to allow an accessory structure height of 19.5-feet instead of the permitted 15-feet.

If you have any questions, please contact [dosoba@vah.com](mailto:dosoba@vah.com):

## Planning and Community Development

1. Staff generally encourages accessory structures to be designed to match the principal structure. The proposed garage is nicely designed to match the existing house roof pitch and details.

## Building and Life Safety

1. No comments.

## Engineering

1. No comments.

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that a public hearing will be held on Monday, October 6, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 13 square-foot variation from Chapter 28, Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage area of 3,062 square-feet instead of the permitted 3,049 square-feet.
- A 322 square-foot variation from Chapter 28, Section 5.1-3.5(b) (Maximum Impervious Surface Coverage) to allow a coverage area of 4,678 square-feet instead of the permitted 4,356 square-feet
- A 4.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures) to allow an accessory structure height of 19.5-feet instead of the permitted 15-feet.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or [planning@mail@vgh.com](mailto:planning@mail@vgh.com).

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT 3 IN BLOCK 12 IN MINERS ADDITION TO DUNTON, BEING A SUBDIVISION OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Commonly known as: 511 W. Wing Street, Arlington Heights, IL 60005

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or [health@mail@vgh.com](mailto:health@mail@vgh.com).

Benjamin Jaffe, Chair  
Zoning Board of Appeals

Published in Daily Herald Sept. 20, 2025 (305803)

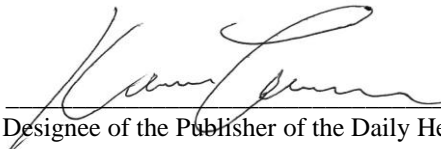
**CERTIFICATE OF PUBLICATION**

**Paddock Publications, Inc.**

**Northwest Suburbs  
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 09/20/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY   
Designee of the Publisher of the Daily Herald

Control # 305803



## PETITION

NOW COMES the Petitioner, **Robert Flubacker**, being the petitioner of the property commonly known as: **511 West Wing Street**, and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for variations from, **Sections 5.1-3.5(a) Maximum Building Lot Coverage, 5.1-3.5(b) Maximum Impervious Surface Coverage and 6.5-6 Height of Accessory Structure**, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Construct a detached framed two-car garage, with an area of 550 s.f. and a roof ridge height of 19'-6".

- A 13 sq.ft. variation from Chapter 28, Sections 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a coverage area of 3,062 sq.ft. instead of the permitted 3,049 sq.ft..
- A 322 sq.ft. variation from Chapter 28, Sections 5.1-3.5(b) (Maximum Impervious Surface Coverage) to allow a coverage area of 4,678 sq.ft. instead of the permitted 4,356 sq.ft..
- A 4.5 foot variation from Chapter 28, Sections 6.5-6. (Height of Accessory Structure) to allow a building height of 19.5 feet instead of the permitted 15 feet.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variations were granted:

The proposed detached garage is to replace an existing garage damaged by a fire. The proposed garage is of similar size to the original garage. The surrounding neighborhood has single-family homes and garages of a widely varied mix of sizes and shapes. The proposed detached garage mimics the existing architectural character of the house, including a steeper roof pitch, and maintains it's compatibility with the neighborhood.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned:


The proposed detached garage is to replace their existing garage which was destroyed by a recent fire. The requested variations for Lot Coverage and Impervious Surface Coverage are to maintain the status quo. The request for additional height is to more closely match the existing house and provide much needed storage.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter:

With the exception of the variations requested, the project falls well below the other zoning requirements since there are other detached garages of similar height in the immediate area. The project will maintain the character of the neighborhood, while providing the desired garage the owner needs.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property:

Again, the Lot Coverage and Impervious Surface Coverage variations are to maintain the current conditions. The height variation is to match the current house roof pitch. Any lower roof pitch would no longer match the house.

Signed:  Date: 9/05/2025  
Petitioner

## **PROJECT DESCRIPTION**

The purpose of this request is for a variance from the Arlington Heights Municipal Code, Chapter 28 (Zoning Regulations), **Sections 5.1-3.5(a) Maximum Building Lot Coverage & 5.1-3.5(b) Maximum Impervious Surface Coverage and 6.5-6 Height of Accessory Structure** in order to:

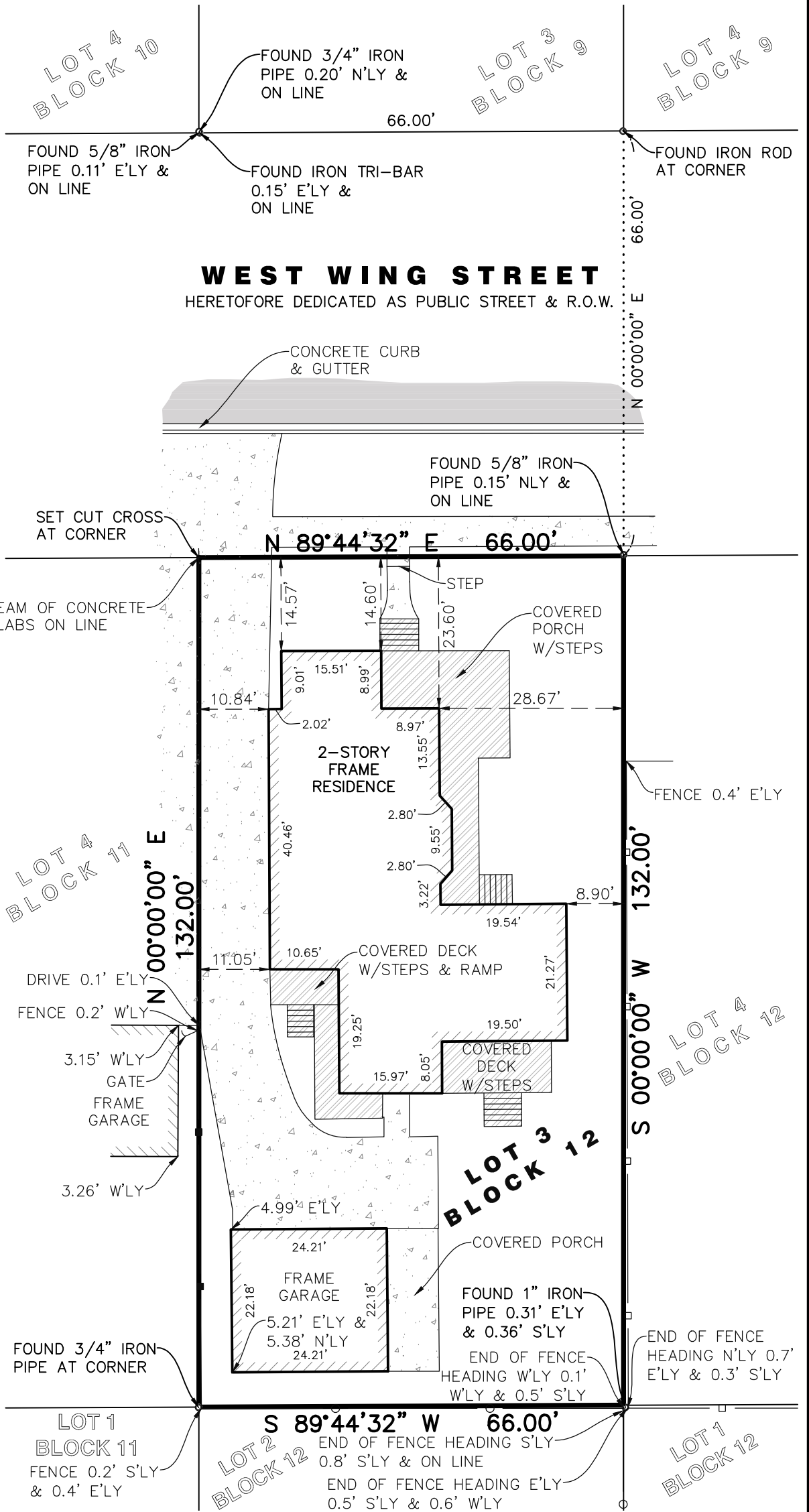
Construct a detached framed two-car garage, with an area of 550 s.f. and a roof height of 19'-6".

- A 13 sq.ft. variation from Chapter 28, Sections 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a coverage area of 3,062 sq.ft. instead of the permitted 3,049 sq.ft..
- A 322 sq.ft. variation from Chapter 28, Sections 5.1-3.5(b) (Maximum Impervious Surface Coverage) to allow a coverage area of 4,678 sq.ft. instead of the permitted 4,356 sq.ft..
- A 4.5 foot variation from Chapter 28, Sections 6.5-6. (Height of Accessory Structure) to allow a building height of 19.5 feet instead of the permitted 15 feet.

# BOUNDARY SURVEY

## LEGAL DESCRIPTION

LOT 3 IN BLOCK 12 IN MINERS ADDITION TO DUNTON, BEING A SUBDIVISION OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS



PLAT OF SURVEY	511 WEST WING STREET	ARLINGTON HEIGHTS, ILLINOIS
DRAWN: F.A.	1900 E. GOLF ROAD, SUITE 950, SCHAUMBURG, IL 60173 PHONE: 847.356.7539 email: info@sightonsolutions.com www.sightonsolutions.com	SHEET <b>1 OF 1</b> SOS#: 25115
DATE: 09/05/25	<b>SIGHT ON SOLUTIONS, INC.</b>	
SCALE: 1"=20'		

# NEW DETACHED GARAGE FOR THE D'AGOSTA-HOLLAND RESIDENCE

511 W. WING ST.  
ARLINGTON HEIGHTS, ILLINOIS

### ABBREVIATIONS

•	AT	EXP.	EXPANSION	P.LAM.	PLASTIC LAMINATE
•	ANGLE	F.D.	FLOOR DRAIN	PLYWD.	PLYWOOD
SS	FIVE SHELVES	F.F.	FINISH FLOOR	P.S.F.	POUNDS PER SQUARE FOOT
A/C	AIR CONDITIONING	FIN.	FINISH	P.S.I.	POUNDS PER SQUARE INCH
ADJ.	ADJUSTABLE	FIXT.	FIXTURE	PSL	PARALLEL STRAND LUMBER
A.F.F.	ABOVE FINISH FLOOR	FND.	FOUNDATION	PVC.	POLYVINYL CHLORIDE
ALT.	ALTERNATE	F.O.C.	FACE OF CONCRETE	R.	RADIUS
ALUM.	ALUMINUM	F.O.S.	FACE OF STUD	R.D.	ROOF DRAIN
APPROX.	APPROXIMATE	FRZ.	FREEZER	R.R.	ROOF RAFTERS
ARCH.	ARCHITECTURAL	F.S.	FOOTING SUMP	R&S	ROD & SHELF
B/	BOTTOM OF	FTG.	FOOTING	REBAR.	REINFORCING BAR
BD.	BOARD	FURN.	FURNACE	REF.	REFRIGERATOR
B.I.	BUILT-IN	GA.	GAUGE	REG.	REGULAR
BLDG.	BUILDING	GALV.	GALVANIZED	REINFC.	REINFORCE
B.O.	BY OWNER	GLU-LAM.	GLUE LAMINATED BEAM	RM.	ROOM
BRG.	BEARING	GYP.BD.	GYPSUM BOARD	R.O.	ROUGH OPENING
C.	CARPET	HGT.	HEIGHT	S.C.	SOLID CORE
CAB.	CABINET	H.M.	HOLLOW METAL	SECT.	SECTION
C.I.	CAST IRON	HORZ.	HORIZONTAL	SH.	SINGLE-HUNG CLOSET ROD
C.J.	CONSTRUCTION JOINTS	HTS.	HEATING	SIM.	SIMILAR
C.L.	CENTER LINE	H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING	S.P.	SUMP PIT
C.G.	CEILING	H.W.	HOT WATER	SPEC.	SPECIFICATION
C.M.U.	CONCRETE MASONRY UNIT	INSUL.	INSULATION	SQ.	SQUARE
C.O.	CASED OPENING/ CLEAN OUT	INT.	INTERIOR	STD.	STANDARD
COL.	COLUMN	L.	LAMINATE	STL.	STEEL
CONC.	CONCRETE	LAM.	LAMINATE	STOR.	STORAGE
CONST.	CONSTRUCTION	LAV.	LAVATORY	STRUC.	STRUCTURAL
CONT.	CONTINUOUS	LLV.	LONG LEG VERTICAL	SUSP.	SUSPENDED
C.T.	CERAMIC TILE	LVL.	LAMINATED VENEER LUMBER	TJ	TOP JOINT
C.W.	COLD WATER	LVL.	LAMINATED VENEER LUMBER	T&B	TOP & BOTTOM
D.	DRYER	MAX.	MAXIMUM	T.&G.	TONGUE & GROOVE
DEMO.	DEMOLITION	M.C.	MEDICINE CABINET	TEL.	TELEPHONE
D.H.	DOUBLE-HUNG CLOSET RODS	MCH.	MECHANICAL	T.M.E.	TO MATCH EXIST.
DIA.	DIAMETER	MED.	MEDIUM	T.O.P.	TOP OF PLATE
DIM.	DIMENSION	MICRO.	MICROWAVE	TV.	TELEVISION
DISP.	DISPOSAL	MIN.	MINIMUM	TYP.	TYPICAL
DIV.	DIVISION	MISC.	MISCELLANEOUS	U.O.N.	UNLESS OTHERWISE NOTED
DN.	DOWN	M.O.	MASONRY OPENING	V.C.T.	VINYL COMPOSITION TILE
D.S.	DOWN SPOUT	MTL.	METAL	VERT.	VERTICAL
D.W.	DISHWASHER	N.F.H.B.	NON-FREEZE HOSE BIBB	VENT.	VENT THRU ROOF
EA.	EACH	N.I.C.	NOT IN CONTRACT	W/	WITH
E.I.P.S.	EXTERIOR INSULATION AND FINISH SYSTEM	NO.	NUMBER	W.	WASHER
ELECT.	ELECTRICAL	NOM.	NOMINAL	W.C.	WATER CLOSET
ELEV.	ELEVATION	N.T.S.	NOT TO SCALE	WD.	WOOD
EP.	ELECTOR PIT/SUMP	O.A.	OVER ALL	WDW.	WINDOW
EQ.	EQUIPMENT	O.C.	ON CENTER	WH.	WATER HEATER
EQU.	EQUIVALENT	O.H.	OVERHANG	W.I.C.	WALK-IN CLOSET
EW.	EACH WAY	OPP.	OPPOSITE	W/O	WITHOUT
EXIST.	EXISTING	OV.	OVEN	WT.	WEIGHT
		PERF.	PERFORATED	W.W.F.	WELDED WIRE FABRIC
		PL.	PLATE		

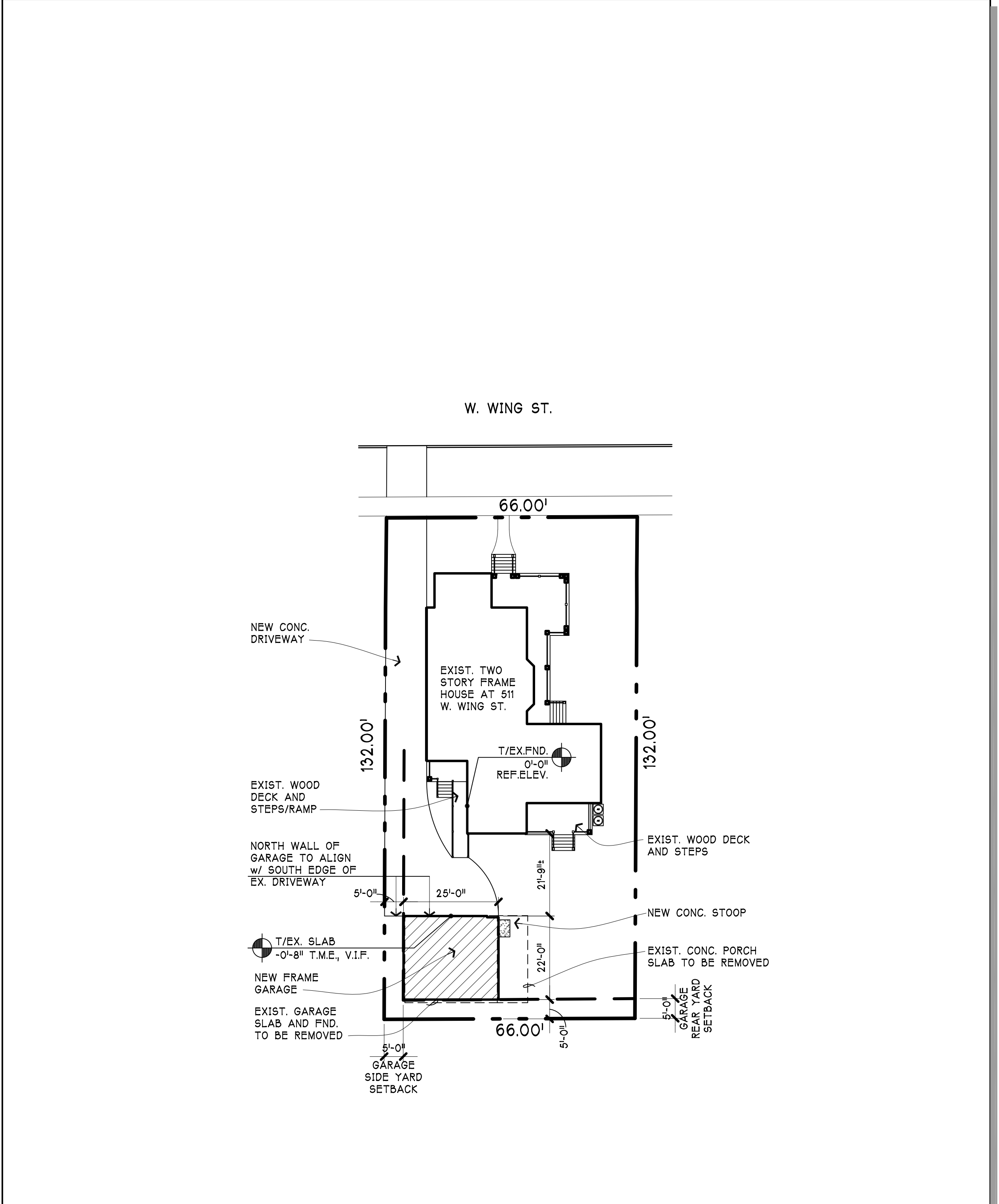
### LIST OF DRAWINGS

A-0	TITLE SHEET / SITE PLAN
A-1	GARAGE FLOOR PLAN / GARAGE ELEVATIONS

### SYMBOLS

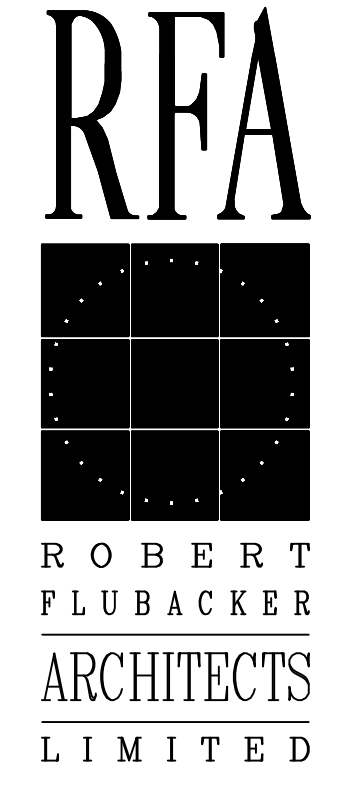
	DETAIL NUMBER [TYP.]		EXISTING PARTITION TO REMAIN
	SHEET NUMBER [TYP.]		NEW FRAMED PARTITION
	ELEVATION KEY		ROOM NAME

### SITE PLAN



### CODE REVIEW

ZONING	R-3		
LOT AREA	8,712 SQ.FT.		
	EXISTING	ALLOWED	PROPOSED
<b>BUILDING AREAS</b>			
FIRST FLOOR	1,928 SQ.FT.		1,928 SQ.FT.
SECOND FLOOR	1,515 SQ.FT.		1,515 SQ.FT.
HOUSE COVERED DECKS	584 SQ.FT.		584 SQ.FT.
DETACHED GARAGE	558 SQ.FT.	720 SQ.FT.	550 SQ.FT.
GARAGE COVERED PORCH	183 SQ.FT.		0 SQ.FT.
DRIVEWAY/WALKS/RAMP/STEPS	1,616 SQ.FT.		1,616 SQ.FT.
<b>FLOOR AREA RATIO (FAR)</b>	3,443 SQ.FT.	3,920 SQ.FT.	3,443 SQ.FT.
<b>BUILDING LOT COVERAGE</b>	3,253 SQ.FT. 37.3%	3,049 SQ.FT. 35%	3,062 SQ.FT. 35.1%
<b>IMPERVIOUS SURFACE COVER.</b>	4,869 SQ.FT. 55.9%	4,356 SQ.FT. 50%	4,678 SQ.FT. 53.7%
<b>GARAGE HEIGHT</b>	12 FT.	15 FT.	19.5 FT.



1895-B Rohlwing Rd.  
Rolling Meadows,  
Illinois 60008  
847-704-3200  
IL Design Firm  
#184.001489  
Expires: 4/30/2027

NEW DETACHED GARAGE FOR  
**THE D'AGOSTA-HOLLAND RESIDENCE**  
511 W. WING ST.  
ARLINGTON HEIGHTS, ILLINOIS 60005

Date	Description
9/5/25	ZONING

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Project Number  
25015

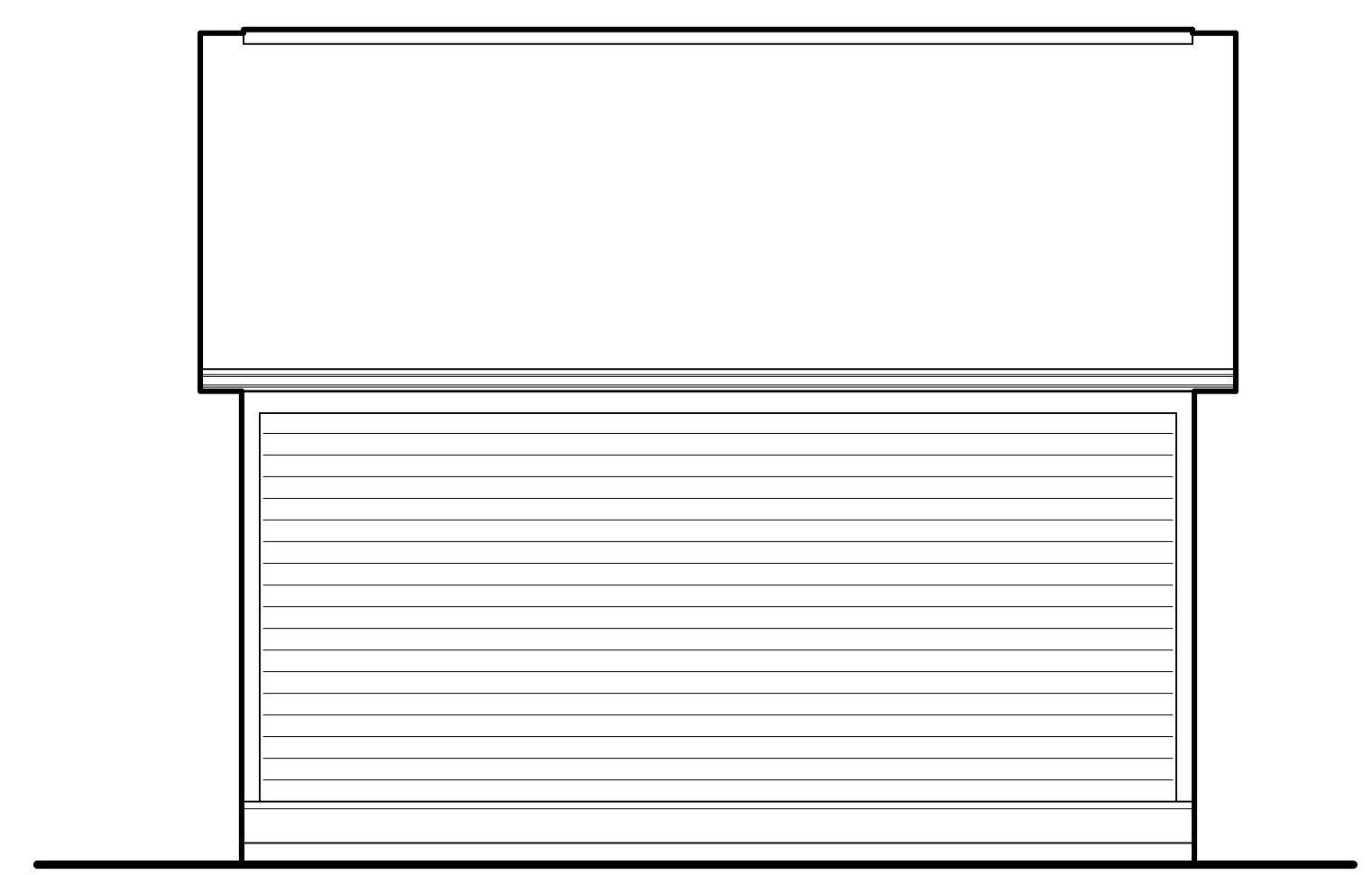
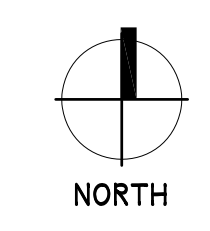
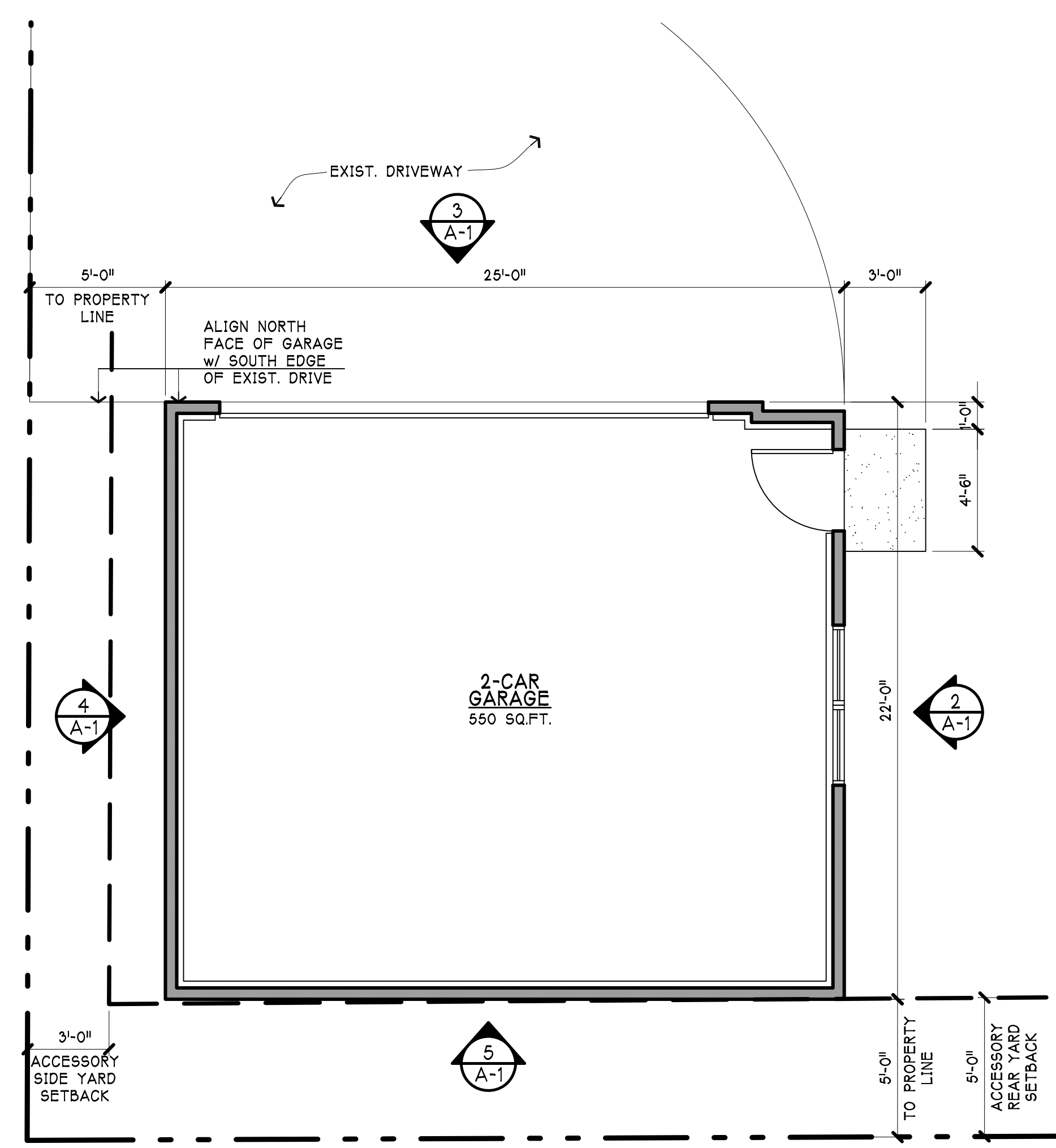
**A-0**

NEW DETACHED GARAGE FOR  
**THE DAGOSTA-HOLLAND RESIDENCE**  
 511 W. WING ST.  
 ARLINGTON HEIGHTS, ILLINOIS 60005

Date	Description
9/5/25	ZONING

© 2025 R.F.A. LTD.  
 Project Number  
 25015

**A-1**

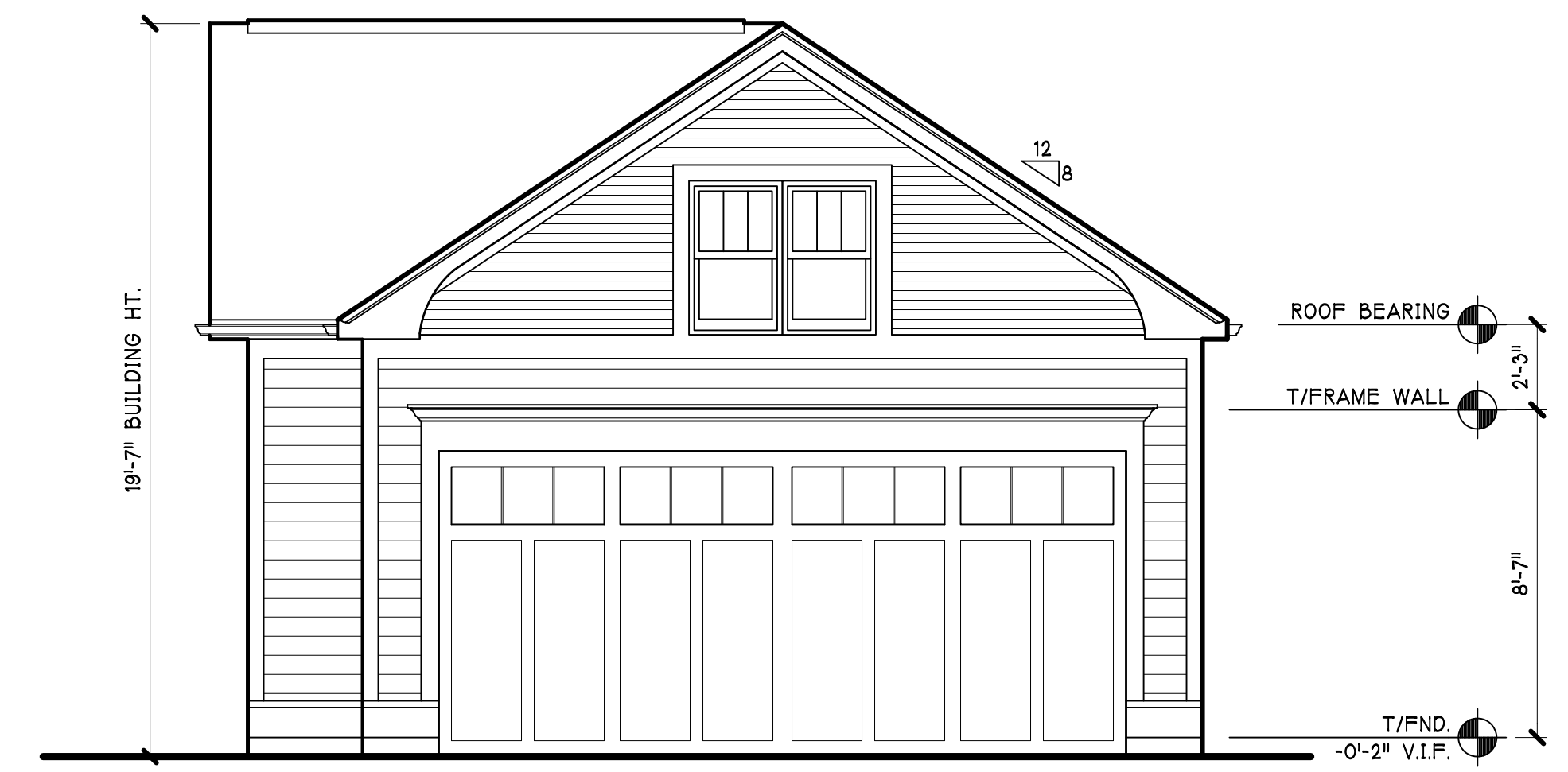
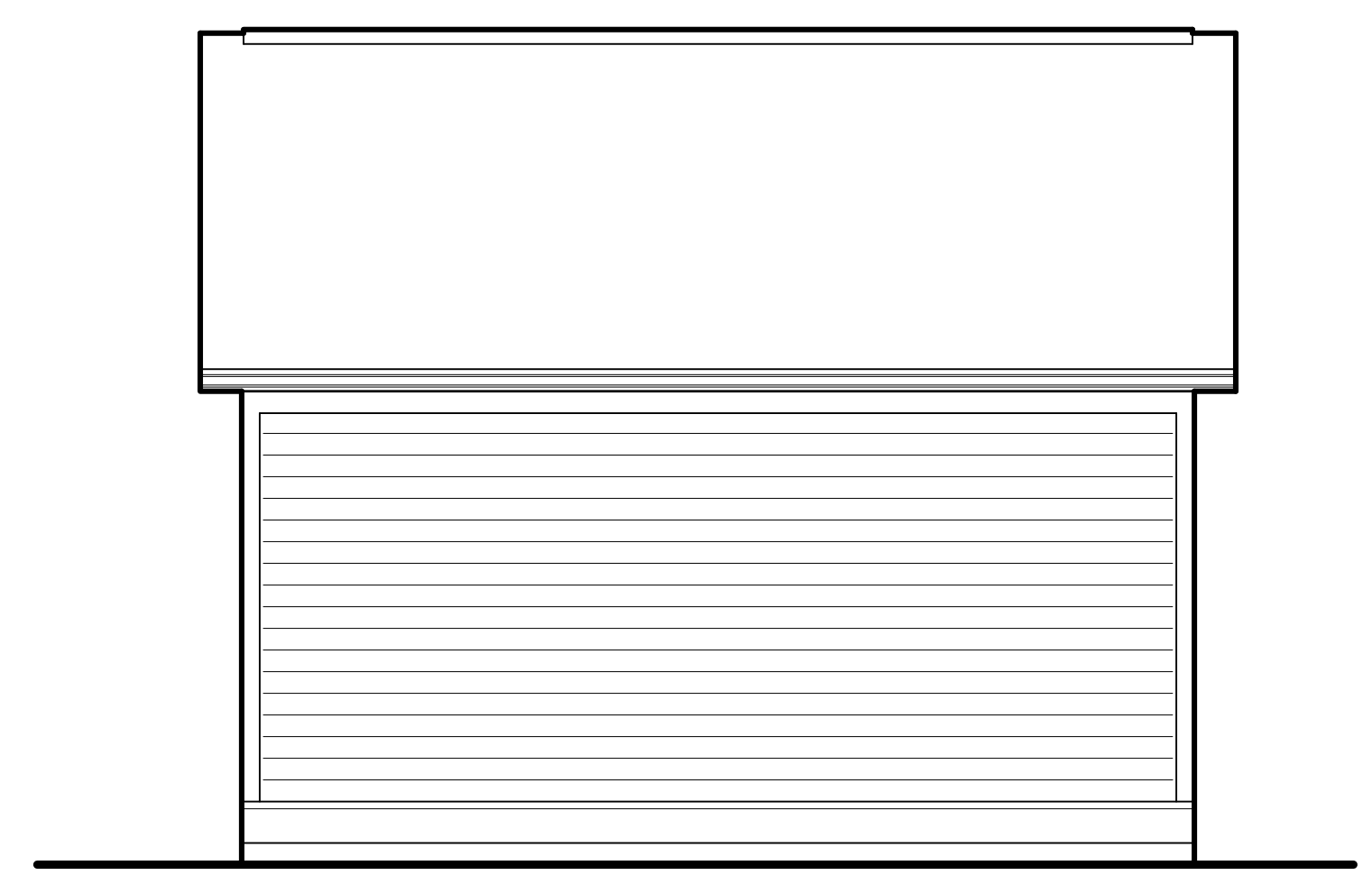
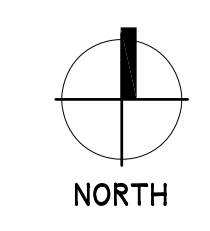
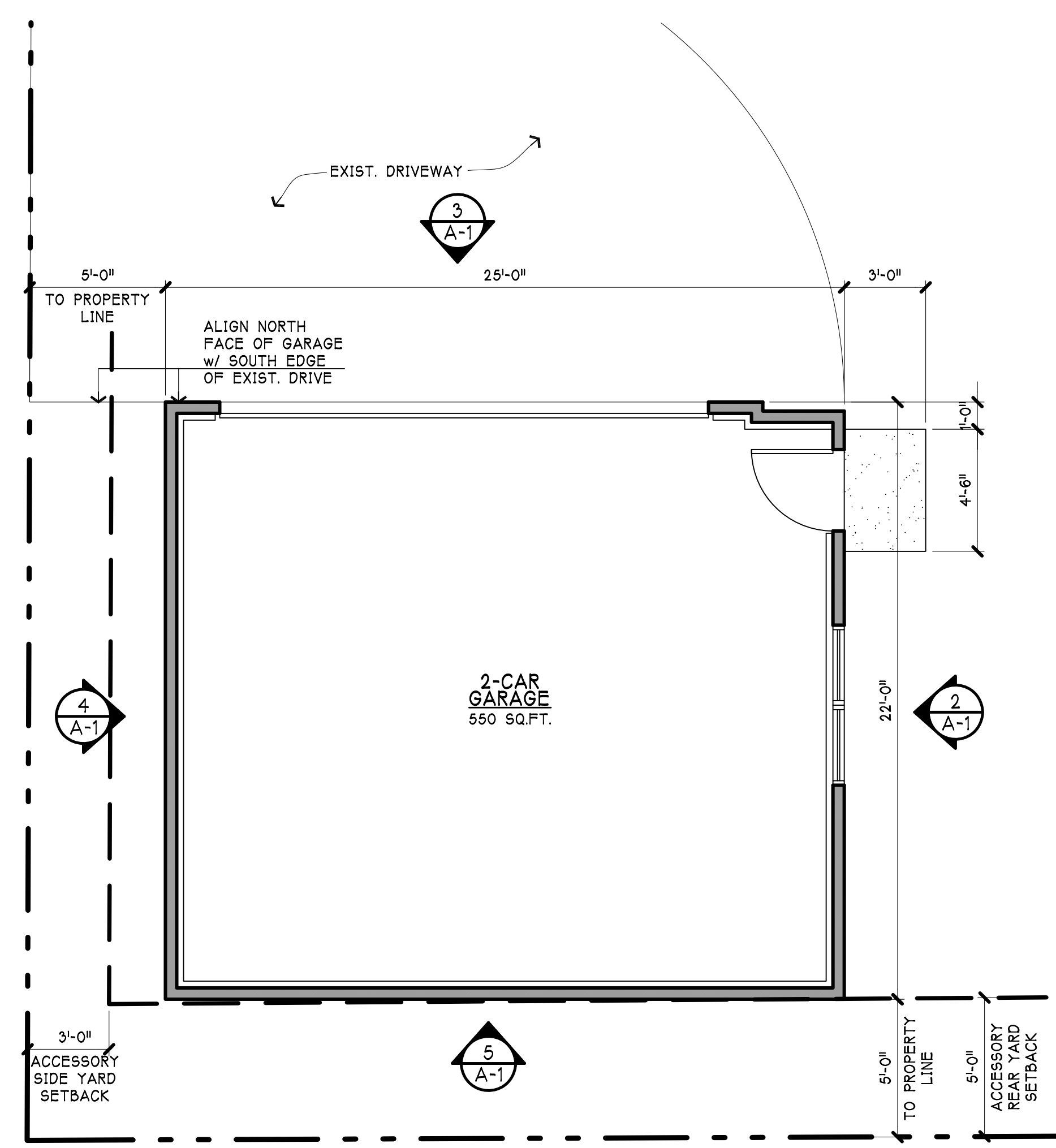


NEW DETACHED GARAGE FOR  
**THE DAGOSTA-HOLLAND RESIDENCE**  
 511 W. WING ST.  
 ARLINGTON HEIGHTS, ILLINOIS 60005

Date	Description
9/5/25	ZONING

© 2025 R.F.A. LTD.  
 Project Number  
 25015

**A-1**





VILLAGE OF  
ARLINGTON HEIGHTS  
INC. 1887

**Zoning Board of Appeals  
10/6/2025**

**Item:** 631 N. Kaspar Ave. - ZBA25-036  
**Department:** Planning & Community Development

**Item Description:**

**REQUEST**

A 2-foot variation from Chapter 28, Section 10.2-11.1(b) to allow a driveway width of 24-feet where the maximum driveway width is 22-feet for two-car garages.

**ATTACHMENTS:**

1. ZBA packet\_631 N Kaspar Ave

## ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

---

### Staff Analysis

Prepared By: Dan Osoba, Planner  
Hearing Date: October 6, 2025  
Date Prepared: October 1, 2025  
Project Title: Incopero Residence  
Address: 631 N. Kaspar Ave.

#### Background Information

Petition Number: ZBA #25-036  
Petitioner: Tony Scaravalle – Scaravalle Co.  
Address: 555 Exchange Ct.  
Wheeling IL 60090

Existing Zoning: R-3 – Residential Single-Family District

#### Requested Action/Background Information

The petitioner is proposing to expand the existing driveway to a total width of 24-feet wide at the garage. The proposed driveway will taper down to 22-feet at the sidewalk to match the proposed 22-foot-wide apron on Kaspar Avenue. The maximum driveway width for two-car garages is 22-feet. Therefore, the petitioner is requesting the following variations:

- A 2-foot variation from Chapter 28, Section 10.2-11.1(b) to allow a driveway width of 24-feet where the maximum driveway width is 22-feet for two-car garages.

#### Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/19/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/19/25	
3. Letter that was Mailed	✓	9/19/25	
4. Photographs of Sign on Property	✓	9/19/25	

Photographs of Existing Structure



# Village of Arlington Heights



---

**To:** Tony Scaravalle  
**From:** Dan Osoba  
**Department:** Department of Planning and Community Development  
**File Number:** ZBA 25-035  
**Project:** 631 N. Kaspar Avenue  
**Date:** October 2, 2025

---

## **ZONING COMMENTS:**

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 2-foot variation from Chapter 28, Section 10.2-11.1(b) to allow a driveway width of 24-feet where the maximum driveway width is 22-feet for two-car garages.

If you have any questions, please contact [dosoba@vah.com](mailto:dosoba@vah.com):

### **Planning and Community Development**

1. In general, excessive paving in the front yard is discouraged. However, it is less of a concern in this unique location and minimal variation.

### **Building and Life Safety**

1. No comments.

### **Engineering**

1. No comments.

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that a public hearing will be held on Monday, October 6, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 2-foot variation from Chapter 28, Section 10.2-11.1(b) to allow a driveway width of 24-feet where the maximum driveway width is 22-feet for two-car garages.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or [planning-mail@vab.com](mailto:planning-mail@vab.com).

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT 21 IN BLOCK 19 IN R.A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST 1/2 (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST 1/4 AND THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF THE NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF CHICAGO AND NORTHWESTERN RAILROAD RIGHT OF WAY, IN COOK COUNTY, ILLINOIS.

Commonly known as: 631 N. Kaspar Avenue, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or [healthmail@vab.com](mailto:healthmail@vab.com).

Benjamin Jaffe, Chair  
Zoning Board of Appeals  
Published in Daily Herald Sept. 20, 2025 (305805)

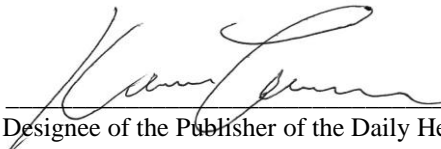
**CERTIFICATE OF PUBLICATION**

**Paddock Publications, Inc.**

**Northwest Suburbs  
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 09/20/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY   
Designee of the Publisher of the Daily Herald

Control # 305805



# PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

## PETITION

NOW COMES the Petitioner DEBRA INCOPERO  
being the owner of the property commonly know as: 631 N. KASPAR AVE  
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a  
Variation from Section \_\_\_\_\_  
Chapter 28, of the Arlington Heights Municipal Code, in order to: WIDEN SECTION  
OF DRIVEWAY TO 24' FROM 22'

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): THE VARIANCE (IF APPROVED) WOULD NOT AFFECT ANY NEIGHBORS, DUE TO THE FACT THAT THE ADJOINING PROPERTY IS THE VILLAGE ALLEY.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): AT TIMES COULD BE DANGEROUS JOCKEYING CARS DUE TO THE CLOSE PROXIMITY TO NORTHWEST HWY, THEREFORE HAVING A PARKING AREA WOULD HELP

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): IT IS SOLEY TO BE ABLE TO PARK A VEHICLE

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): PARKING OF A VEHICLE AND NO NEED TO MOVE CARS TO EXIT THE DRIVEWAY W/ THE DANGER OF BEING CLOSE TO NORTHWEST HWY

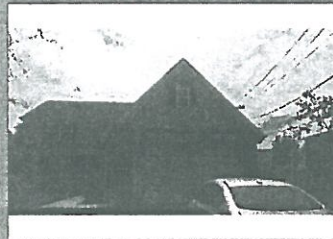
Signed: \_\_\_\_\_

Petitioner

Date: 09-11-2025

# EXACTA

LAND SURVEYORS, LLC



PROPERTY ADDRESS: 631 N KASPAR AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004

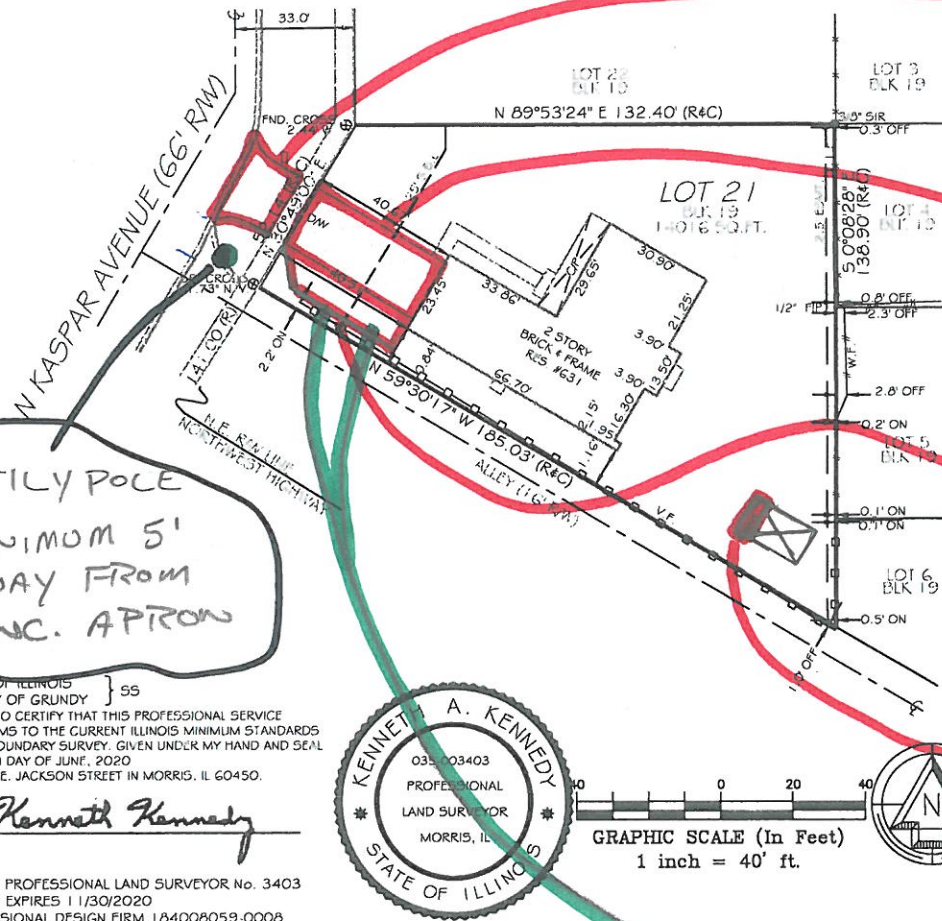
SURVEY NUMBER: 2006.2274

FIELD WORK DATE: 6/11/2020

REVISION DATE(S): (REV 0 6/11/2020)

2006.2274  
BOUNDARY SURVEY  
COOK COUNTY

LOT 21 IN BLOCK 19 IN R. A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST 1/2 (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST 1/4 AND THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF THE NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF CHICAGO AND NORTHWESTERN RAILROAD RIGHT OF WAY, IN COOK COUNTY, ILLINOIS.



STATE OF ILLINOIS } 55  
COUNTY OF GRUNDY }  
THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, GIVEN UNDER MY HAND AND SEAL THIS 9TH DAY OF JUNE, 2020  
AT 316 E. JACKSON STREET IN MORRIS, IL 60450.

*Kenneth Kennedy*

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403  
LICENSE EXPIRES 11/30/2020  
PROFESSIONAL DESIGN FIRM 184008059-0008



GRAPHIC SCALE (In Feet)  
1 inch = 40' ft.

R+R DRIVEWAY APRON, WIDEN TO 22' AT PUBLIC WALK.

R+R DRIVEWAY TO PUBLIC WALK WIDEN DRIVE TO 22'

EXTEND DRIVE 29' X 41' TAPER TO 22' AT PUBLIC WALK.

FORM & POUR NEW 10' X 6' PAD IN FRONT OF EXISTING SHED PAD.

DRIVE TO BE 24' WIDE FROM GARAGE, 30' OUT TOWARDS STREET, THEN TAPER BACK TO 22' AT PUBLIC WALK

THE ABOVE SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE NUMBER IN THE BOTTOM RIGHT CORNER.

POINTS OF INTEREST  
NONE VISIBLE

CLIENT NUMBER:

DATE: 06/11/20

BUYER:

SELLER:

CERTIFIED TO: .

Exacta Proudly Supports

**THE cara PROGRAM**

www.thecaraprogram.org

Since 1987, The Cara Program has provided a safe and secure environment for the most vulnerable children in our society. The Cara Program is a non-profit organization that provides a safe and secure environment for the most vulnerable children in our society.

**EXACTA LAND SURVEYORS, LLC**  
LBA# 184008059  
316 East Jackson Street, Morris, IL 60450  
P: 773.305.4011

Please remit payment to: 1500 West 3rd Street, MZ130 | Cleveland, OH 44113

This is page 1 of 2 and is not valid without all pages.