



AGENDA
ZONING BOARD OF APPEALS
Buechner Room, 1st Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
Arlington Heights IL 60005
November 10, 2025
7:00 PM

- I. CALL TO ORDER
- II. ROLL CALL OF MEMBERS
- III. APPROVAL OF MINUTES
 - A. ZBA Minutes - 10/6/25
 - B. 832 N. Forrest Ave. - Findings 10/6/25
 - C. 848 S. Belmont Ave. - Findings 10/6/25
 - D. 4124 N. Walnut Ave. - Findings 10/6/25
 - E. 511 W. Wing St. - Findings 10/6/25
- IV. OLD BUSINESS
- V. NEW BUSINESS
 - A. 1935 N. Maple Ln. - ZBA25-037
 - B. 905 N. Mitchell Ave. - ZBA25-038
 - C. 6 S. Windsor Dr. - ZBA25-040
 - D. 234 S. Dunton Ave. - ZBA25-041
 - E. 831 S. Dryden Pl. - ZBA25-042
- VI. OTHER BUSINESS
- VII. PUBLIC COMMENT

Anyone wishing to speak on a subject not on the Agenda may speak at this time. Please limit your comments to three minutes.

- VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact the Health &

*Human Services Department, at 33 S. Arlington Heights Road, Arlington Heights, IL 60005,
healthmail@vah.com or 847/368-5760.*

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 832 NORTH FORREST AVENUE - ZBA #25-031

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 6th day of October, 2025 at the hour of
7:00 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman
TOM DRAKE
PETER SIAVELIS
MICHAEL O'CONNOR
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: All right, it's 7:00 o'clock, so if you're on time or you're late, let's call this meeting to order, the Arlington Heights Zoning Board of Appeals, October 6, 2025.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Here.

MR. OSOBA: Mr. Selbka.

(No response.)

MR. OSOBA: Mr. O'Connor.

(No response.)

MR. OSOBA: Mr. Lanaghan.

(No response.)

MR. OSOBA: Mr. Siavelis.

COMMISSIONER SIAVELIS: Here.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Here.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Here.

Please join me in reciting the Pledge of Allegiance.

(Pledge of Allegiance recited.)

CHAIRPERSON JAFFE: Have the record state that Board Member O'Connor has arrived.

Okay, last month's minutes, has everyone had an opportunity to review last month's minutes, and are there any changes or discrepancies that anybody found?

(No response.)

CHAIRPERSON JAFFE: None being heard, is there a motion to approve?

COMMISSIONER O'CONNOR: Motion to approve.

COMMISSIONER PORTERA: Second.

CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: Okay, so folks, I'm going to go over the hearing procedures and then we'll get on to new business.

So, first, quorum and voting. If less than six members are present, option to petitioner is to continue the meeting. It takes four affirmative votes to approve a variance regardless of the number of Board members in attendance. If denied, a petitioner cannot reapply for a whole year. So, tonight we have five, which means you have to go four for five. So, again, if you'd like to option to continue the meeting, please let us know when we call your agenda item forward.

The variation hardship. So, you all had to fill out those forms as part of this process. We had an opportunity to review those, but the purpose of this evening is for you to explain why you're seeking this variance. Remember, this is basically an exception.

So, the four elements necessary to establish the order for this Board to grant a variation are as follows:

1. That the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances which may include the length of time the subject property has been vacant as zoned;
3. That the proposed variation is in harmony with the spirit and intent of this chapter; and
4. That the variation requested is the minimum variation necessary to allow reasonable use of the property.

A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated. So, again, the onus is on you. We need you to explain all four reasons why. We will ask you questions, but be brief, be specific, and make sure that you provide the appropriate justification.

As far as the order of operations, the Chairperson will open each agenda item and provide introductory remarks. The Staff presentation will follow with a brief overview of the project and the variance request. At that point, you, the applicant, will present your case in favor of the zoning relief. As a reminder, you and any witnesses must be testifying and sworn under oath, and state your address.

Public comment. Members of the public may speak on the application. Speakers must be sworn under oath and state and spell their name clearly. Anyone who has formally registered in advance of the hearing as an objector should be permitted to speak first. Objectors must complete a form to be provided by the Department of Community Development and submit it to the Director of Community Development no later than 4:30 p.m. five days before the scheduled date of the hearing.

We do not have any registered objectors this evening, correct?

MR. OSOBA: We do not.

CHAIRPERSON JAFFE: Okay, so that being the case, as part of this, you will be afforded the opportunity and the public to comment on each of the, on any of the variances, but again, if you comment on a variance, I'm asking that you comment on the variance. There is a separate agenda item at the end of the evening for public comment, so if you want to talk about the Village, if you want to talk about the Chicago Bears, that's your opportunity to do so. If you comment during the variances, I need your comments to be specific on that variance.

So, finally, after any public comments are made, the applicant may make a closing statement and may present any follow-up testimony or evidence. The applicant will then rest their case. The Board will then deliberate. We will make a motion to close public testimony. We will deliberate and vote on the matter.

All ZBA final decisions must be in writing. If the agenda packet does not include a draft final order that is acceptable to the ZBA, the substantive motion should be to direct Staff to prepare an appropriate final order for approval at a subsequent meeting.

Okay, and then just another quick piece of housekeeping, Agenda Item E, echo, 631 North Kaspar Avenue will be pushed out to the November meeting.

So, we can now begin with new business, Agenda Item A, 832 North Forrest Avenue, ZBA Case #25-031.

MR. KRONER: Hi, my name is Brett Kroner, this is Stefanie Monaco. We're the purchaser of 832 North Forrest Avenue. Our intent is just to extend the rear portion of

the garage.

CHAIRPERSON JAFFE: All right, so I'm going to swear you in.

MR. KRONER: Oh, sorry.

CHAIRPERSON JAFFE: It's okay. So, have you both signed in?

MR. KRONER: Yes.

MS. MONACO: Yes.

CHAIRPERSON JAFFE: Okay, so could you both state your name and address for the record?

MS. MONACO: Stefanie Monaco, 832 North Forrest.

MR. KRONER: Brett Kroner, 832 North Forrest.

(Witnesses sworn.)

MR. BOJIN: Thank you.

The property is zoned R-3 Residential Single-Family, and has a total land area of approximately 29,700 square feet. The Petitioner is proposing to construct a second-story addition. The addition is proposed to match the existing 5.86 feet setback where a 10-foot side yard setback is required. The addition was reviewed by the Design Commission on May 13th of this year and received approval with a condition that the Zoning Board of Appeals review and approve the required variation.

Therefore, the Petitioner is requesting the following variation:

- A 4.14-foot variation from Chapter 28, Section 5.1-0.3(b) to allow a second-story addition with a side yard setback of 5.86 feet where the minimum side setback of 10 feet is required, and an additional nine inches for the eave.

Thank you.

MR. KRONER: So, it's the rear portion of the garage. The original garage, while it's staying in place, it's a continuation instead of a jog wall of 4.14 feet. We're building an office, my office on the second story, so the goal would be to maximize our square footage there without altering the outside of the house.

CHAIRPERSON JAFFE: Do you want to take it away, Mike?

COMMISSIONER O'CONNOR: So, I'm sorry, it's on the south? Is it the south?

MR. KRONER: To make sure, let me place it there.

COMMISSIONER O'CONNOR: Yes, okay, yes.

MR. KRONER: So, this is the addition to the garage. This is the original garage.

COMMISSIONER O'CONNOR: Right.

MR. KRONER: We're building an addition to it. The wall we're talking about would need to be jogged in for 4.14 feet here to go straight up, and we would simply have the wall go straight up and then go back without a jog. It has no visibility from the street. It's just the rear portion of the garage, which my office would be back here.

COMMISSIONER O'CONNOR: Okay, on the second story?

MR. KRONER: Yes, sir.

COMMISSIONER O'CONNOR: So, it's going up the garage or going up on the --

MR. KRONER: Actually, it won't be any higher than the existing garage goes, but there's room above it so we're kind of building it to the peak, but we're extending it, you know, behind the house.

COMMISSIONER O'CONNOR: Okay, so you're going from the office above your garage or behind the garage?

MR. KRONER: On top.

COMMISSIONER O'CONNOR: On top of the garage you're saying.

MR. KRONER: Yes, sir.

COMMISSIONER O'CONNOR: And, currently, it's just a roof, just an attic for the garage?

MR. KRONER: Correct.

COMMISSIONER O'CONNOR: Okay, and so to do that, you want to go straight up?

MR. KRONER: Yes.

COMMISSIONER O'CONNOR: Which I get that, I understand that. I had the same variance years ago. Going back, you want to keep that same sight line on --

MR. KRONER: Exactly, the same as the current --

COMMISSIONER O'CONNOR: Okay, and if you were to come in to meet the 10 feet, did you look into that and what that might impact for your project?

MR. KRONER: We did. So, based on the way the stairwell, there's going to be a stairwell inside the garage to get up to that second story, it doesn't actually go into the main house. So, if you put the stairwell in, we lose a lot of garage space in turn and we don't get that four feet. So, it just helps.

COMMISSIONER O'CONNOR: Understood, yes. So, that would cause a hardship there, understood.

Can I ask how many people live in the house?

MR. KRONER: It would be five. Well, two are in college, but it would be five total. Us two, a child, and then two in college.

COMMISSIONER O'CONNOR: Yes, okay, and so this office is going, or is this office addition going to the back as well?

MR. KRONER: That's right.

COMMISSIONER O'CONNOR: Is there any issues, any concerns or comments from any of your neighbors, either on the south side --

MR. KRONER: No, the only neighbor that actually applies with visibility of this, we met with them. We showed them the backyard and they didn't seem to have any concern about it.

COMMISSIONER O'CONNOR: Okay, I don't have any other questions.

CHAIRPERSON JAFFE: Guys, do you have questions?

(No response.)

CHAIRPERSON JAFFE: All right, so we'll see if there's anybody in the audience that wishes to comment. If they do, then you'll have the opportunity to come back and respond; otherwise, we'll close it down to deliberations.

MR. KRONER: Do we stay here?

CHAIRPERSON JAFFE: No, you can sit down.

MR. KRONER: Okay.

MS. MONACO: Thank you.

CHAIRPERSON JAFFE: Thank you.

Is there anyone present who wishes to comment on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, none being heard, we'll close it down for Board deliberation.

You want to take this out, Mike?

COMMISSIONER O'CONNOR: Yes, I think it's pretty straight-forward given that it's an existing condition that they want to build up from going off the back, because it would limit their ability to use that space, you know, I'm supportive of this.

COMMISSIONER SIAVELIS: Yes, I think the other thing that's important to note is that on that neighbor to the adjacent south, right, on their shared property line, they have a lengthy garage, or sorry, a driveway there, right? So, it's not like there is going to be an adjoining structure on the southern side of that property line that, you know, could be affected by that. That driveway that your neighbor has is pretty significant.

MR. KRONER: Yes.

COMMISSIONER SIAVELIS: Your new neighbor I think it's going to be, right, since you're moving there. So, I think that falls in favor of supporting their petition as there is no neighbor proximate to that property line as far as the structure is concerned at their home. This is a large driveway, and they're not here to complain. So, I'm supportive. That's that.

CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER O'CONNOR: Motion to approve.

COMMISSIONER SIAVELIS: I'll second.

MR. BOJIN: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. BOJIN: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. BOJIN: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. BOJIN: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. BOJIN: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations, your variance has been approved.

MR. KRONER: We can leave?

CHAIRPERSON JAFFE: Absolutely. Hey, can you do me a favor? Can you close the door because there's a lot of background noise out there. Thank you.

MR. KRONER: Thank you.

MS. MONACO: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:12 p.m.)

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 848 SOUTH BELMONT AVENUE - ZBA #25-032

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 6th day of October, 2025 at the hour of
7:12 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman
TOM DRAKE
PETER SIAVELIS
MICHAEL O'CONNOR
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: All right, next up, Agenda Item B, 848 South Belmont Avenue, ZBA Case #25-032.

Hi.

MR. DEMSKY: Hello.

CHAIRPERSON JAFFE: Hi.

MS. MCALOON: Hi.

CHAIRPERSON JAFFE: Would you both state your name and addresses for the record?

MS. MCALOON: Charisse McAloon, 848 South Belmont, Arlington Heights.

MR. DEMSKY: Mark Demsky, 113 Dartmouth Court in Glenview. I'm the architect.

CHAIRPERSON JAFFE: Can you both raise your right hand?

(Witnesses sworn.)

CHAIRPERSON JAFFE: Thank you.

MR. BOJIN: The property is zoned R-3 Residential Single-Family, and has a total land area of approximately 24,725 square feet. The Petitioner is proposing to construct a cabana, which is considered a pool appurtenance in the Zoning Code, in the rear and side yard. This cabana will have a 6.3-foot side yard setback where an eight-foot setback is required. Additionally, the structure will have a 620 square-foot area where the maximum size of an accessory structure per code is 300 square feet.

Therefore, the Petitioner is requesting the following variations:

- A 320 square-foot variation from Chapter 28, Section 6.5-7(b) to allow an accessory structure to be 620 square feet in size where the maximum size 300 square feet is required; and
- A 1.7-foot variation from Chapter 28, Section 6.6-5.1 to allow a pool appurtenance to be located 6.3 feet from the north side property line where eight feet is required.

Thank you.

CHAIRPERSON JAFFE: Go ahead.

MR. DEMSKY: Thank you. So, on the property, there is an existing nonconforming cabana that is in the rear. So, this building, although the roof is larger, it sits in the same setback from the north property line and starts at the same eastern point that it starts now. So, the actual building part of it has been reduced from what is there. It's the roof that is really the square footage.

So, Charisse had contacted me about redesigning the building that is deteriorating that's in the backyard now and wanted more shade due to a medical condition that she has. So, we've looked at increasing the shade area by increasing the roof, but again, we've reduced the building footprint itself.

The pool will eventually get replaced, so to move the structure to the south in order to meet the minimum setback, it starts to overlap the corner of the house and starts to push the pool further toward the setback line to the south. It is completely shielded from the street. It's also acting as a screen; the neighbors have a pool and a cabana just on the other side of the fence. So, we're using this to kind of block the views, too, into the McAloons' backyard.

We did speak with the neighbors.

MS. MCALOON: Yes, I spoke with everyone. They're in favor of it. We have been a resident of Arlington Heights since 2018. We inherited kind of the existing

cabana and pool which is what we are guarding right now kind of dangerous. It's like a hybrid pool; it's been around like 40 years where the bottom is concrete and the sides are fiberglass. There's a spring diving board and it goes down about 12 feet. So, it's hard --

COMMISSIONER SIAVELIS: Hold on, your pool depth is 12 feet?

MS. MCALOON: It's probably like 40 years old, yes. The pool is like 40 years old --

MR. DEMSKY: It's getting replaced.

MS. MCALOON: -- and it's getting replaced. We've done all kind of, the cabana we had painted to try to keep up the appearance for our neighbors, but you can literally take a pen and like poke it through the hole of the roof. It's all warped, so it's like really deteriorating and it's coming down.

So, we are taking this time to kind of do the pool, the cabana, all at once to kind of improve everything. I was diagnosed with this rare autoimmune skin condition called pustulosis where I'm allergic to the sun. It's a whole, if you guys want pictures --

COMMISSIONER SIAVELIS: That's okay, we're good with that.

MS. MCALOON: So, I would prefer a lot of shade. That's why we're asking for the, the structure itself does not have like physical walls, like that meaning physical walls. I don't want it to be a large structure. I have a really great ranch and I love the fact that we have a lot of green space and it's really open, and I'm really trying to keep it that way and try to blend it in with kind of the landscaping. So, it's minimal, the actual walls are minimal, but the roof does extend for shade for myself.

COMMISSIONER SIAVELIS: And you said you did talk to the neighbor to the north?

MS. MCALOON: Yes, they were actually kind of pleased because it's an eyesore. I mean, you only see like, when you have a six-foot fence and you only see probably like the top three feet of it, I mean, it's not like this obscene structure. Again, I have a ranch, so I don't want it to be a house that's like, I don't want to add on to my house. I don't want to go up with my house.

I love my house. I just want something that complements it. My house is really old so we can't find the brick anymore or anything like that. So, ideally, the structure will be, if I can find the right person, it's board-formed concrete, so the back wall is actually concrete that has the wood pressed against it so it looks like it's part of the wood. So, I want it to look like it's fading away and let all the landscape in and not obtrusive.

COMMISSIONER SIAVELIS: Yes, and the neighbor to your north has a pretty large structure, their house is pretty large. I live in your neighborhood and I didn't even know you had that cabana, I guess if that's what you want to call it. It's not visible.

MS. MCALOON: I like it that way. I don't want it to be like a screening thing.

MR. DEMSKY: I think the neighbor, what, three or four to the north built a large cabana last year.

MS. MCALOON: Four houses down, they built like a pool house which I think is as big or bigger but it's actually got a roof line and a chimney and its bathroom, it's got like a whole big thing. I don't want that; I just want something to have shade.

MR. DEMSKY: It's more of a building than a pavilion.

COMMISSIONER SIAVELIS: Yes, in that part of Scarsdale, there's a lot of

houses with pools, too, so this is a pretty common feature, right?

MS. MCALOON: Yes.

COMMISSIONER SIAVELIS: There's no doubt about that. So, how many people live in this house, in your house?

MS. MCALOON: Four.

COMMISSIONER SIAVELIS: Four, okay. Okay, and you guys moved there in '18?

MS. MCALOON: 2018, yes. So, we kind of inherited it. We kind of slowly down a lot, like with the landscaping and the driveway. We did a lot with the landscaping. We kind of saved the back knowing that it was going to be an investment. We've kind of been waiting just to kind of do it all and not piecemeal it together.

COMMISSIONER SIAVELIS: So, you're doing the pool at the same time?

MS. MCALOON: So, the pool, yes, the pool will have to be done because the pavers, again, you can kind of see how the project is kind of multiplying, the pavers are being lifted up from the ground all around the pool and they have to be replaced. So, I can't, I had lots of people come out, and they can't replace the pavers because the walls are fiberglass, and the pounding on the pavers will compromise the fiberglass walls that are part of the pool. So, we've kind of let everything kind of, you know, get dilapidated to kind of just do it all if that makes sense.

COMMISSIONER SIAVELIS: Right, it makes sense, yes. I don't have any other questions. I don't know if one of you --

COMMISSIONER DRAKE: I wonder if you saw the comment that the Planning Department made. Have you had a chance to see that?

MR. DEMSKY: Which comment was that?

COMMISSIONER DRAKE: Well, the comment has to do, a compliment on the design being very nice, but the colors and the cohesiveness of how it matched up with the house not being quite so much. Then on the other end, they went on to say because it's covered, no one is really going to see what's back there.

MR. DEMSKY: Right.

COMMISSIONER DRAKE: It's sort of a -- you might want to check that comment out.

MR. DEMSKY: Yes. Yes, I get that. It's a different experience with the pool and, you know, the eave line and everything matches. So, proportionally, it's complementary to the house but we wouldn't want to duplicate, you know, the ranch house, you know, next to the pool.

MS. MCALOON: And I would agree. I think that drawing, it's hard to envision kind of like the board-formed concrete. It's a material that's not very common. It's kind of like, meant to look like a wooden fence, so it's hard to draw that in the drawing and it kind of probably looks a little bit more than it should. It's going to be very subtle and not just a screen.

CHAIRPERSON JAFFE: The comments are on the --

COMMISSIONER DRAKE: I like what I saw. I'm just passing the comment along so that you're aware of it.

MS. MCALOON: Yes, I know, thank you.

CHAIRPERSON JAFFE: We put it on Jumbotron if you want to read it, but Tom summarized it.

MS. MCALOON: Do we know like who that was, if I addressed that with them? Are they anonymous or like should I --

CHAIRPERSON JAFFE: No, it's not anonymous. It's from one of the Building Department.

MS. MCALOON: Oh, okay.

CHAIRPERSON JAFFE: So, if this is approved, we would probably just encourage that you, you know, tie up the --

MS. MCALOON: Oh, yes, most certainly. Yes, okay, certainly.

CHAIRPERSON JAFFE: Any other questions from the Board?

(No response.)

CHAIRPERSON JAFFE: Okay, you can have a seat.

MS. MCALOON: Thank you.

CHAIRPERSON JAFFE: We'll see if there's anybody in the audience that wants to talk.

Is there anybody present who wishes to comment on this variance?

(No response.)

CHAIRPERSON JAFFE: Okay, we can close it down for deliberation.

Peter?

COMMISSIONER SIAVELIS: Yes, I mean, I'm glad we got that explanation from both the architect and the homeowner because this was a little bit funky when you look at the images and all that, but it makes sense to me. I understand why there's a need for it. I don't think I've ever heard of fiberglass walls in a pool, an in-ground pool. That's a new one. I understand what you're trying to accomplish in view of the homeowner's medical condition.

So, I can get in support of this, and both of this, especially since the neighbor to the north is supportive it appears with no objection. There is no southern neighbor, and there's pools throughout this part of Scarsdale. So, I'm good with this.

CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER SIAVELIS: I'll move.

COMMISSIONER DRAKE: Second.

MR. BOJIN: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. BOJIN: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. BOJIN: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. BOJIN: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. BOJIN: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

All right, congratulations!

MR. DEMSKY: Thank you.

MS. MCALOON: Thank you.

CHAIRPERSON JAFFE: You're welcome.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:23 p.m.)

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 4124 NORTH WALNUT AVENUE - ZBA #25-033

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 6th day of October, 2025 at the hour of
7:23 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman
TOM DRAKE
PETER SIAVELIS
MICHAEL O'CONNOR
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: Okay, next, Agenda Item C, 4124 North Walnut Avenue, ZBA Case #25-033.

Hi.

MR. ZABA: Hi.

CHAIRPERSON JAFFE: State your name and address.

MR. ZABA: I'm Matt Zaba; I'm the owner of 4124 North Walnut.

(Witness sworn.)

CHAIRPERSON JAFFE: Thank you.

MR. OSOBA: The property 4124 North Walnut Avenue is zoned R-3 Residential Single-Family District. The Petitioner is proposing a nine-foot tall pergola above an existing patio in the rear of the property. The proposed pergola is set back 21 feet from the rear property line, and the structure is attached to the rear wall of the home and, therefore, must comply with the required 30-foot rear yard setback for the R-3 District.

Therefore, the Petitioner is requesting the following variation:

- A nine-foot variance from Chapter 28, Section 5.1-3.3(d) to allow an attached pergola to be constructed 21 feet from the rear property line where a 30-foot building setback is required.

CHAIRPERSON JAFFE: Go ahead.

MR. ZABA: So, I'm requesting a variance tonight to allow a small open-air pergola in our rear yard. The purpose is to create a shaded, usable outdoor area for privacy and for my family to enjoy. The pergola is an open-air structure; it's not enclosed and won't obstruct any views or impact our neighbors' privacy. There are other similar backyard features in our neighborhood, so we believe it will fit in well with the surrounding areas.

Because of the depth of our lot and the 30-foot rear setback requirement, there isn't enough space to add a structure without needing a variance. We've designed the pergola to maintain as much setback as possible while still making reasonable use of our property.

We believe this request is consistent with the intent of the Zoning Code. It's a small improvement. It enhances the property's functionality and appearance without altering the essential character of the neighborhood.

I've also talked to all my surrounding neighbors and they're in favor of a new improvement to the block.

CHAIRPERSON JAFFE: So, your last comment, so is that drawing I guess to scale so to speak?

MR. ZABA: Yes.

CHAIRPERSON JAFFE: I think you said that's the minimum amount of space you think that your family could use without getting larger?

MR. ZABA: Correct. Yes, exactly.

CHAIRPERSON JAFFE: Tom, did you have lead on this one, or no, right.

How long have you owned the property?

MR. ZABA: I bought the property in 2018.

CHAIRPERSON JAFFE: Okay, and how many people live in the house?

MR. ZABA: Five, and before this, for what it's worth, I know it's probably a different zoning, but I had an old deck back there that's exactly 21 feet. So, the rear of the pergola, the 21 feet, was my deck line.

CHAIRPERSON JAFFE: Okay, all right.

MR. ZABA: So, I know this might be a little bit different, but it's kind of the same use of that setback.

CHAIRPERSON JAFFE: Okay, and you said you spoke with the neighbors?

MR. ZABA: I did.

CHAIRPERSON JAFFE: And things were okay?

MR. ZABA: They loved it.

CHAIRPERSON JAFFE: Okay.

COMMISSIONER O'CONNOR: The patio is existing?

MR. ZABA: The patio is going in right now.

COMMISSIONER O'CONNOR: It's going in right now.

MR. ZABA: Correct, yes. We ripped out the old deck that's been there since the owner built the home previous to me, 40 years old, was deteriorating. We ripped it all out, we're getting a brick paver patio and this is being a complement to that.

COMMISSIONER DRAKE: Did you get a permit for the patio?

MR. ZABA: Yes.

COMMISSIONER DRAKE: Good.

CHAIRPERSON JAFFE: Wouldn't be the first time.

COMMISSIONER DRAKE: Just trying to help you.

MR. ZABA: We do, it's hanging in my window.

COMMISSIONER DRAKE: No, I believe you. They check that box.

CHAIRPERSON JAFFE: Any other questions from the Board?

COMMISSIONER SIAVELIS: No commentary from the neighbor behind you?

MR. ZABA: Straight across from me, yes, they walked over and they asked me questions.

COMMISSIONER SIAVELIS: So, I ask this because they'll be the ones to see it.

MR. ZABA: They will not because their side of the house, so how it's situated on Foxdale, they actually face Foxdale, so my neighbor does not directly see it. That's the side of their house, and there's maybe like one window that's on a bedroom from a college kid.

COMMISSIONER SIAVELIS: Oh, I see.

MR. ZABA: So, when they look out their backyard, it's looking, what's that, to the south, not back to me. So, actually, there's no neighbor that actually looks directly to me. I'm on a corner.

COMMISSIONER SIAVELIS: Yes, right. Right, right, right.

MR. ZABA: So, I don't have a neighbor that looks back into my backyard.

COMMISSIONER SIAVELIS: Okay, got you.

MR. ZABA: Yes.

CHAIRPERSON JAFFE: All right, well, I think we're good with the questions. So, if you can have a seat? We'll see if there's anybody who wishes to make a comment.

MR. ZABA: Thank you.

CHAIRPERSON JAFFE: Thank you.

Anybody present who wishes to comment on this variance, or petition

rather?

(No response.)

CHAIRPERSON JAFFE: Okay, we'll close it down for deliberation.

I think it's a pretty straight-forward request. I think that the property owner did a nice job walking through the four criteria, the reasoning, the logic. There isn't any neighbor push-back. It is not a standard shaped lot, so, you know, Peter, to your question, you know, from a sight line perspective, it seems inconsequential. So, I wouldn't have any concerns supporting this as presented.

COMMISSIONER DRAKE: I would agree with that. None of the three Staff Departments that make recommendations had any comments at all. So, that's good for the Petitioner.

CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER DRAKE: I move that we approve this petition as presented.

COMMISSIONER O'CONNOR: I second.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. OSOBA: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations!

MR. ZABA: Thank you.

CHAIRPERSON JAFFE: You're welcome.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:28 p.m.)

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 511 WEST WING STREET - ZBA #25-035

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 6th day of October, 2025 at the hour of
7:28 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman
TOM DRAKE
PETER SIAVELIS
MICHAEL O'CONNOR
FRANK PORTERA

ALSO PRESENT:

DANIEL OSOBA, Planner I
DARKO BOJIN, Assistant Planner

CHAIRPERSON JAFFE: All right, Agenda Item D, delta, 511 West Wing Street, ZBA Case #25-035.

MR. FLUBACKER: Good evening.

CHAIRPERSON JAFFE: Good evening. Will you both state your name and addresses for the record?

MR. HOLLAND: Bob Holland, 511 West Wing Street.

MR. FLUBACKER: Bob Flubacker, I'm the architect, Rolling Meadows.

(Witnesses sworn.)

CHAIRPERSON JAFFE: Okay, before we do the Staff report, can I just ask, no conversation in the seats. All of this is recorded, please. Thank you.

MR. OSOBA: The property at 511 West Wing Street is zoned R-3 Residential Single-Family District. A little bit of background on this one, on December 13, 2021, this property received approval from the Zoning Board of Appeals pursuant to Petition No. ZBA21-043 for a wraparound porch building addition that encroached into the front yard setback and increased the building lot coverage and impervious surface coverage over the maximum code allowances. With this current petition, the Petitioner is proposing to reduce that previously approved building lot coverage and impervious surface coverage. However, the proposed building lot coverage and the impervious surface coverage still exceed the code required minimums, or maximums, excuse me, and due to the site layout modifications, the Petitioner is requesting approval of variations to building lot coverage and impervious surface coverage that were previously approved under that different scope of work.

So, the scope of work in this current petition is to reconstruct a larger detached framed two-car garage with an area of 550 square feet and a roof height of 19.5 feet to replace an existing garage that was destroyed in a fire earlier this year. In addition to the garage reconstruction, the Petitioner is proposing to reconfigure the driveway which will remove existing concrete and impervious surface that surrounds the existing garage.

Therefore, the Petitioner is requesting the following variations:

- A 13 square-foot variation from Chapter 28, Section 5.1-3.5(a) to allow a building lot coverage area of 3,062 square feet instead of the permitted 3,049 square feet;
- A 322 square-foot variation from Chapter 28, Section 5.1-3.5(b) to allow an impervious coverage area of 4,678 square feet instead of the permitted 4,356 square feet; and
- A 4.5-foot variation from Chapter 28, Section 6.5-6 to allow an accessory structure height of 19.5 feet instead of the permitted 15 feet.

CHAIRPERSON JAFFE: Thank you.

Go ahead.

MR. FLUBACKER: Good evening. So, as explained, we're here because the garage burnt down. We're proposing to construct a new garage that's basically what the footprint of the existing two-car garage was, but the original garage also had a covered area about the size of a carport that was on the east side of the garage. We're eliminating that. For the storage of the stuff that was kept in that area, we're proposing a little storage in the attic above.

One of the reasons for the height, and we run into this often when we do detached garages as the demand is for eight-foot garage doors. For the eight-foot garage door and the mechanism above, we really need more than nine-foot to clear the

garage and put a floor on it. We are matching the roof pitch of the existing structure, and that's how we ended up with a height variation.

I did a little research, I apologize, I only have two sets of these pictures, but I kind of took the backyards between Wing and Campbell from Chestnut to Ridge and did a quick survey. These are three of the detached garages.

CHAIRPERSON JAFFE: You can just give one. One has to go on record; we'll just share this. Thanks, Bob.

MR. FLUBACKER: Three garages that currently are similar in height to what we're proposing. As mentioned, as a result of this, we have a reduced lot coverage and a reduced impervious surface on the property.

CHAIRPERSON JAFFE: When did the garage burn down?

MR. HOLLAND: In May.

CHAIRPERSON JAFFE: Okay, so for the last four or five months, no storage, no ability to park cars inside?

MR. HOLLAND: You got it, correct.

MR. FLUBACKER: It destroyed two cars over at the garage, too.

CHAIRPERSON JAFFE: What happened?

MR. HOLLAND: 11-year-olds.

CHAIRPERSON JAFFE: Anybody hurt?

MR. HOLLAND: Nobody hurt.

CHAIRPERSON JAFFE: Well, thank goodness for that. So, basically, the logic here is if the old garage had a carport, you want to still leverage the storage space that you had with that, only you want to go up instead of expanding the --

MR. FLUBACKER: But also we want to match the roof pitches to the existing house.

CHAIRPERSON JAFFE: Okay, all right.

MR. FLUBACKER: So, it's, you know, the same as existing.

CHAIRPERSON JAFFE: How long have you owned the property?

MR. HOLLAND: 2013.

CHAIRPERSON JAFFE: How many people live in the house?

MR. HOLLAND: Five.

CHAIRPERSON JAFFE: How many cars do you have?

MR. HOLLAND: We have two now.

CHAIRPERSON JAFFE: Okay, have you discussed this with neighbors?

MR. HOLLAND: Yes.

CHAIRPERSON JAFFE: And what's the reaction from them?

MR. HOLLAND: Mostly positive, but I think we have some comments here tonight.

CHAIRPERSON JAFFE: Okay, all right.

COMMISSIONER SIAVELIS: So, yes, let me just ask a quick question.

CHAIRPERSON JAFFE: Go ahead.

COMMISSIONER SIAVELIS: To make sure I understand this when I was reading the site plan here. There is an existing concrete porch slab that's going to be removed on the back side of the --

MR. FLUBACKER: Not on the back side, on the east side of the garage.

COMMISSIONER SIAVELIS: East side. Yes, yes, I should have said that,

so the back side of the property on the east side of the garage, yes.

MR. FLUBACKER: Yes, yes, and the garage currently has another detached garage directly to the west and another detached garage to the south.

COMMISSIONER SIAVELIS: And that existing concrete porch slab that's going to be removed, it's going to be replaced by what, grass?

MR. FLUBACKER: Yes.

CHAIRPERSON JAFFE: And the garage does not need to go through Design?

MR. OSOBA: It does not, no.

CHAIRPERSON JAFFE: Okay.

COMMISSIONER DRAKE: Dan, we don't have any objectors; is that correct?

MR. OSOBA: No, we do not have any --

COMMISSIONER DRAKE: Any objection on this petition?

MR. OSOBA: No formal.

COMMISSIONER DRAKE: Okay.

CHAIRPERSON JAFFE: Mike, Frank, any questions or should we see what the audience has to say?

COMMISSIONER PORTERA: No questions.

COMMISSIONER SIAVELIS: Bob, I just have a couple of questions.

CHAIRPERSON JAFFE: Go ahead.

COMMISSIONER SIAVELIS: I did notice something real quick here. On the pictures that you supplied us, these three pictures, Bob, it's got a date field on here of three months ago. Is that, that's when you took these basically?

MR. FLUBACKER: That's from Google Earth that took the pictures.

COMMISSIONER SIAVELIS: Yes, the satellite comes over, right?

MR. FLUBACKER: Well, they're street view --

COMMISSIONER SIAVELIS: Yes, street view, yes.

MR. FLUBACKER: They were printed tonight.

COMMISSIONER SIAVELIS: Okay, that's what I was going to ask you, when did you print these out.

MR. FLUBACKER: And I'm not sure the addresses are a hundred percent right. Sometimes to see the garage you have to go to the front of the house next door, but they all are in what I'll call that continuous backyard of that block.

COMMISSIONER SIAVELIS: Of that block.

MR. FLUBACKER: Yes.

COMMISSIONER SIAVELIS: And at least two of these three garages look like they have an appreciable second-story and one of them has a dormer.

MR. FLUBACKER: Yes, right. Yes.

COMMISSIONER SIAVELIS: We'll keep these here for now.

CHAIRPERSON JAFFE: All right, why don't you both have a seat? Let's hear from the audience, and then again, you'll have an opportunity to come back up and respond to any comments that are made.

Is there anybody present that would like to speak to this petition?

Dan, I just need a name, we don't need to swear them in?

MR. OSOBA: Correct.

CHAIRPERSON JAFFE: Hi, so what's your name?

MS. MALTESE: Christine Maltese. I'm speaking on behalf of my mother who is the homeowner. For the sake of time, it just will go quicker if it's me speaking.

CHAIRPERSON JAFFE: Okay.

MS. MALTESE: So, we have spoken to the neighbors and we got a letter from their architect regarding the variances and I don't understand any of it. So, I called the Village, spoke to them at length, spoke to Dan and someone named Nancy and left a message for Patrick who is the engineer.

The only question, and it's really just a question, or statement if you will, is whatever they're building they certainly need a garage because it burned down. It was explained that they're going up but taking some of the extra space that would have been, that carport, the open, or excuse me, the enclosed roofed area is now being replaced with grass.

So, the only thing we care about at 505 West Wing is just however they're doing it, or however far down they're going with concrete to support an additional weight to go up a little bit for storage is that you don't flood our property. That's it. We had to, on our build in 2020, install a storm sewage system, an enormous one, because we're, the property which is directly next to theirs was the lowest point on the block. We paid it, we did it, it's what the Village wanted, no questions, but again, that's our only concern, whatever.

So, it's really a question for the architect and it's really a question for the Village. Whatever you're approving, whatever you're allowing, we have to stop, we have very small lots on Wing Street, we just can't flood the house. This happened on their build. I understand it was, you know, what's done is done, but we had to redo our basement because of the build. We had the architects come out, we had the water engineers come out, everyone came out, and it was at our expense to redo this. We don't want any more expenses for it.

So, that's all we're asking. It's really on you, on whoever is approving it or zoning it or engineering it or architecting it, that you just, you know, understand that my storm system can only hold so much water. If you're going down more, you have to, I don't know, and I don't know what you do. Do you grade it up more? Do you put more grass? Do you put more dirt?

That's our only concern. That's it.

CHAIRPERSON JAFFE: All fair points, duly noted. Again, if this, if these because there's multiple, if these variances are approved, then yes, the homeowner or the architect will work in conjunction with the Village and make sure everything is properly permitted and done the way it's supposed to be done.

MS. MALTESE: So, do I have your word that I'm not going to flood? That's all I'm asking.

CHAIRPERSON JAFFE: Well, everything is being recorded. So, no, again, the water is outside of our domain. We just want to make sure that things are done the right way --

MS. MALTESE: Right.

CHAIRPERSON JAFFE: -- and in a minute, I think the property owner and the architect will be able to speak to some of these, again, these questions that you're asking, which are fair.

COMMISSIONER SIAVELIS: So, and the other thing to note here, I'm not sure if you've seen the packet that was on the website, is Engineering has no comments at this juncture, right? That doesn't mean that you can't pick up the phone and hound them, to speak with them.

MS. MALTESE: You know, there's a --

COMMISSIONER SIAVELIS: Hold on, let me finish.

MS. MALTESE: I'm sorry, yes.

COMMISSIONER SIAVELIS: Okay, or memorialize your position by sending in an e-mail or a letter, okay. There's no problems with doing that. We've had a number of situations over the years, because some of us have been on this Board for quite sometime, where, situations similar to yours, where neighbors have echoed the same types of concerns. Even though Engineering doesn't come out with a state position in these papers, that doesn't mean they're not receptive to comments from the neighbors and work with the neighbors and the property owners and the architects seeking the variance, right?

So, if you feel that strongly to make these comments on the record here today, it's in your best interest to continue making your views known to Engineering and others in the Village.

MS. MALTESE: But see, I have talked to them, and you know, in fact I spoke to Dan today in length, and I said all I wanted, I only want, we want them to have a garage. Everybody wants to have, you know --

COMMISSIONER SIAVELIS: It's a basic thing.

MS. MALTESE: It's a basic thing. You know, they need to have it, it burned down. But we just, again, I didn't expect that letter, you know, and I couldn't read that letter that was sent to me by the architect or by the Village, and I'm like, again, whatever it is, all I'm saying is whatever it is that you're doing, when we put up our build, you know, we had to do all that stuff, and again, things happen. We understand that things happen. Maybe the ground will sink further on one part or, you know, whatever happens, sure. But our concern is, because we had this experience, we can't have it again.

So, you know, not that I don't have anything else to do but call Engineering and bother them, but I don't, I mean, I really would like to not do that. I'd like to not call anyone. I want them to have their garage and I just want my, I don't want to be flooded. That's it. That's the only insurance.

Dan explained to me that of course you can't say if there's some crazy rainstorm that has 500 feet of water, I'm not talking about that. I'm talking about the regular rain that comes in and we're absorbing all of it. That's all. We have no other objection. That's why I wanted to make sure I did not commit as an objector to this.

CHAIRPERSON JAFFE: Okay, we appreciate that. Go ahead.

COMMISSIONER O'CONNOR: I was just going to state that perhaps there is a grading plan that, when we did our project, we had a grading plan to show which way the water would go. The Village came out and inspected it to make sure that it, you know, wasn't --

MS. MALTESE: And I trust you, and I trust that whatever, you know --

COMMISSIONER O'CONNOR: Perhaps you can request, you know, that when you talk to Engineering.

MS. MALTESE: You know what I'd like to do, I would like to not do that and I would like to leave here feeling great that everything, that's why I'd like to leave it like that. I wish them to have their great garage and I'd like to not call anyone again.

CHAIRPERSON JAFFE: We'd like you to leave here feeling better. I don't know if great, you know, because I don't know how you define great, but we want you to feel better as a result of this process.

COMMISSIONER SIAVELIS: You've got a level set of expectations here, too, let's be honest, right?

MS. MALTESE: I think it's a fair expectation though for the property, yes. That's all.

CHAIRPERSON JAFFE: Thank you.

MS. MALTESE: You're welcome.

CHAIRPERSON JAFFE: Thank you.

Is there anybody else present?

(No response.)

COMMISSIONER SIAVELIS: Bob, do you want to address these comments?

CHAIRPERSON JAFFE: Yes, and Mr. Holland, if you want to come back up here, too?

MR. FLUBACKER: This is an aerial photograph of the two properties.

COMMISSIONER SIAVELIS: Actually, before you start Bob, Mr. Bob Holland, right?

MR. HOLLAND: Bob, yes.

COMMISSIONER SIAVELIS: Bob squared, young Bob, older Bob. Are you aware of the, how long have you lived in this house?

MR. HOLLAND: About 11 years.

COMMISSIONER SIAVELIS: Okay, are you aware of water or flooding issues in your house or your proximate neighbors?

MR. HOLLAND: Not in my house, not in the neighbor to the west. I have heard about water to the neighbors here to the east going back probably since we moved in years ago. I think --

COMMISSIONER SIAVELIS: Does water pool in your backyard after heavy rains?

MR. HOLLAND: No.

COMMISSIONER SIAVELIS: Have you noticed water pooling in your neighbors' yards during heavy rains?

MR. HOLLAND: Over the years, yeah. I think at one put there's a duck in our backyard, in the neighbor's yard. I think that's what Bob is about to get to for a little bit of the history of the backyards here, too.

COMMISSIONER SIAVELIS: Okay, so you're aware of --

MR. HOLLAND: Which will make some sense of it. Yes.

COMMISSIONER SIAVELIS: You're aware of the general issues with your neighbors' yards.

MR. HOLLAND: When we did the original project, yes. We just, we graded it, it was inspected, we moved the drainage all around and did the whole thing like that first time around as well.

COMMISSIONER SIAVELIS: Okay, go ahead, Bob.

MR. FLUBACKER: I apologize, I only have a couple of pictures, but one thing I want to point out is the house to the east is basically on the lot line. So, there is not an area on the west side of their house for their backyard water to drain to the street. So, the water comes off that side of the property, that's on my client's property, and when we did the addition, we put in and had maintained a swale that goes from the rear of their house --

COMMISSIONER SIAVELIS: On the east side?

MR. FLUBACKER: On the east side all the way to the street. That functions well. It takes all the water from, you know, partially in the backyard and all alongside of the property. The project, we intend zero changes to the grading of the property. In fact, you know, as you saw, it was reducing the impervious surface --

COMMISSIONER O'CONNOR: Yes.

MR. FLUBACKER: -- and the lot coverage by almost 200 square feet.

CHAIRPERSON JAFFE: Yes.

COMMISSIONER SIAVELIS: Yes, that's a pretty significant amount, I think.

CHAIRPERSON JAFFE: Dan, can you go back to that in the Staff report that shows the grid? I think maybe that'd be helpful for all of us to look at, the audience included, the reduction of that impervious surface area? That Excel table? Yes, there you go.

All right, so the building lot coverage has a relatively minor reduction, but the impervious surface area has, what's that, about seven, eight percent?

MR. FLUBACKER: They're both the same. They're about 190 square feet in reduction.

COMMISSIONER SIAVELIS: Right, from 513 square feet down to 322. Yes, 191.

MR. FLUBACKER: Yes, they're both 191.

CHAIRPERSON JAFFE: Which should be helpful in the grand scheme of things.

COMMISSIONER SIAVELIS: One would think, right? And that reduction in impervious surface coverage is, at least in the midpoint of your lot, around the eastern side of your lot towards --

MR. FLUBACKER: We'll do the structure farther away from their house, yes.

COMMISSIONER SIAVELIS: Yes.

CHAIRPERSON JAFFE: Okay, you guys have any other questions?

(No response.)

CHAIRPERSON JAFFE: All right, thank you.

MR. HOLLAND: Thank you.

CHAIRPERSON JAFFE: All right, close it down for --

MR. LAMKINS: May I speak? You kind of cut me off right now after you just called them back up, so I don't know if I have another chance to speak.

CHAIRPERSON JAFFE: Oh, so were you going to be part of that rebuttal?

MR. LAMKINS: I was going to talk about --

CHAIRPERSON JAFFE: Come on up, and then we're going to close it

down for deliberation. And what's your name?

MR. LAMKINS: Eric Lamkins, 501 West Wing. I swear to tell the truth, yes.

CHAIRPERSON JAFFE: I don't have to swear you in because you're --

MR. LAMKINS: Oh, can you go back to the aerial photo? Keep on to the next one, the closer one. There you go.

So, we are 501 West Wing, correct, that house. We have lived in our house for --

CHAIRPERSON JAFFE: Wait a minute, I'm sorry. Are you with the property owner and the architect?

MR. LAMKINS: No.

CHAIRPERSON JAFFE: Okay, so you're --

MR. LAMKINS: I'm two houses over.

CHAIRPERSON JAFFE: Okay, so you're saying you wanted to make a public comment, but I cut you off.

MR. LAMKINS: Correct. Yes, you called them up right away, that's why I was --

CHAIRPERSON JAFFE: All right, you have three minutes.

MR. LAMKINS: Okay, so I want to make some clarifications on behalf of Bob, the Bobs, which is, to understand that at 505, and I can provide photos tonight, but where they did their addition which is, their house seems to be that rectangle that you see at the top of the map. The addition to their house is all the way down plus the two-car garage in the back corner, in the southeast corner of their backyard. When it rained, that corner of their lot filled up. When it rained heavy, it would flood all the way up to their back deck. As Bob kind of pointed out, there used to be a deck there.

When my yard floods, it floods on my east corner, all of my water and the French drain runs to that corner. So, from the time that we've been there and her mother first moved in --

COMMISSIONER SIAVELIS: When did you move there?

MR. LAMKINS: 2010. Her mom bought the house at the same time we did. I have been over there no less than at least five times now before her mother, before her daughter moved in with them and did the addition with flooding in their basement. There were issues like downspouts pointing to windows at that time, just gutters overflowing and that kind of stuff.

Since they've done their addition and their remodel, I now get water in my west corner when it rains heavy. So, although the city required her to put in this other stuff, it's helping probably some of hers but clearly now that water is also finding its way to my yard because now I get water on both sides of my backyard when it rains heavy.

So, I don't want to demean her point of view, I think it's important, but I also get water now in my basement since she's done her addition on the same wall that shares her driveway that goes in the back of her house. So, her house may have a situation where it's the lowest one and has water problems, but it's caused more water problems for us. So, I don't necessarily --

COMMISSIONER SIAVELIS: That's even with your French drain you're saying?

MR. LAMKINS: Oh, yes. We had to do, the city required when we did our,

we had to re-grade our entire lot and we put in French drains and everything else. So, we hadn't had a problem with any water in our property minus heavy rains when we get a small pool in our back right corner where the French drains comes up, but now we get that water on the other side of the house.

So, there is a water issue, I would agree, but everything I know about what they're doing at their house should reduce their water impact on her house just because they're opening up more pervious land. Going up is not going to affect that.

CHAIRPERSON JAFFE: So, you're in favor of or you're opposed?

MR. LAMKINS: I'm in favor of them doing their addition. I don't think that anything they're going to do will impact that.

CHAIRPERSON JAFFE: Okay, thank you for the additional background on the actual street.

Mr. Holland and Mr. Flubacker, would you like to respond to any of those comments?

MR. HOLLAND: No.

CHAIRPERSON JAFFE: Okay, so we are now closed for deliberation. Would anyone like to start?

COMMISSIONER SIAVELIS: You start, Ben.

CHAIRPERSON JAFFE: I'll start, sure. So, a couple of things that kind of stood out to me, a few things that stood out to me throughout the course of this one. So, first, the reasoning, the hardship, this property owner had a garage that burned down, they need to rebuild. Step number two, in working in conjunction with the architect, in my opinion, they are taking measured efforts to reduce the amount of ask that, you know, exceeds what current zoning provides for. Three, I am sensitive to the comments that were made from both members of the public regarding some of the current conditions on the block that may affect where water goes after rainfall.

All that being said, I do think that the efforts that the property owner and the architect are taking would mitigate the current layout, or the previous layout that that house had, and should mitigate or reduce any potential risk that, you know, could associate itself with excessive rainfall.

COMMISSIONER DRAKE: I would agree with all that. I think that the chart that Bob put together is very compelling as far as the reduction in impervious space. I think the neighbor said it best, they deserve to get a new garage and, you know, this is not a perfect situation it seems like. If his yard floods into your yard, your yard floods into the other gentleman's yard, it's kind of a neighborhood problem as I see it.

I don't know what the Village can do on behalf of the whole neighborhood as to those three homeowners, but I think that the Petitioner has met all the requirements that we ask for. I'm in favor.

COMMISSIONER O'CONNOR: Yes, I think you summarized it really well and I agree with you. You know, if they wanted to even just rebuild the existing structure, it would take up more impervious surface. By reducing that, I think it helps with the water issue, too. So, I'm in favor as well.

CHAIRPERSON JAFFE: Any other comments?

COMMISSIONER SIAVELIS: Concurrence.

CHAIRPERSON JAFFE: Okay, is there a motion?

COMMISSIONER O'CONNOR: Motion to approve.

COMMISSIONER DRAKE: Second.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. OSOBA: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations!

MR. FLUBACKER: Thank you very much.

CHAIRPERSON JAFFE: You're welcome.

Dan, do we have other business?

MR. OSOBA: We do not.

CHAIRPERSON JAFFE: Final agenda item, public comment. Does anybody want to say anything about anything?

(No response.)

CHAIRPERSON JAFFE: All right, is there a motion to adjourn?

COMMISSIONER SIAVELIS: I move to adjourn.

COMMISSIONER DRAKE: Second.

CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: Thanks.

The meeting is closed.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:55 p.m.)

STATE OF ILLINOIS)
) SS.
COUNTY OF KANE)

I, RON LeGRAND, SR., depose and say that
I am a digital court reporter doing business in the State of
Illinois; that I reported verbatim the foregoing proceedings and
that the foregoing is a true and correct transcript to the best of
my knowledge and ability.

RON LeGRAND, SR.

SUBSCRIBED AND SWORN TO
BEFORE ME THIS _____ DAY OF
_____, A.D. 2025.

NOTARY PUBLIC

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

OCTOBER 6, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 832 N. Forrest Ave. – Kroner/Monaco Residence

Applicant: Marie Jung – Home Services Direct

Zoning Relief Requested:

- A 4.14-foot variation from Chapter 28, Section 5.1-0.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.86-feet where the minimum side setback is 10.0-feet and an additional 9.0-inches for the eave.

Date of Publication: 9/20/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Siavelis, Drake, O’Connor, Portera

Having heard and considered the testimony and evidence at the public hearing of October 6, 2025, the ZBA makes the following findings of fact:

The property is zoned R-3 and has a total land area of approximately 29,700 square feet. The petitioner is proposing to construct a second story addition. Code requires a 10-foot side yard setback on this lot.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

X The proposed variation is in harmony with the spirit and intent of this Chapter; and

X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 4.14-foot variation from Chapter 28, Section 5.1-0.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.86-feet where the minimum side setback is 10.0-feet and an additional 9.0-inches for the eave.

Reason for Determination:

The petitioner testified that the addition would match the setback of the existing building and is required to access the second story space. The Zoning Board commented that the variance is the minimum necessary to allow use of the second story.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays Absent Abstain

Date: October 6, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

OCTOBER 6, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 848 S. Belmont Ave. – McAloon Residence

Applicant: Mark Demsky

Zoning Relief Requested:

- A 320 square-foot variation from Chapter 28, Section 6.5-7(b) (Maximum Size of Accessory Structures) to allow an accessory structure to be 620 square-feet in size where the maximum size is 300 square-feet.
- A 1.7-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a pool appurtenance to be located 6.3-feet from the north side property line where 8-feet is required.

Date of Publication: 9/20/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Siavelis, Drake, O’Connor, Portera

Having heard and considered the testimony and evidence at the public hearing of October 6, 2025, the ZBA makes the following **findings of fact**:

The property is zoned R-3 and has a total land area of approximately 24,725 square feet. The petitioner is proposing to construct 620 square-foot cabana in the rear and side yard. Code requires pool appurtenances to be set back at least 8 feet from the side and rear lot lines. Additionally, Code prohibits accessory structures larger than 300 square feet in area.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 320 square-foot variation from Chapter 28, Section 6.5-7(b) (Maximum Size of Accessory Structures) to allow an accessory structure to be 620 square-feet in size where the maximum size is 300 square-feet.
- A 1.7-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a pool appurtenance to be located 6.3-feet from the north side property line where 8-feet is required.

Reason for Determination:

The petitioner testified that the existing structure is dilapidated and must be replaced for the homeowner to use the back yard. The Zoning Board commented that the variance is the minimum necessary to allow use of the back yard and would improve the appearance of the property.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays Absent Abstain

Date: October 6, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

OCTOBER 6, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 4124 N. Walnut Ave. – Zaba Residence

Applicant: Kevin Erdmann – Erdmann Construction

Zoning Relief Requested:

- A 9.0-foot variance from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yard) to allow an attached pergola to be constructed 21-feet from the rear property line where a 30-foot building setback is required.

Date of Publication: 9/20/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Siavelis, Drake, O’Connor, Portera

Having heard and considered the testimony and evidence at the public hearing of October 6, 2025, the ZBA makes the following **findings of fact**:

The petitioner is proposing a 9-foot tall pergola above an existing patio in the rear yard (west) of the property. The proposed pergola is setback 21-feet from the rear property line. The proposed structure is attached to the rear wall of the home and therefore must comply with the 30-foot rear yard setback in the R-3 District.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

X The proposed variation is in harmony with the spirit and intent of this Chapter; and

X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 9.0-foot variance from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yard) to allow an attached pergola to be constructed 21-feet from the rear property line where a 30-foot building setback is required.

Reason for Determination:

The petitioner testified as to the hardship and existing site conditions on a relatively square corner lot. The home faces east towards Walnut Avenue and the functional backyard faces west. The proposed attached pergola will face the interior side yard of the home directly to the west and there were no issues or concerns from that neighbor. The Zoning Board commented that this was a reasonable request that will not alter the existing character of the area, the lot is unique in size and shape and the variance is the minimum necessary to utilize the backyard space.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays Absent Abstain

Date: October 6, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

OCTOBER 6, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 511 W. Wing St. – Holland Residence

Applicant: Robert Flubacker Architects

Zoning Relief Requested:

- A 13 square-foot variation from Chapter 28, Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage area of 3,062 square-feet instead of the permitted 3,049 square-feet.
- A 322 square-foot variation from Chapter 28, Section 5.1-3.5(b) (Maximum Impervious Surface Coverage) to allow a coverage area of 4,678 square-feet instead of the permitted 4,356 square-feet
- A 4.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures) to allow an accessory structure height of 19.5-feet instead of the permitted 15-feet.

Date of Publication: 9/20/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Siavelis, Drake, O’Connor, Portera

Having heard and considered the testimony and evidence at the public hearing of October 6, 2025, the ZBA makes the following findings of fact:

On December 13, 2021, this property received approval from the Zoning Board of Appeals pursuant to petition ZBA21-043, a wrap-around front porch building addition that encroached into the required front setback and increased the building lot coverage and impervious surface coverage over the maximum code allowances. With the current petition ZBA25-035, the petitioner is proposing to reduce the previously approved building lot coverage and impervious surface coverage. However, the proposed building lot coverage and impervious surface coverage still exceed code required maximums and due to the site layout modifications, the petitioner is requesting approval of variations to building lot coverage and impervious surface coverage that were previously approved under a different scope of work.

The scope of work proposed in this petition is to reconstruct a larger detached framed two-car garage with an area of 550 square-feet and a roof height of 19.5’ to replace an existing garage that was destroyed in a fire earlier this year. In addition to the garage reconstruction, the petitioner is proposing to reconfigure the driveway, which will remove

existing concrete and impervious surface that surrounds the existing garage. The table below identifies previously approved variations from 2021 and the current requested variations:

	Code Requirement	ZBA21-043 Approval	ZBA25-035 Current Request
Front Yard Setback	22.2-feet	14.7-feet (7.5-foot variance)	Not Applicable
Building Lot Coverage	3,049 square-feet	3,253 square-feet (204 square-foot variance)	3,062 square-feet (13 square-foot variance)
Impervious Surface Coverage	4,356 square-feet	4,869 square-feet (513 square-foot variance)	4,678 square-feet (322 square-foot variance)
Accessory Structure Height	15-feet	Not Applicable	19.5-feet (4.5-foot variance)

One adjacent neighbor spoke during the public hearing in opposition to the requested relief citing concerns regarding drainage. Another neighbor on Wing Street spoke in favor of the requested relief as the proposal will reduce impervious surface coverage in an area that does have drainage and flooding concerns.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an "X"):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- The proposed variation is in harmony with the spirit and intent of this Chapter; and
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 13 square-foot variation from Chapter 28, Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage area of 3,062 square-feet instead of the permitted 3,049 square-feet.
- A 322 square-foot variation form Chapter 28, Section 5.1-3.5(b) (Maximum Impervious Surface Coverage) to allow a coverage area of 4,678 square-feet instead of the permitted 4,356 square-feet
- A 4.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures) to allow an accessory structure height of 19.5-feet instead of the permitted 15-feet.

Reason for Determination:

The petitioner testified as to the structural fire damage to the existing garage and the hardship of existing lot conditions. The new construction eliminates the covered area to the east of the existing garage, which allows for a larger structure footprint and a taller frame and roof to match the roof pitch of the home. The Zoning Board commented that these proposed variances are reasonable and measured to reduce impact on surrounding properties with a heightened focus on impervious surface coverage and drainage as impervious surface is being reduced.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays Absent Abstain

Date: October 6, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
11/10/2025

Item: 1935 N. Maple Ln. - ZBA25-037

Department: Planning & Community Development

Item Description:

REQUEST

- A 3.26-foot variation from Chapter 28, Section 5.1-2.3(b) (Required Minimum Yards) to allow an addition set back 2.12 feet from the side lot line where 5.38 feet is required.
- A 9.03-foot variation from Chapter 28, Section 5.1-2.3(d) (Required Minimum Yards) to allow an addition set back 20.97 feet from the rear lot line where 30 feet is required.

ATTACHMENTS:

1. ZBA packet_1935 N Maple Ln

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Darko Bojin, Planner
Hearing Date: November 10, 2025
Date Prepared: November 5, 2025
Project Title: Chapman Residence
Address: 1935 N. Maple Ln.

Background Information

Petition Number: ZBA #25-037
Petitioner: Kevin Purdom – JRC Design Build
Address: 1275 E. Davis St.
Arlington Heights IL 60005

Existing Zoning: R-2 – Residential Single-Family District

Requested Action/Background Information

The property is zoned R-2 and has a total land area of approximately 11,591 square feet. The petitioner is proposing to construct a garage addition. This proposed addition is set back 2.12 from the side lot line where 5.38 feet is required and 20.97 feet from the rear lot line where 30 feet is required. Therefore, the petitioner is requesting the following variations:

- A 3.26-foot variation from Chapter 28, Section 5.1-2.3(b) (Required Minimum Yards) to allow an addition set back 2.12 feet from the side lot line where 5.38 feet is required.
- A 9.03-foot variation from Chapter 28, Section 5.1-2.3(d) (Required Minimum Yards) to allow an addition set back 20.97 feet from the rear lot line where 30 feet is required.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	10.22.25	
2. List of Property Owners Within 250 feet of Subject Property	✓	10.22.25	
3. Letter that was Mailed	✓	10.22.25	
4. Photographs of Sign on Property	✓	10.22.25	

Photographs of Existing Structure



Village of Arlington Heights



To: Kevin Purdom
From: Darko Bojin
Department: Department of Planning and Community Development
File Number: ZBA 25-037
Project: 1935 N. Maple Ln.
Date: November 3, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 3.26-foot variation from Chapter 28, Section 5.1-2.3(b) (Required Minimum Yards) to allow an addition set back 2.12 feet from the side lot line where 5.38 feet is required.
- A 9.03-foot variation from Chapter 28, Section 5.1-2.3(d) (Required Minimum Yards) to allow an addition set back 20.97 feet from the rear lot line where 30 feet is required.

If you have any questions, please contact dbojin@vah.com:

Planning and Community Development

1. A Design Commission application is required to be submitted for review, but the proposed design appears to be nicely done to fit with the existing house and the character of the neighborhood. This project is favorable for an Administrative (Staff) design approval, pending the outcome of the ZBA review.

Building and Life Safety

1. Approved with Note: 1. A 1-hour fire-resistance rating is required for the exterior wall of the garage, as the fire separation distance is less than 5 feet.

Engineering

1. No comments.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, November 10, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 3.26-foot variation from Chapter 28, Section 5.1-2.3(b) (Required Minimum Yards) to allow an addition set back 2.12 feet from the side lot line where 5.38 feet is required.
- A 9.03-foot variation from Chapter 28, Section 5.1-2.3(d) (Required Minimum Yards) to allow an addition set back 20.97 feet from the rear lot line where 30 feet is required.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning_mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 170 in Harris' Prospect Park Unit No. 1 being a subdivision of part of the south half of the southwest quarter of Section 16, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois.

Commonly known as: 1935 N. Maple Lane, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Oct. 25, 2025 (310093)

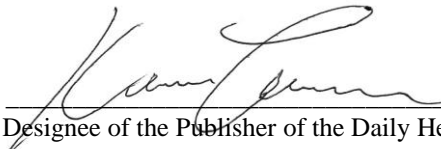
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 10/25/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 310093



PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Kevin Purdom (JRC Design Build)

being the owner of the property commonly know as: 1935 N Maple Lane

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.3b & d

Chapter 28, of the Arlington Heights Municipal Code, in order to: Expand existing attached garage into the sideyard and rearyard.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): _____

The proposed addition will fit with the one story neighborhood and match similar other houses with 2 car garages.

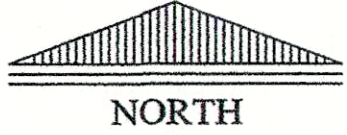
I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): The existing lot is irregularly shaped with a straight rear yard setback the rear setback variance would not be required. Due to this odd shape the sideyard setback also restricts a proper second car garage.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): _____
All other codes and requirements will be met. All uses of the house will still function the same. an existing driveway already exists where the proposed garage is.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): the requested extension into the sideyard is the smallest amount possible in order to fit the correct size garage/door for the cars that the owner plans to park in the garage.

Signed: 
Petitioner

Date: 09/18/2025



MM SURVEYING CO., INC.

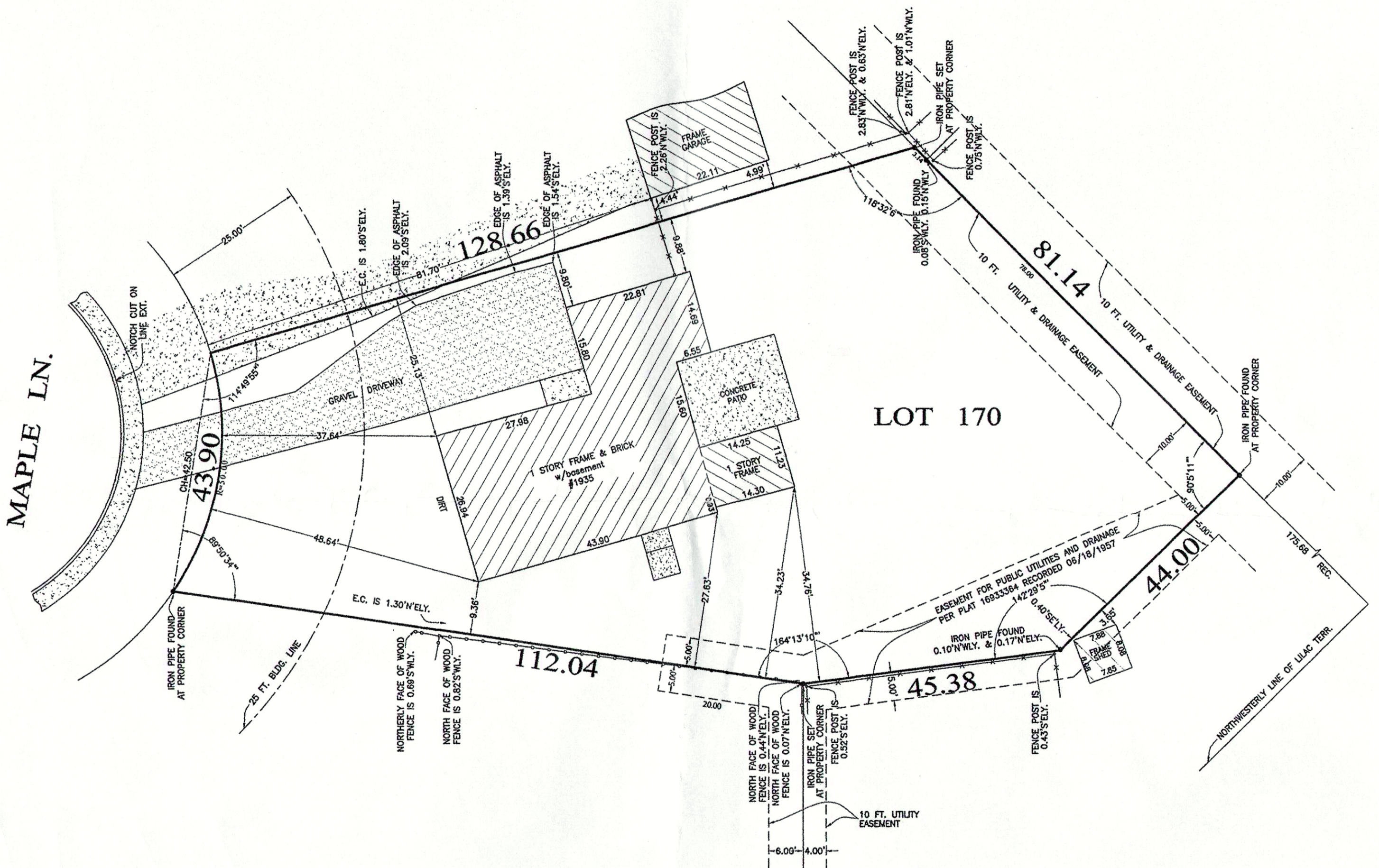
PROFESSIONAL DESIGN FIRM No. 184-003233

PLAT OF SURVEY

OF

LOT 170 IN HARRIS' PROSPECT PARK UNIT NO.1 BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

TOTAL LAND AREA = 11,591 sq.ft.



LEGEND:

- x — x — x — CHAIN LINK FENCE
- o — o — o — WOOD FENCE
- — — — — IRON FENCE
- ▨ CONCRETE PAVEMENT
- E.F.P. — ENCLOSED FRAME PORCH
- O.F.P. — OPEN FRAME PORCH
- O.B.P. — OPEN BRICK PORCH
- O.C.P. — OPEN CONC. PORCH
- E.C. — EDGE OF CONCRETE

Order No. 89937
Scale: 1 inch = 16 FEET
Field Completion Date: JULY 30, 2018
Ordered by: KEVIN DILLON

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE, ETC.
LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND MUST BE COMPARED WITH DEED AND/OR TITLE POLICY.
ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.



State of Illinois ss
County of Cook
We, M M Surveying Co., Inc., do hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey.
Signature: Zbigniew Domozych
Date: AUGUST 01, 2018
REG. ILL. Land Surveyor No. 35-3758
LIC. EXP. NOVEMBER 30, 2018

PROJECT DATA

PROJECT LOCATION:	1935 N MAPLE LANE	
ZONING DISTRICT:	R-2	
LOT AREA:	11,590 SF	
PIN:	03-16-308-017-0000	
MAX LOT COVERAGE:(35%)	4,056 SF	
PROPOSED LOT COVERAGE:	3,343 SF	
MAX FAR: 3938 +[(11,590-8,750) X 0.4]	5,074 SF	
PROPOSED FAR:	2,680 SF	
MAX IMPERVIOUS COVERAGE (50%)	5,795 SF	
MAX FRONT YARD IMPERVIOUS (50%)	612 SF ALLOWED	270 SF PROPOSED
PROPOSED IMPERVIOUS COVERAGE:	4,444 SF	
MAX BUILDING HEIGHT:	25'-0"	
PROPOSED BUILDING HEIGHT:	EX TO REMAIN	
LOCATION AREAS:		
BASEMENT	2,070 SF	
FIRST FLOOR	2,070 SF	
GARAGE	1,010 SF	
TOTAL SQUARE FOOTAGE:	2,070 SF	

DESIGN CRITERIA

FLOOR	
SLEEPING ROOMS	40# LL - 10# DL
OTHER ROOMS	40# LL - 10# DL
VEH. GARAGES	50# LL - 10# DL
WALL	
	60# PLF OR ACTUAL LOAD
	20 PSF WIND 0'-20' HEIGHT
	25 PSF WIND 21'-29' HEIGHT
	30 PSF WIND 30' HEIGHT AND ABOVE
CEILING	
UNHAB W/O STOR	10# LL - 10# DL
UNHAB LIM STOR	20# LL - 10# DL
HAB W/ FIX STAIR	30# LL - 10# DL
WIND SPEED	
	115 MPH
	3 SECOND GUST
	& 89 NOMINAL
ROOF	
	30# LL (SNOW) - 10# DL (ALL SLOPES)
CATHEDRAL	
	30# LL - 15# DL (ALL SLOPES)
EXT DECK	
	40# LL - 10# DL
EXT BALCONY	
	40# LL - 10# DL
STAIRS	
	40# LL + 300#
	CONCENTRATED LOAD
GUARD & HANDRAILS	
	200# LL AT ANY DIRECTION
	APPLIED AT THE TOP
FROST DEPTH	
	42" (3'-6")
STRUCTURAL FRAMING LUMBER	
	BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)
	GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875
	SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM
	PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER
MANUFACTURER - TRUS-JOIST	
	PRODUCT - LVL HEADERS & BEAMS MICRO-LAM

APPLICABLE CODES - ARLINGTON HEIGHTS

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:

BUILDING CODE	2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
PLUMBING CODE	2014 ILLINOIS PLUMBING CODE WITH AMENDMENTS
ENERGY CODE	2021 ILLINOIS ENERGY CONSERVATION CODE WITH STATE AMENDMENTS

-ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.
 -MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.
 -ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.

SHEET INDEX - ARCHITECTURAL

A0	COVER SHEET	1- 09/09/2025
A1	EXISTING DRAWINGS	1- 09/09/2025
A2	FOUNDATION & BASEMENT PLANS	1- 09/09/2025
A3	FIRST FLOOR PLAN	1- 09/09/2025
A4	ROOF PLAN & STAIR DETAILS	1- 09/09/2025
A5	ELEVATIONS	1- 09/09/2025
A6	ELEVATIONS	1- 09/09/2025
A7	STRUCTURAL DETAILS	1- 09/09/2025
A8	SPECIFICATIONS	1- 09/09/2025
MEP1	FIRST & SECOND FLOOR MEP & STRUCTURE PLANS	1- 09/09/2025

PROJECT SCOPE OF WORK

- OPTION 1:** DESIGN BUILD A NEW 2 CAR TANDEM GARAGE APPROX. 18-20 X 43, 20 WILL REQUIRE A VARIANCE. THE ROOF WILL BE DESIGNED WITH A FLOOR FOR STORAGE AND A PULL DOWN STAIR OR WE CAN BUILD A FULL STAIR.
- OPTION 2:** DESIGN BUILD A NEW KITCHEN WITH RELOCATED APPLIANCES, LARGER ISLAND AND UPDATED LIGHTING.
- OPTION 3:** DESIGN BUILD A 27 X 12 FAMILY ROOM ADDITION AND RELOCATE THE FIREPLACE; THIS WILL GIVE ROOM FOR THE KITCHEN A DINING ROOM AND WE WILL BUILD A LAUNDRY/ MUDROOM AT THE GARAGE ENTRANCE.

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN		SISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ	FLOOD HAZARDS CHAPTER VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP		
	SPEED (MPH)	TOPO EFFECTS		SPECIAL REGION	WIND-BORNE DEBRIS ZONE	WTRING						FROST LINE DEPTH	TERMITTE
25	115	NO	NO	NO	b	SEVERE	42"	MOD TO HEAVY	-4	YES	NOV 6:2000	2000	47.6

ABBREVIATIONS

A.B.	ANCHOR BOLT	L.	LINEN
ABV	ABOVE	LAM.	LAMINATE
A.C.	AIR CONDITIONING	LAV.	LAVATORY
ACOUS.	ACOUSTIC	LL	LIVE LOAD
ADJ.	ADJUSTABLE	LP	LOW POINT
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINUM	MC	MEDICINE CABINET
ALT.	ALTERNATE	MECH	MECHANICAL
A.P.	ACCESS PANEL	MED	MEDIUM
APPROX.	APPROXIMATE	MIN	MINIMUM
ARCH.	ARCHITECTURAL	MISC	MISCELLANEOUS
@	AT	ML	MICROLAM
BD	BOARD	MO	MASONRY OPENING
BI	BUILT-IN	MRBL	MARBLE
BLDG	BUILDING	MTL	METAL
BOT.	BOTTOM	MW	MICROWAVE
BT	BOTTOM OF	NC	NOT IN CONTRACT
BRG.	BEARING	NO	NUMBER
BRG. PL.	BEARING PLATE	NOM	NOMINAL
B.U.R.	BUILT UP ROOFING	NTS	NOT TO SCALE
CRPT	CARPET	O	OVEN
CABT	CABINET	OA	OVERALL
C.I.	CAST IRON	OC	ON CENTER
C.J.	CEILING JOISTS	OPP	OPPOSITE
C.J.T.	CONSTRUCTION JOINTS	OPT.	OPTIONAL
CL	CENTERLINE	PERF.	PERFORATED
CLG.	CEILING	PL	POINT LOAD
CL	CLOSET	P LAM	PLASTIC LAMINATE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
C O	CASUAL OPENING	PSF	POUNDS PER SQUARE FOOT
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC.	CONCRETE	PVC	POLYVINYLCHLORIDE
CONST.	CONSTRUCTION	QT	QUARRY TILE
CONT.	CONTINUOUS	R	RADIUS
C.T.	CERAMIC TILE	RD	ROOF DRAIN
C.W.	COLD WATER	R & S	ROD AND SHELF
DEMO.	DEMOLITION	REC	RECESSED
DIA.	DIAMETER	REF	REFRIGERATOR
DIAG.	DIAGONAL	REG	REGULAR
DIM.	DIMENSION	REINF	REINFORCE
DISP.	DISPOSAL	RM	ROOM
DIV.	DIVISION	RO	ROUGH OPENING
DL	DEAD LOAD	RR	ROOF RAFTERS
DN.	DOWN	SECT	SECTION
DWGS.	DRAWINGS	SHLY	SHELF
D.S.	DOWNSPOUT	SHT	SHEET
D.W.	DISHWASHER	SHWR	SHOWER
EA.	EACH	SHTG	SHEATHING
EX.	EXISTING	SIM	SIMILAR
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SL	SLIDING SPECIFICATION
EQ	EQUAL	SPEC	SPECIFICATION
EXP.	EXPANSION	SQ	SQUARE
ELEC.	ELECTRICAL	SF	SQUARE FOOT
ELEV.	ELEVATION	SS	SANITARY SUMP
EQUIP.	EQUIPMENT	STD	STANDARD
EQUIV.	EQUIVALENT	STL	STEEL
E.W	EACH WAY	STOR	STORAGE
F	FURNACE	STRUCT	STRUCTURE
FD	FLOOR DRAIN	SUSP	SUSPENDED
FE	FIRE EXTINGUISHER	T & B	TOP AND BOTTOM
FF	FINISH FLOOR	T	TOP OF
FIN.	FINISH	TEL	TELEPHONE
FIXT	FIXTURE	T & G	TONGUE AND GROOVE
FLR	FLOOR	THK	THICKNESS
FLASHG	FLASHING	TJ	TRUST JOIST
FDN	FOUNDATION	TOP	TOP OF PLATE
FO	FACE OF	TV	TELEVISION
FS	FOOTING SUMP	TYC	TYPICAL
FTG	FOOTING	UC	UNDER COUNTER
FURN	FURNACE	UN	UNLESS OTHERWISE NOTED
G/A	GALVE	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GFI	GROUND FAULT INTERRUPT	VIF	VERIFY IN FIELD
GLU-LAM	GLUE LAMINATED BEAM	W/	WITH
GYP.	GYPSUM	WC	WATER CLOSET
HD	HEAD	WIC	WALK IN CLOSET
HDR	HEADER	WD	WOOD
HT	HEIGHT	WDO	WINDOW
HM	HOLLOW METAL	WH	WATER HEATER
HORZ	HORIZONTAL	W/O	WITHOUT
HP	HIGH POINT	WP	WATERPROOF
HTG	HEATING	WT	WEIGHT
HVAC	HEATING VENTILATE AIR CONDITIONING	WWF	WELDED WIRE FABRIC
INT.	INTERIOR		

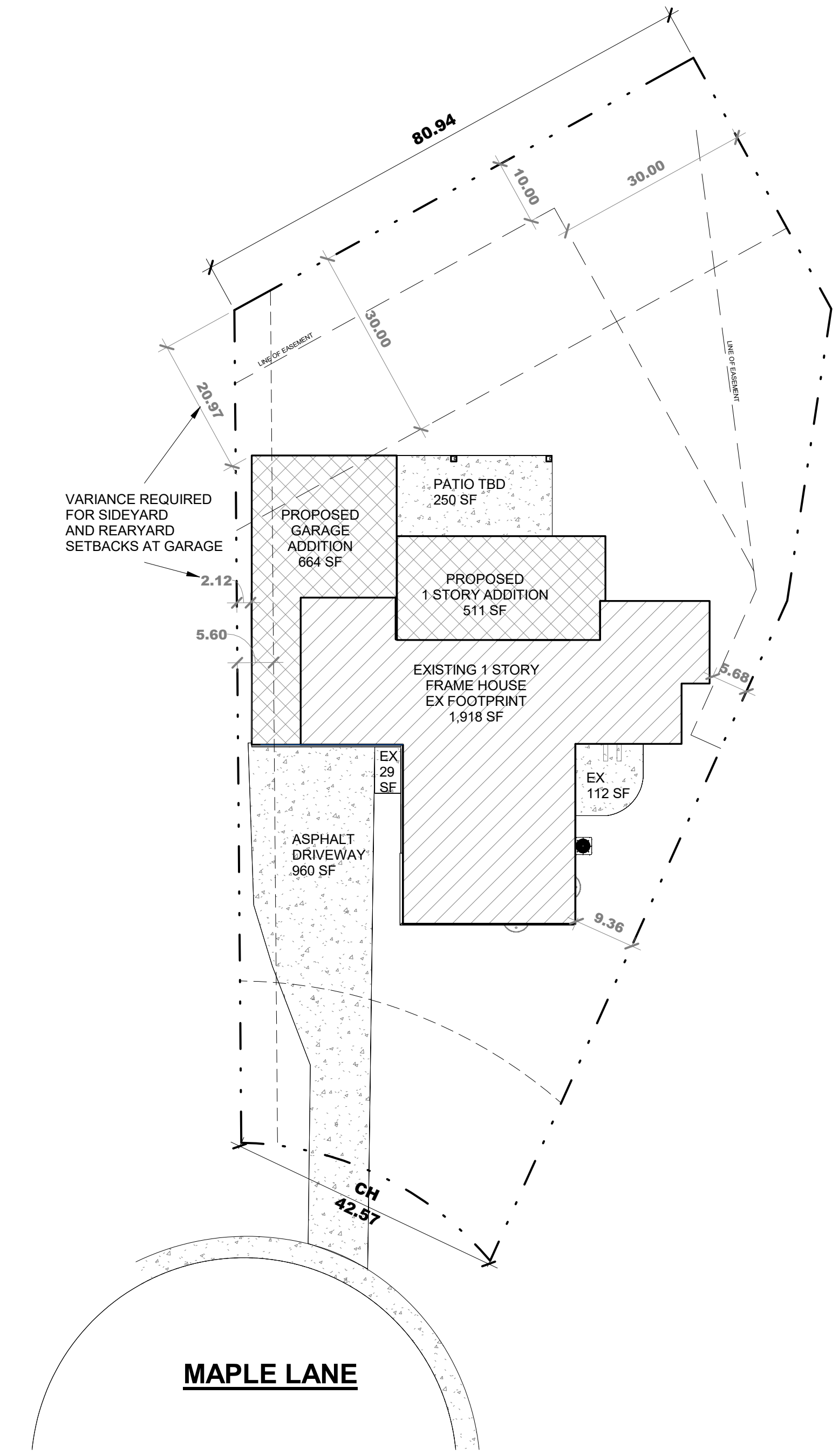
ADDITION/RENOVATION TO CHAPMAN RESIDENCE

SITE PLAN NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS. HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AROUND FOR FENCING.
- MAINTAIN EXISTING DRAINAGE PATTERNS. ANY DRAINAGE ISSUES THAT MAY ARISE FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT WILL BE ADDRESSED BY THE PERMITTEE.
- RESTORE PARKWAY AND PAVEMENT TO PRE-CONSTRUCTION CONDITIONS.

ENERGY CODE COMPLIANCE NOTES

- ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS. CLIMATE ZONE: 5
 MAX. GLAZING U-FACTOR: 0.30
 ACTUAL U-FACTOR:
 MIN. SKYLIGHT U-FACTOR: 0.55
 ACTUAL SKYLIGHT U-FACTOR:
 SHGC: N/R
 MIN. CEILING R-VALUE: 49
 ACTUAL CEILING R-VALUE: 49
 MIN. FRAME WALL R-VALUE: 30 OR 20 + 5 OR 13+10
 ACTUAL WALL R-VALUE: 30 (CLOSED CELL FOAM INSULATION)
 MIN. FLOOR R-VALUE: 30
 ACTUAL FLOOR R-VALUE:
 MIN. BASEMENT R-VALUE: 15 OR 19
 ACTUAL BASEMENT R-VALUE:
 GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT TO ELECTRICAL PANEL INDICATING INSULATION VALUES FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS. SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH DENSITY FRICTION FIT BATT INSULATION.
- ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CALK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2021 IECC REQUIREMENTS. ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM. ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.
- ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.
- ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE IC-RATED.
- PROVIDE PROGRAMMABLE THERMOSTATS FOR EACH ZONE WITH SETBACK AND MANUAL OVERRIDE.
- ALL DUCTWORK SHALL BE ADEQUATELY SEALED. ALL SUPPLY DUCTWORK IN UNCONDITIONED ATTIC TO HAVE R-8 INSULATION. ALL OTHER DUCTWORK TO HAVE R-6 INSULATION. HVAC CONTRACTOR SHALL PROVIDE EITHER POST-CONSTRUCTION OR ROUGH-IN TEST OF TOTAL AIR LEAKAGE FOR DUCT SYSTEMS.
- ALL MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEG F OR BELOW 55 DEG F SHALL BE INSULATED TO A MINIMUM OF R-3. ALL HOT WATER LINES TO HAVE R-3 PIPE INSULATION & MANUAL SWITCH FOR REGR. PUMP.
- ALL ACCESS HATCHES/DOORS TO UNCONDITIONED SPACE SHALL BE INSULATED & WEATHERSTRIPPED.
- 100% OF ALL LIGHTING TO HAVE HIGH-EFFICACY BULBS.
- FURNACE: +90% AFUE
 WATER HEATER: +95% AFUE
 A/C: 13+ SEER
 SHGC: 0.27 OR BTR
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE NO MORE THAN 0.3 CFM PER SF, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SF.



1 SITE PLAN - PROPOSED
 A0 1/16" = 1'-0"

SITE PLAN LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
— E —	ELECTRIC SERVICE
— G —	GAS SERVICE
— (—) —	STORM SEWER
— (—) —	SANITARY SEWER
— W —	WATER SERVICE
— X —	FENCE

SITE SETBACKS (R-2)

	REQUIRED	PROPOSED
FRONTYARD	25'-0"	EX 37.64'
INTERIOR SIDEYARD 10% LOT WIDTH	5.6'	EX 9.8'
INTERIOR SIDEYARD 10% LOT WIDTH	5.6'	EX 5.6'
REARYARD	30'-0"	EX 43.79'
HEIGHT - MEAN	MAX 25'-0"	*

IMPERVIOUS SF

	REQUIRED	PROPOSED
WALKS/DRIVEWAY	989 SF	
PATIO/DECK/STAIRS	362 SF	
HOUSE	2,429 SF	
GARAGE	664 SF	
TOTAL	4,444 SF	



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 EMAIL: KEVINJRCDB@GMAIL.COM
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ADDITION/ RENOVATION CHAPMAN RESIDENCE

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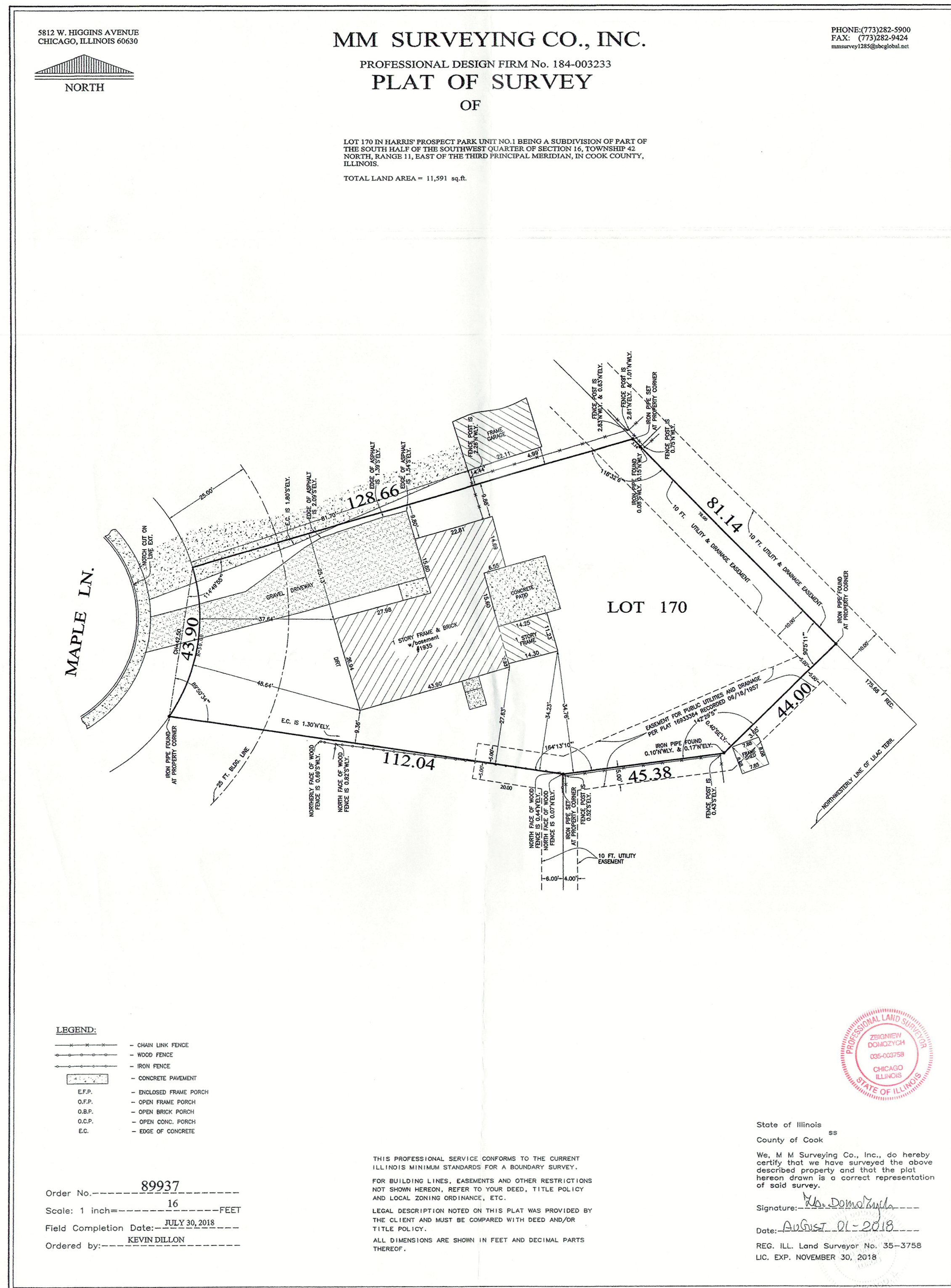
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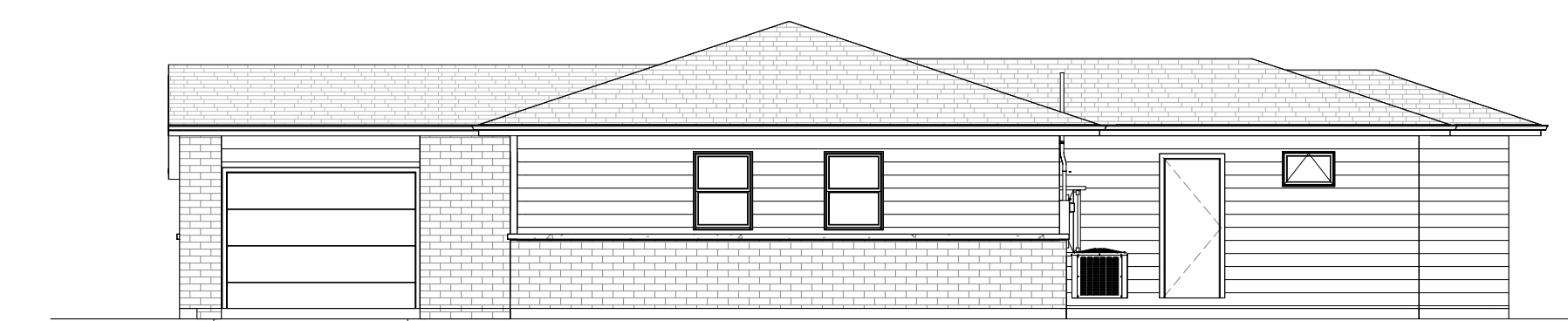
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SHEET NUMBER

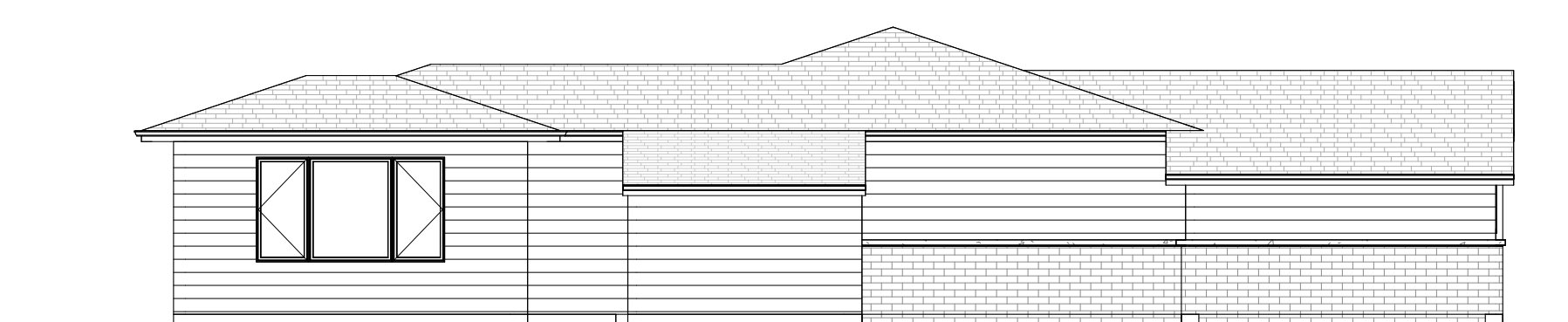
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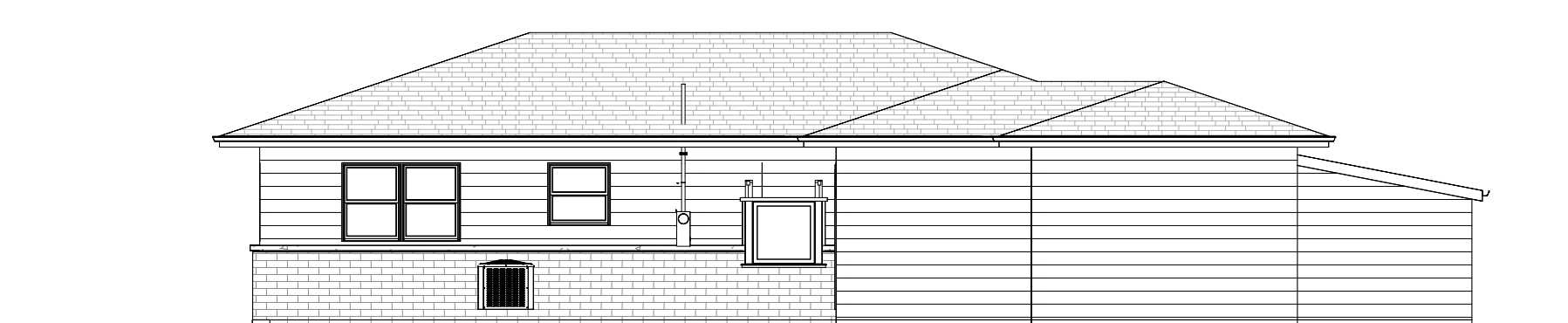
EXISTING ELECTRICAL PANEL



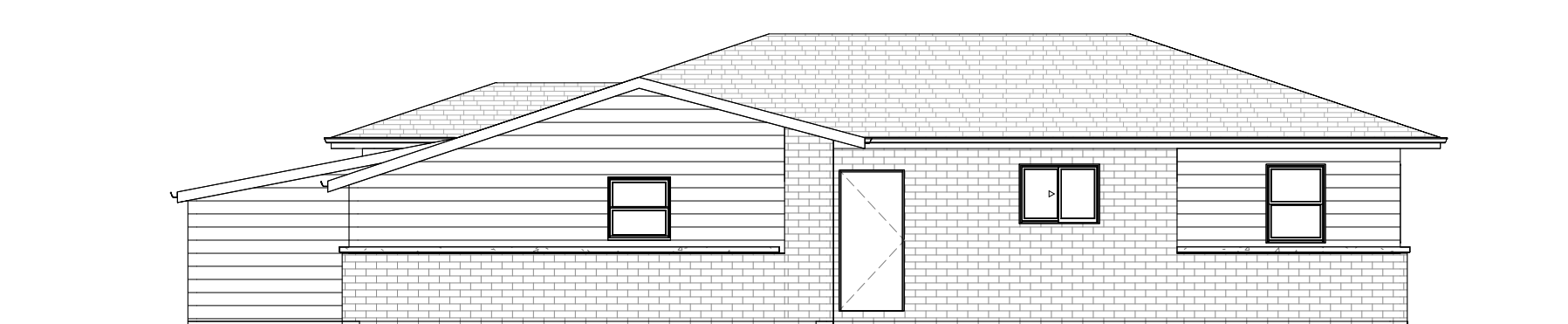
1 WEST ELEVATION - EXISTING FRONT
A1 1/8" = 1'-0"



2 EAST ELEVATION - EXISTING REAR
A1 1/8" = 1'-0"



3 SOUTH ELEVATION - EXISTING SIDE
A1 1/8" = 1'-0"



4 NORTH ELEVATION - EXISTING SIDE
A1 1/8" = 1'-0"



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SHEET TITLE
 EXISTING DRAWINGS

SHEET NUMBER

A1

**PLAT OF SURVEY
 NTS**

**ADDITION/
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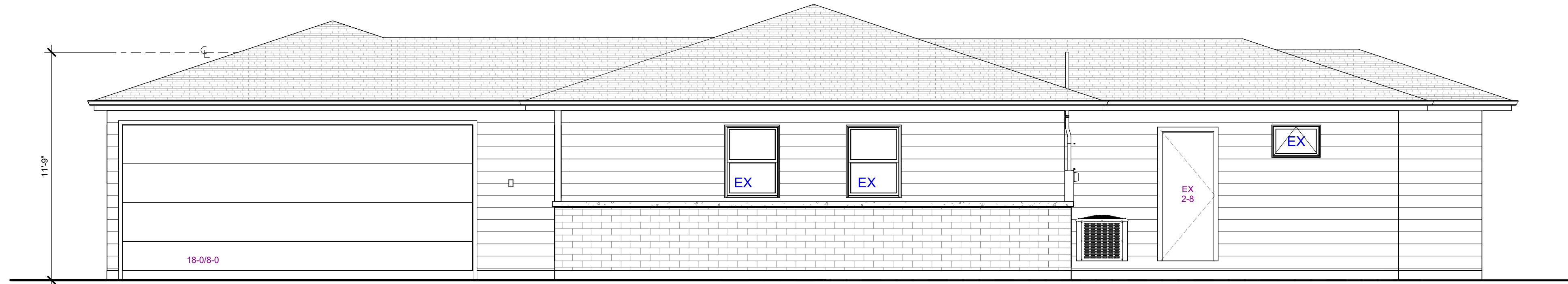
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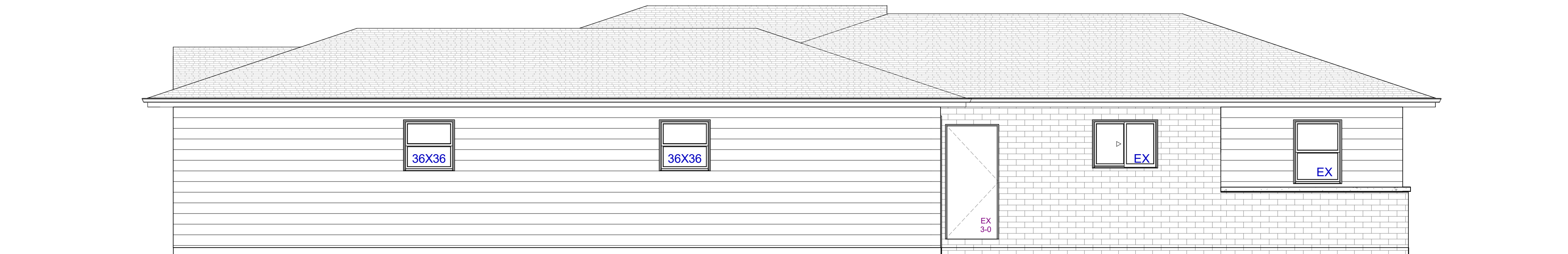
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1 WEST ELEVATION - PROPOSED FRONT
 A5 1/4" = 1'-0"



3 NORTH ELEVATION - PROPOSED SIDE
 A5 1/4" = 1'-0"

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.	LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)	[Hatch Pattern]	HORIZ LAP SIDING	MATCH EX	TRIM AND FASCIA	[Hatch Pattern]	TRIM	MATCH EX
SIDING (2)	[Hatch Pattern]	VERTICAL BOARD & BATTEN	MATCH EX	SOFFIT AND FASCIA	[Hatch Pattern]	ALUMINUM - VENTED	MATCH EX
SIDING (3)	[Hatch Pattern]	BRICK	MATCH EX	COLUMNS	[Hatch Pattern]	WHITE	MATCH EX
SIDING (4)	[Hatch Pattern]	SHAKE SIDING	MATCH EX	GUTTERS, DOWNSPOUTS	[Hatch Pattern]	ALUMINUM	MATCH EX
ROOFING (1)	[Hatch Pattern]	ASPHALT SHINGLES	MATCH EX	WINDOWS	[Hatch Pattern]	VINYL (INTERIOR - EXTERIOR -)	MATCH EX
ROOFING (2)	[Hatch Pattern]	STANDING SEAM METAL ROOFING	MATCH EX	DOORS	[Hatch Pattern]	STYLE TBD	MATCH EX

WINDOW NOTES:

- WINDOW SIZES - ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
- GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
- BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
- WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
- FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
- EGRESS WINDOW REQUIREMENTS
 PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
 PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
 A MINIMUM CLEAR WIDTH OF 20"
 A MINIMUM CLEAR HEIGHT OF 24"
 A SILL HEIGHT OF LESS THAN 44" AFF
- ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.30
- ALL BATHROOM GLASS AND GLASS IN AREAS OF HAZARD SHALL BE SAFETY GLAZING, PERMANENTLY ETCHED, AND THE ETCHING SHALL BE VISIBLE AFTER INSTALLATION TO VERIFY COMPLIANCE. SECTION: IRC R308.4
- E = EGRESS
 F = FROSTED PRIVACY GLASS
 T = TEMPERED SAFETY GLASS
 EX = EXISTING WINDOW TO REMAIN

NOT FOR CONSTRUCTION

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SHEET TITLE
 ELEVATIONS

SHEET NUMBER

A5

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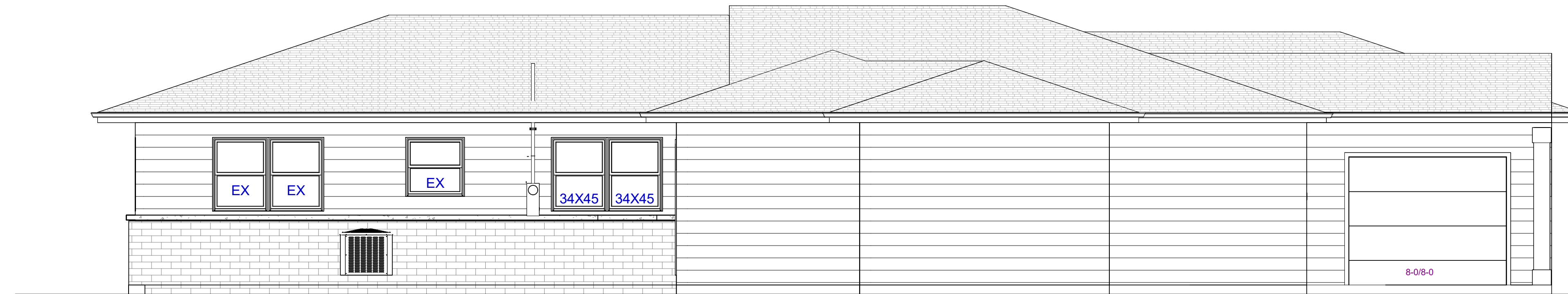
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1 EAST ELEVATION - PROPOSED REAR
 A6 1/4" = 1'-0"



2 SOUTH ELEVATION - PROPOSED SIDE
 A6 1/4" = 1'-0"

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SIDING (2)	[Hatch Pattern]	VERTICAL BOARD & BATTEN	MATCH EX	SOFFIT AND FASCIA	[Hatch Pattern]	ALUMINUM - VENTED	MATCH EX
SIDING (3)	[Hatch Pattern]	BRICK	MATCH EX	COLUMNS	[Hatch Pattern]	WHITE	MATCH EX
SIDING (4)	[Hatch Pattern]	SHAKE SIDING	MATCH EX	GUTTERS, DOWNSPOUTS	[Hatch Pattern]	ALUMINUM	MATCH EX
ROOFING (1)	[Hatch Pattern]	ASPHALT SHINGLES	MATCH EX	WINDOWS	[Hatch Pattern]	VINYL (INTERIOR - EXTERIOR -)	MATCH EX
ROOFING (2)	[Hatch Pattern]	STANDING SEAM METAL ROOFING	MATCH EX	DOORS	[Hatch Pattern]	STYLE TBD	MATCH EX

WINDOW NOTES:

- WINDOW SIZES - ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
- GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
- BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
- WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
- FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
- EGRESS WINDOW REQUIREMENTS
 PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
 PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
 A MINIMUM CLEAR WIDTH OF 20"
 A MINIMUM CLEAR HEIGHT OF 24"
 A SILL HEIGHT OF LESS THAN 44" AFF
- ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.30
- ALL BATHROOM GLASS AND GLASS IN AREAS OF HAZARD SHALL BE SAFETY GLAZING, PERMANENTLY ETCHED, AND THE ETCHING SHALL BE VISIBLE AFTER INSTALLATION TO VERIFY COMPLIANCE. SECTION: IRC R308.4
- E = EGRESS
 F = FROSTED PRIVACY GLASS
 T = TEMPERED SAFETY GLASS
 EX = EXISTING WINDOW TO REMAIN

NOT FOR CONSTRUCTION

THESE DRAWINGS ARE NOT APPROVED OR STAMPED FOR CONSTRUCTION AND ARE FOR CONCEPT/DESIGN/BIDDING PURPOSES ONLY. DIMENSIONS, HEIGHTS, FINISHES, AND UTILITY LOCATIONS TO BE VERIFIED.

SHEET TITLE
 ELEVATIONS

SHEET NUMBER

A6

To Whom It May Concern,

I am writing to express my support for my neighbor, Ross and Kate Chapman who reside at 1935 Maple Lane and their request for a variance from the Village of Arlington Heights zoning regulations to allow for the construction of a garage closer to the lot line than currently permitted.

As a nearby resident, I have no objections to the proposed placement of the garage. I believe the construction will be a positive addition to the property and will not negatively impact the character of the neighborhood, property values, or the use and enjoyment of surrounding homes. The proposed structure appears to be well-planned and considerate of adjacent properties.

I understand that the variance is required due to existing zoning setbacks, but in this case, I believe an exception is reasonable and appropriate. I fully support the Variance and Appeals Hearing (VAH) Board approving this request.

Please feel free to contact me if any further information or clarification is needed.

Brian Iversen

Name



Signature

194 E. Jonquil Ave - Arlington Hts IL 60004

Address

To Whom It May Concern,

I am writing to express my support for my neighbor, Ross and Kate Chapman who reside at 1935 Maple Lane and their request for a variance from the Village of Arlington Heights zoning regulations to allow for the construction of a garage closer to the lot line than currently permitted.

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Please feel free to contact me if any further information or clarification is needed.

Name Cindy Brubaker & Christopher Brubaker

Signature 

Address
1921 E. Jomquill Terrace
Arlington Heights, IL 60004



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
11/10/2025

Item: 905 N. Mitchell Ave. - ZBA25-038
Department: Planning & Community Development

Item Description:

REQUEST

- A 4.0-foot variance from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a detached garage to be constructed 1-foot from the rear property line where 5-feet is required.

ATTACHMENTS:

1. ZBA packet_905 N Mitchell Ave

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: November 10, 2025
Date Prepared: November 5, 2025
Project Title: Malloy Residence
Address: 905 N. Mitchell Ave.

Background Information

Petition Number: ZBA #25-038
Petitioner: Andrew Venamore – Heartland Garage
Address: 602 Academy Dr.
Northbrook IL 60062

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

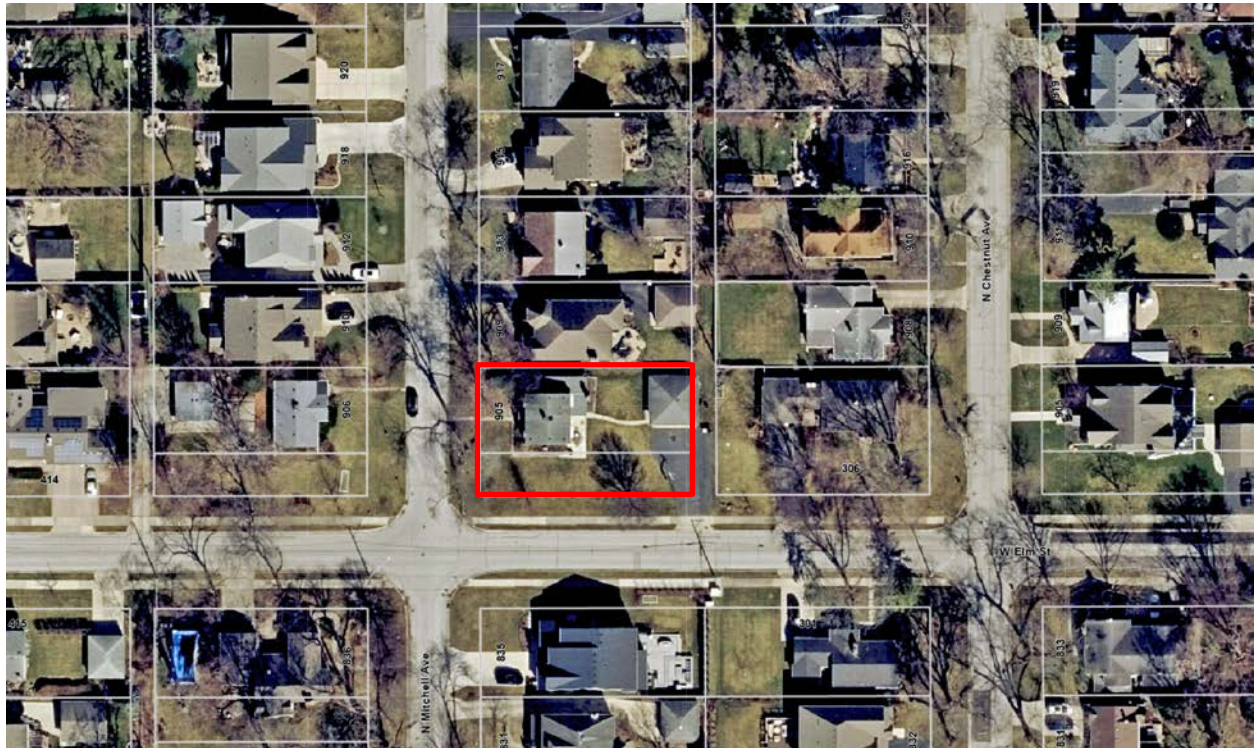
The petitioner is proposing a new detached garage located in the rear yard (east) of the corner lot property. The proposed 594 square-foot detached garage is located 1-foot from the rear property line where detached garages are required to maintain a rear setback of 5-feet. The rear property line is adjacent to a 14-foot unimproved alley, which is Village of Arlington Heights right-of-way. The petitioner is repositioning the existing driveway, which encroaches approximately 9-feet into this unimproved alley, to be fully on the subject property and matching the proposed garage width. Therefore, the petitioner is requesting the following variation:

- A 4.0-foot variance from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a detached garage to be constructed 1-foot from the rear property line where 5-feet is required.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	10/27/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/24/25	
3. Letter that was Mailed	✓	10/24/25	
4. Photographs of Sign on Property	✓	10/24/25	

Photographs of Existing Structure



Village of Arlington Heights



To: Sean Malloy (Owner) / Andrew Venamore (Petitioner)
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-038
Project: 905 N Mitchell Ave
Date: November 4, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 4.0-foot variance from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a detached garage to be constructed 1-foot from the rear property line where 5-feet is required.

If you have any questions, please contact dosoba@vah.com:

Planning and Community Development

1. The design of the proposed new garage has a nice appearance that matches the character of the house and the neighborhood. It is recommended that the materials and colors should be selected to match the existing house.

Building and Life Safety

1. No comments.

Engineering

1. No comments.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, November 10, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 4.0-foot variance from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a detached garage to be constructed 1-foot from the rear property line where 5-feet is required.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning-mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 22, Lot 23 and Lot 24 in Block 12 in Mitchell's Addition to Arlington Heights, being a subdivision of the Northeast ¼ of the Northeast ¼ of Section 30, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois.

Commonly known as: 905 N. Mitchell Avenue, Arlington Heights, IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Oct. 25, 2025 (310095)

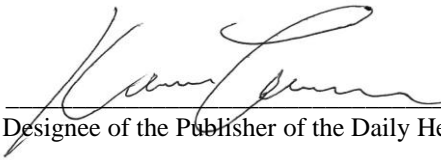
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 10/25/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 310095



PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner SEAN MALLOY
being the owner of the property commonly know as: 905 N. MITCHELL AVENUE
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a
Variation from Section 6.5-2
Chapter 28, of the Arlington Heights Municipal Code, in order to: CONSTRUCT A NEW DETACHED GARAGE WITH A 1.00' SETBACK FROM THE EAST/REAR PROPERTY LINE.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): PLEASE SEE ATTACHED EXPLANATION

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): PLEASE SEE ATTACHED EXPLANATION

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): PLEASE SEE ATTACHED EXPLANATION

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): PLEASE SEE ATTACHED EXPLANATION

Signed: _____ Date: 9/15/25
Petitioner

**EXPLANATION OF VARIATION
VILLAGE OF ARLINGTON HEIGHTS
905 N. Mitchell Avenue – Sean & Heather Malloy**

ZBA PROJECT DESCRIPTION

The owners at 905 N. Mitchell Avenue need to update their back yard layout and existing detached garage that is currently located in a very non-conforming condition.

As part of the rebuild, they intend to remove the garage from being located within the existing unimproved 14' alley and place the garage fully onto their property. Since the alley isn't being used (and will never be used) for vehicular access, the proposal for the replacement garage is to locate it closer to the rear (easterly) property line than would otherwise be permitted.

The proposed location would improve the situation as it currently exists and would be beneficial to the owner (more ideal location and reduced impervious coverage i.e., less run off) and to the public works department since they will have access back to the full width of the unimproved alley.

**EXPLANATION OF VARIATION
VILLAGE OF ARLINGTON HEIGHTS
905 N. Mitchell Avenue – Sean & Heather Malloy**

11. 2 Land Use Variations: In order to receive a variation, the Petitioner must provide support for each of the following factors:

(1) The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property:

The existing garage on the property is large, very non-conforming (in fact the structure is OVER the existing rear property line by +6”) and obstructs the effective utilization of this lot’s rear yard. As part of the overall lot’s redevelopment – the owner have recently wrapped up an addition to modernize the home; this final project’s goal is now to redevelop the older garage structure into something that is more effectively sized and that will allow for a reasonable rear yard to be established for this young family. There is an existing 14.00-foot unimproved alley that borders the lot to the east which will never be developed. The existing garage encroaches into that yard, while the proposed structure will maintain a 1.00-foot offset from it to ensure nothing encroaches into the easement. By relocating the new garage, the goal is to simultaneously eliminate a significantly non-conforming condition while improving the subject’s rear yard, thus maintaining the essential residential character of the R-3 zoning district.

Furthermore, in order to preserve an existing parkway tree, the new garage will be located 23.00 feet from the south (corner) property line whereas the ordinance would allow for the garage to be only 12.00 feet from that line. While the initial design phase considered that tree’s location, what was also pondered was the location of other structures along the north side of Elm Street and it was thought that keeping the 23.00-foot setback on this side of the street was important in the process of maintaining the character of the locale.

(2) The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned:

With a 14.00-foot wide unimproved alley on the east side of the lot, and perceivably no intention of the village ever improving that space for vehicular access, the owner is faced with removing an existing old non-conforming building and then pushing it 5.00 feet into the usable congregational space in their rear yard. While reducing the overall mass of the garage (by some 33 square feet) and moving the structure closer to Elm does have a beneficial impact, the impact on the rear yard if the strict application of the zoning ordinance requirements were to be enforced would create an unusual hardship on the owner compared to what is currently existing on the property.

**EXPLANATION OF VARIATION
VILLAGE OF ARLINGTON HEIGHTS
905 N. Mitchell Avenue – Sean & Heather Malloy**

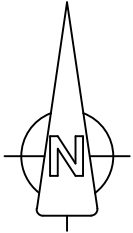
(3) The proposed variation is in harmony with the spirit and intent of this Chapter:

The ordinance's intent is to protect the character and stability of residentially zoned areas, and to conserve the taxable value of land and buildings throughout the village: this project seeks to accomplish those purposes with a replacement structure that will seem like it's always been part of the home and streetscape. The proposed garage will maintain the overall architectural style of the home, with the express intent of matching that existing style – in both design and materials. Also, by maintaining the overall height at the permitted 15.00 feet, the project will ensure the garage does not overwhelm the lot or adjacent residential nature of the area.

(4) The variance requested is the minimum variance necessary to allow reasonable use of the property:

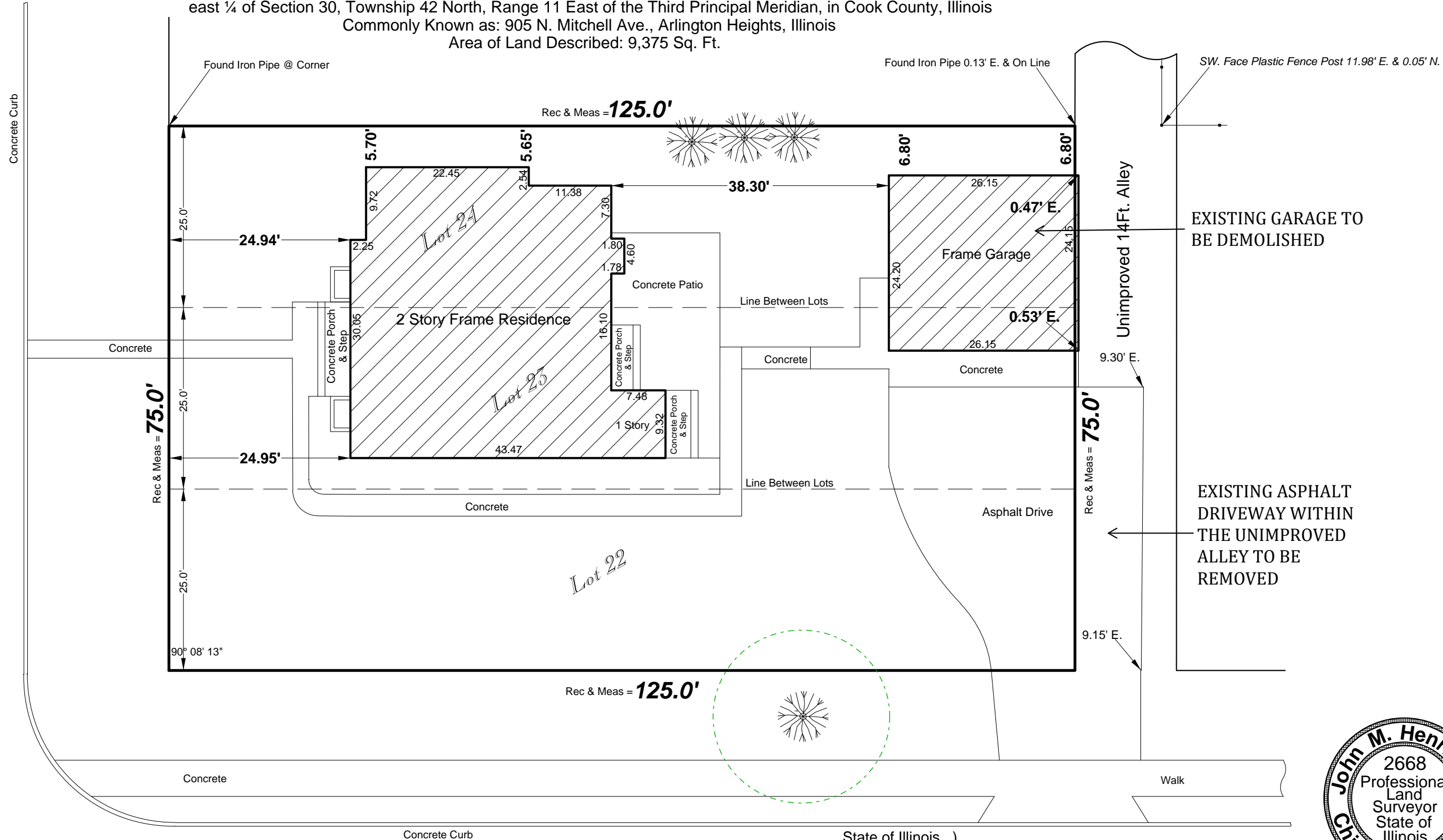
The single request for relief reflects the fact that the existing 14.00-foot easement to the east will never be utilized for public vehicular purposes and the proposed setback at 1.00-foot will improve the existing condition. With this proposed setback in addition to the relocation identified, the owners will be more effectively be able to use their rear yard space and so this request to the minimum necessary to achieve that goal.

Plat of Survey *by* Central Survey PLLC



Legal Description
Lots 22, 23 and 24 in Block 12 in Mitchell's Addition to Arlington Heights, a Subdivision in the Northeast ¼ of the North-east ¼ of Section 30, Township 42 North, Range 11 East of the Third Principal Meridian, in Cook County, Illinois
Commonly Known as: 905 N. Mitchell Ave., Arlington Heights, Illinois
Area of Land Described: 9,375 Sq. Ft.

N. Mitchell Ave.



- Legend**
- N. = North
 - S. = South
 - E. = East
 - W. = West
 - (TYP) = Typical
 - Rec = Record
 - Meas = Measure
 - St. = Street
 - Ave. = Avenue

Decimal/Inch Conversions		
0.01' = 1/8"	0.08' = 1"	0.58' = 7"
0.02' = 1/4"	0.17' = 2"	0.67' = 8"
0.03' = 3/8"	0.25' = 3"	0.75' = 9"
0.04' = 1/2"	0.33' = 4"	0.83' = 10"
0.05' = 5/8"	0.42' = 5"	0.92' = 11"
0.06' = 3/4"	0.50' = 6"	1.00' = 12"

NOTES:
Property corners were NOT staked per customer. Building lines and easements, if any, shown hereon are building lines and easements as shown on the recorded Subdivision plat.* Consult local authorities for building lines established by local ordinances.
*Compare all points before building and report any difference immediately. *Assume no dimension from scaling upon this plat.
*AutoCad file will not be provided under this contract.!

Scale: 1 Inch equals 30 Feet.
Ordered By: HGB's
Order Number: 905J

HGB EXISTING SITE PLAN

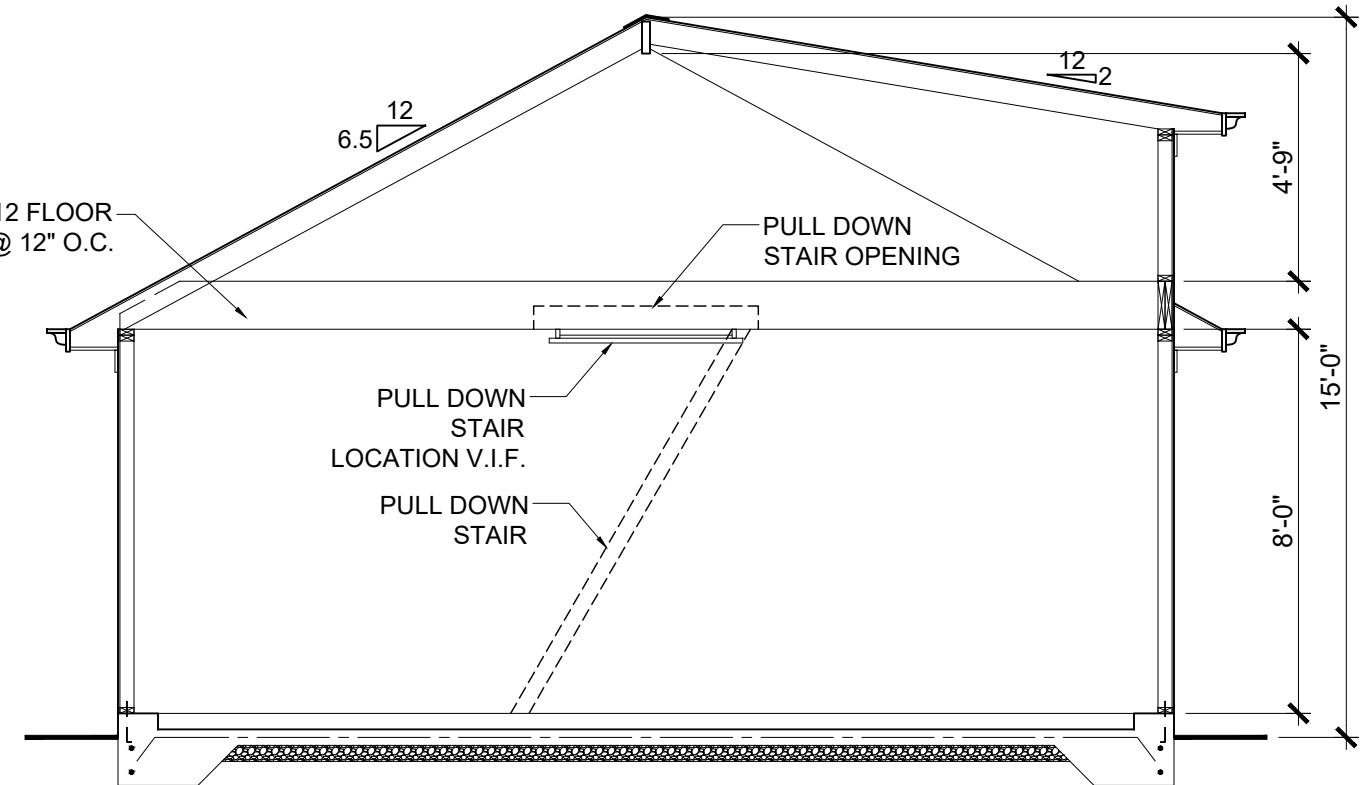
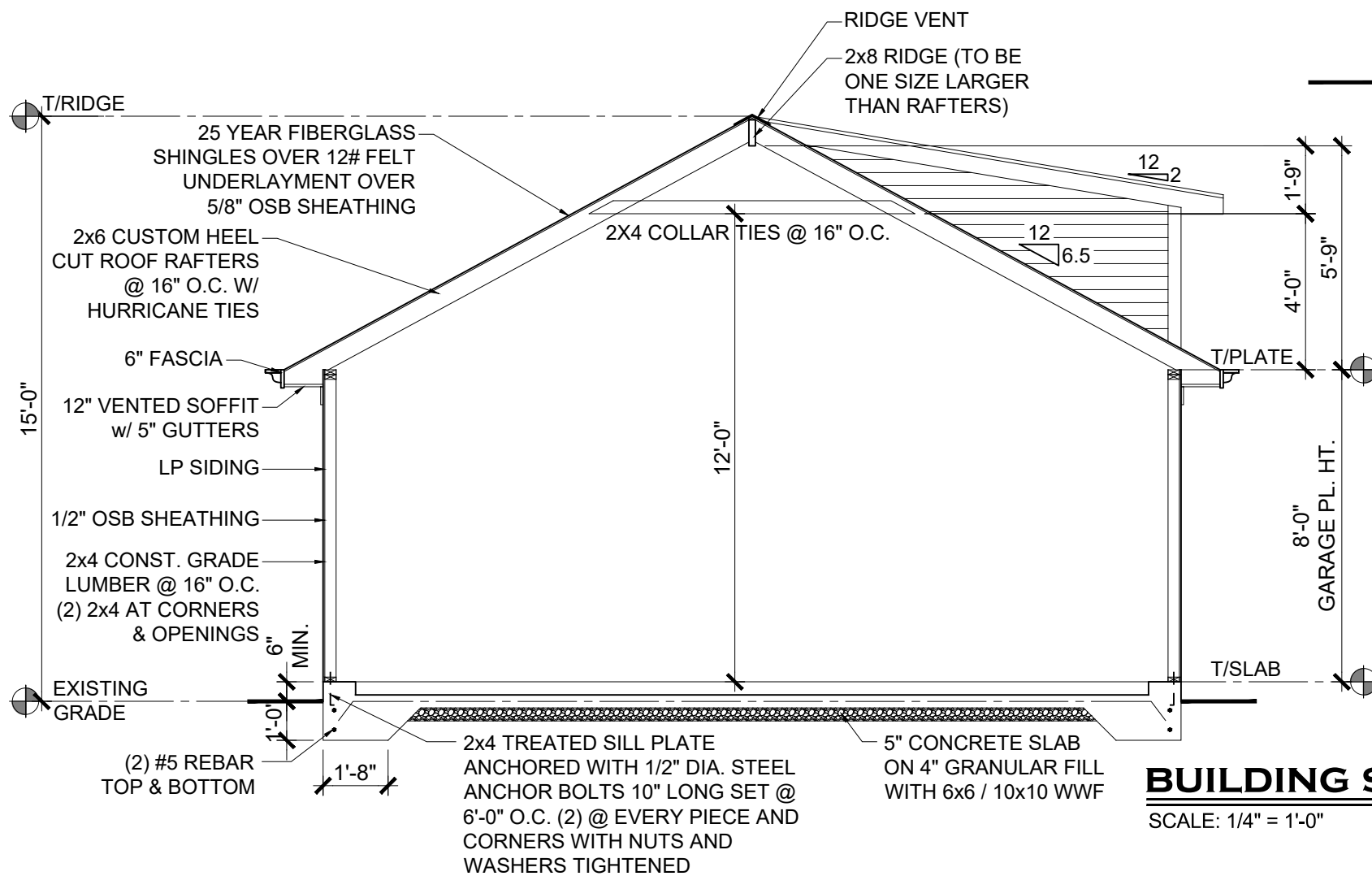
Elm Street

State of Illinois)
County of Cook) S.S.



Central Survey PLLC does hereby certify that an on the ground survey per record description of the land shown hereon was performed on August 12, 2025 and that the map or plat hereon drawn is a correct representation of said survey. When bearings are shown the bearing base is assumed. Dimensions are shown in feet and hundredths and are correct at a temperature of 68° Fahrenheit.

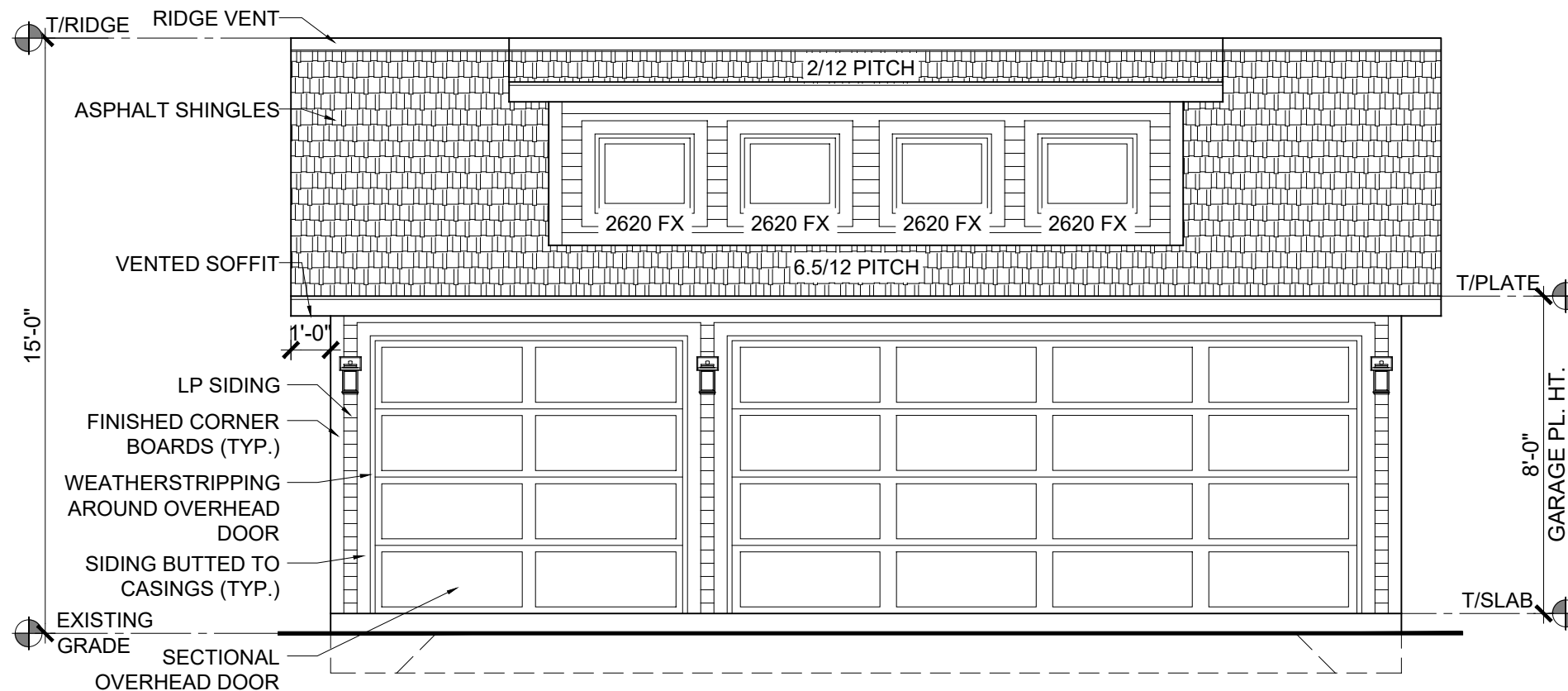
Dated this 12th day of August 2025
John M. Henriksen
John M. Henriksen P.L.S. #2668 (exp.11/30/2026) Professional Design Firm Land Surveying LLC (#184.005417)
This professional service conforms to current Illinois minimum standards for a boundary survey.



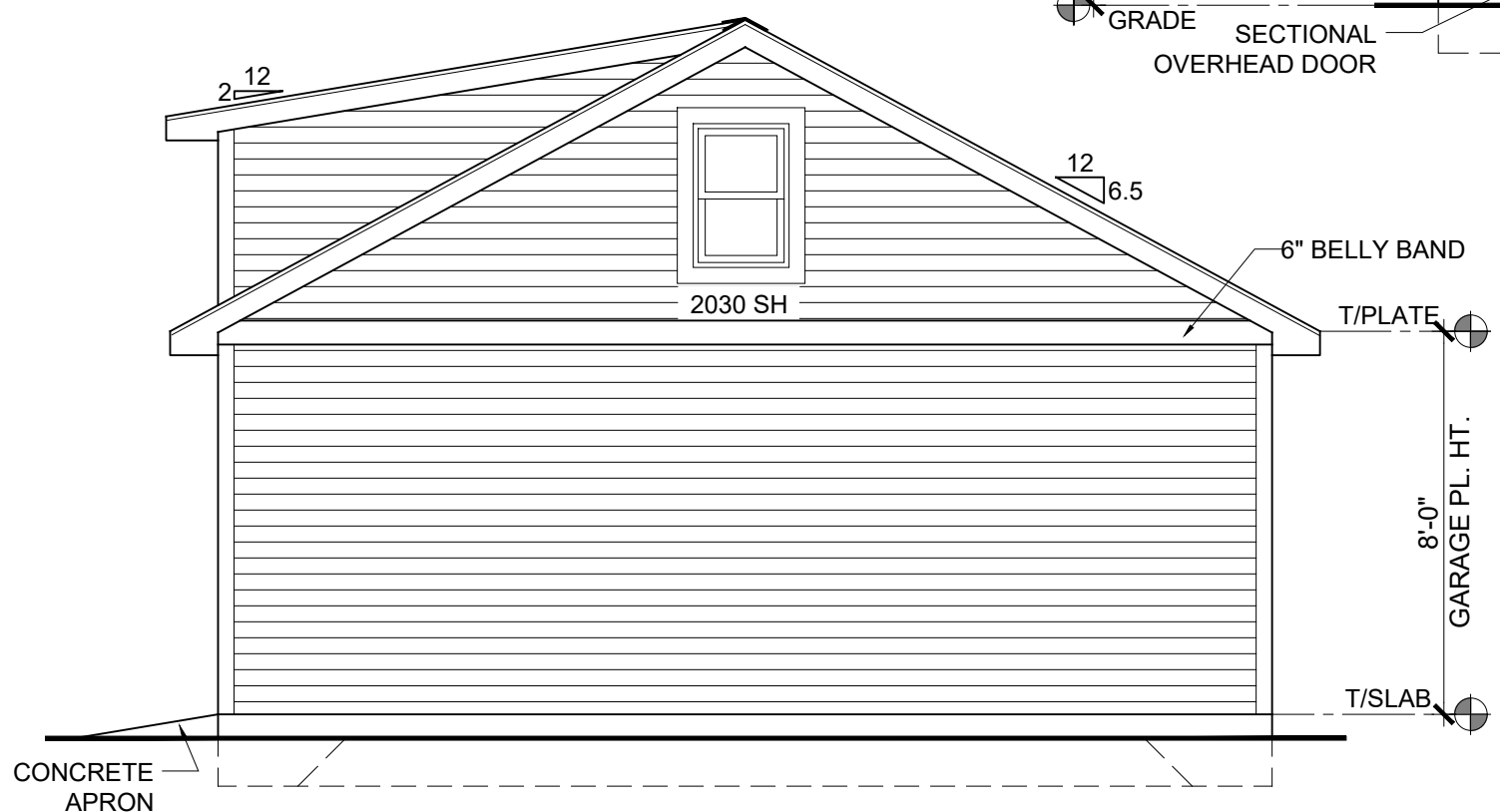
DETACHED GARAGE - REVERSE GABLE ROOF
905 N. MITCHELL AVENUE, ARLINGTON HEIGHTS
MALLOY RESIDENCE

CONTRACTOR:
HEARTLAND GARAGE BUILDERS
602 ACADEMY DRIVE
NORTHBROOK, IL 60062
PHONE: (224) 619-4539
EMAIL: INFO@HLGBS.COM

SHEET NAME:
BUILDING SECTIONS
SHEET NUMBER:
3 OF 5



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



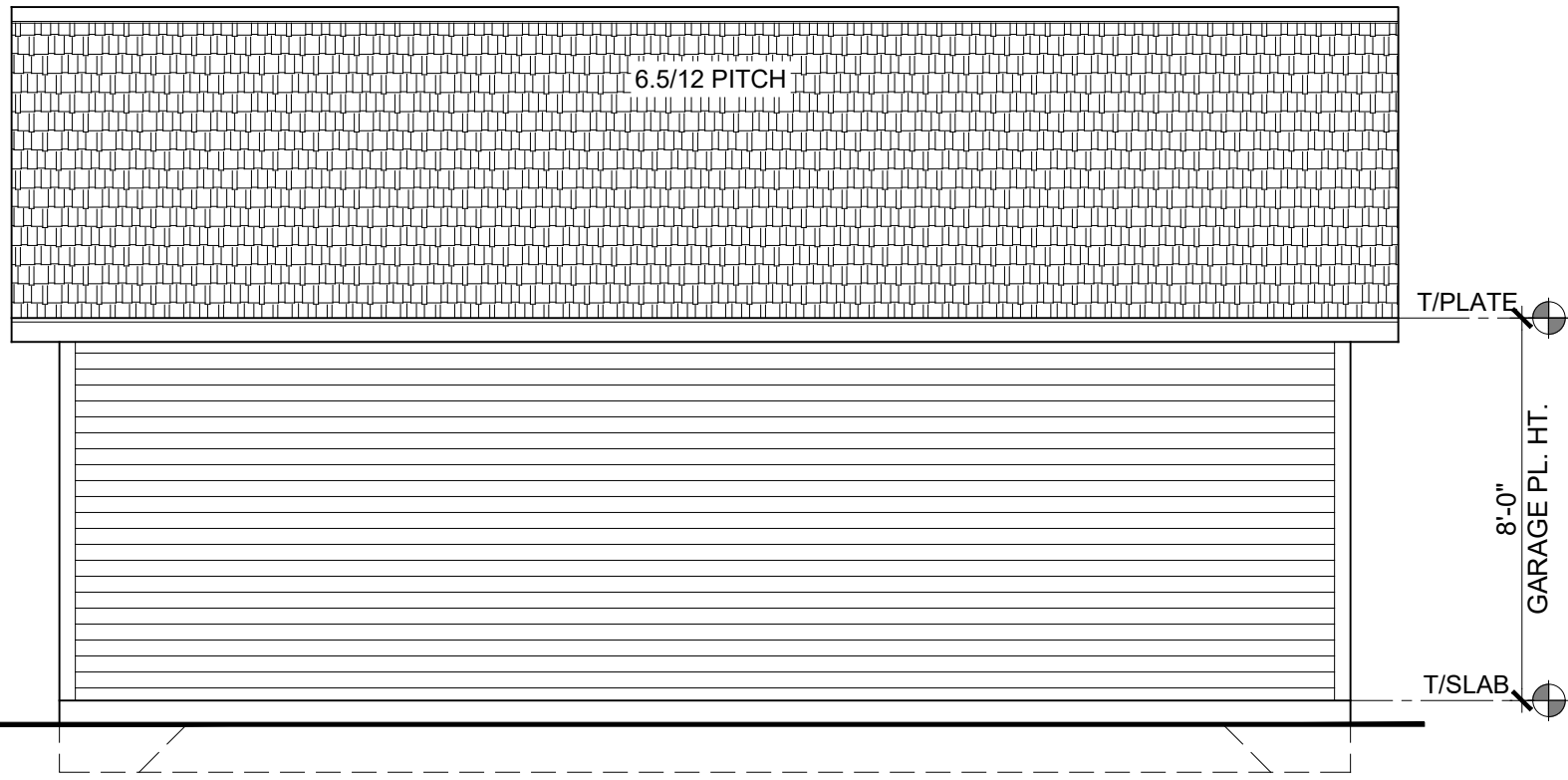
EAST ELEVATION
SCALE: 1/4" = 1'-0"



DETACHED GARAGE - REVERSE GABLE ROOF
905 N. MITCHELL AVENUE, ARLINGTON HEIGHTS
MALLOY RESIDENCE

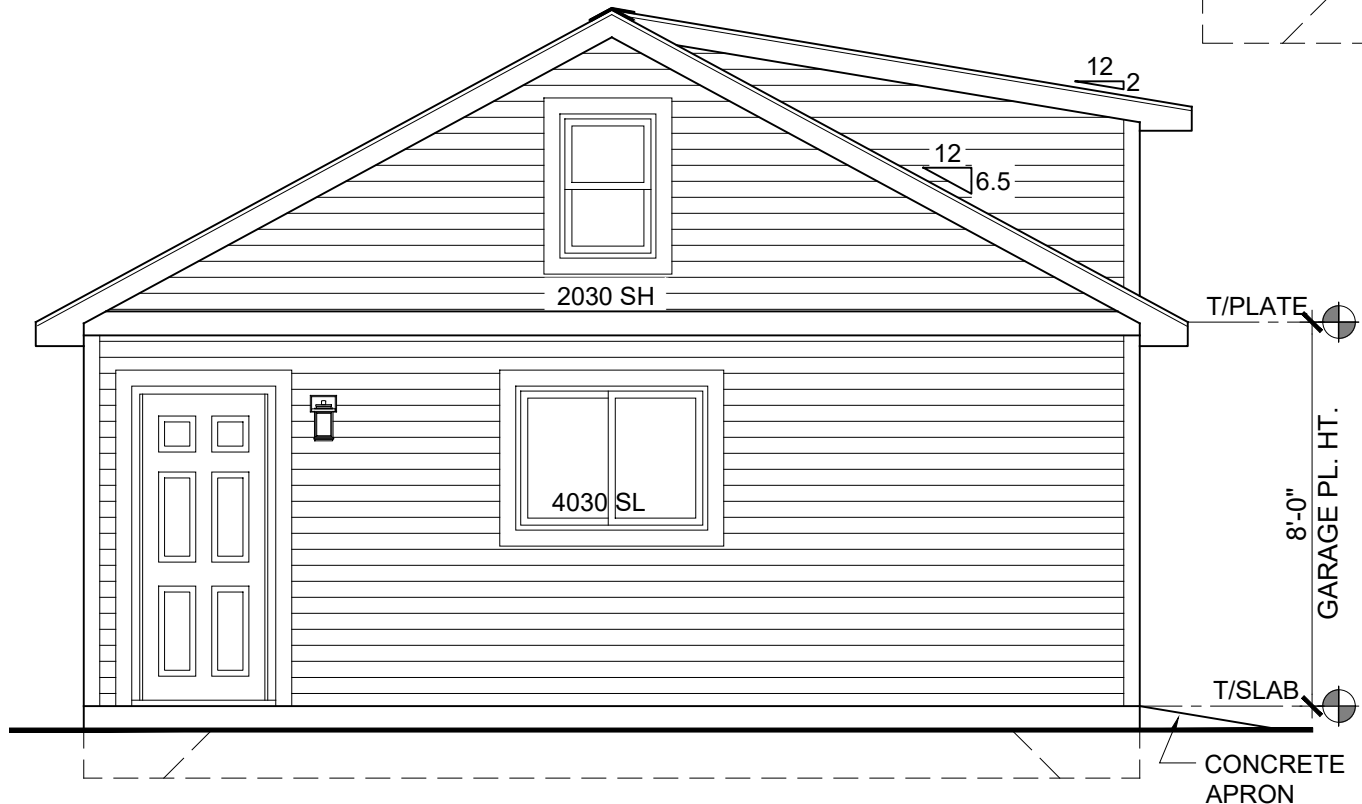
CONTRACTOR:
HEARTLAND GARAGE BUILDERS
602 ACADEMY DRIVE
NORTHBROOK, IL 60062
PHONE: (224) 619-4539
EMAIL: INFO@HLGBS.COM

SHEET NAME:
ELEVATIONS
SHEET NUMBER:
4 OF 5



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



DETACHED GARAGE - REVERSE GABLE ROOF

905 N. MITCHELL AVENUE, ARLINGTON HEIGHTS
MALLOY RESIDENCE

CONTRACTOR:
HEARTLAND GARAGE BUILDERS
602 ACADEMY DRIVE
NORTHBROOK, IL 60062
PHONE: (224) 619-4539
EMAIL: INFO@HLGBS.COM

SHEET NAME:
ELEVATIONS
SHEET NUMBER:
5 OF 5

THESE PLANS REMAIN THE PROPERTY OF MACH 1, INC. AND THEIR REPRODUCTION IS EXPRESSLY FORBIDDEN.

Standard Application on Concrete Foundations

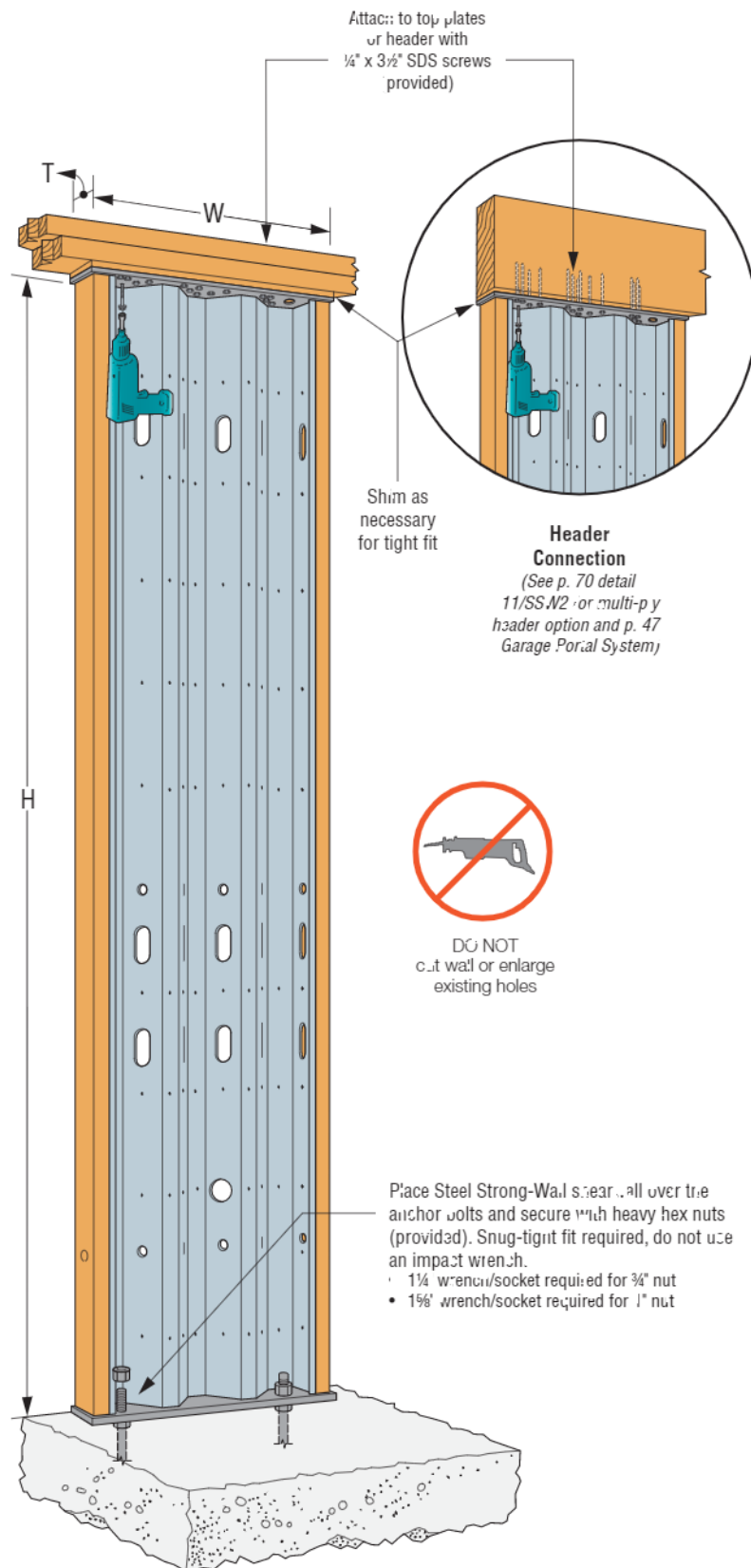


Installation Information

- Do not cut the Steel Strong-Wall® or enlarge existing holes. Doing so will compromise the performance of the wall.
- Do not use an impact wrench to tighten nuts on the anchor bolts.
- Maximum shim thickness between the Steel Strong-Wall and top plates or header is 7/16" using Simpson Strong-Tie® Strong-Drive® 1/4" x 3 1/2" SDS Heavy-Duty Connector screws. For top of wall height adjustment, see detail 5/SSW2 on p. 69.
- Walls with 2x4 preattached studs may also be used in 2x6 or 2x8 wall framing. Install the wall flush to one face of the framing and add furring to the opposite side.
- Walls may be installed with solid or multi-ply headers, see detail 11/SSW2 on p. 70 for details.

Steel Strong-Wall® Product Data

Model No.	W (in.)	H (in.)	T (in.)	Anchor bolts Qty	Anchor Dia. (in.)	Number of Screws in Top of Wall	Total Wall Weight (lb.)
SSW12x7	12	80	3 1/2	2	3/4	4	74
SSW15x7	15	80	3 1/2	2	1	6	86
SSW18x7	18	80	3 1/2	2	1	9	99
SSW21x7	21	80	3 1/2	2	1	12	117
SSW24x7	24	80	3 1/2	2	1	14	127
SSW12x7.4	12	85 1/2	3 1/2	2	3/4	4	78
SSW15x7.4	15	85 1/2	3 1/2	2	1	6	91
SSW18x7.4	18	85 1/2	3 1/2	2	1	9	104
SSW21x7.4	21	85 1/2	3 1/2	2	1	12	122
SSW24x7.4	24	85 1/2	3 1/2	2	1	14	134
SSW12x8	12	90 1/4	3 1/2	2	3/4	4	85
SSW15x8	15	90 1/4	3 1/2	2	1	6	99
SSW18x8	18	90 1/4	3 1/2	2	1	9	113
SSW21x8	21	90 1/4	3 1/2	2	1	12	132
SSW24x8	24	90 1/4	3 1/2	2	1	14	144
SSW12x9	12	105 1/4	3 1/2	2	3/4	4	94
SSW15x9	15	105 1/4	3 1/2	2	1	6	110
SSW18x9	18	105 1/4	3 1/2	2	1	9	125
SSW21x9	21	105 1/4	3 1/2	2	1	12	147
SSW24x9	24	105 1/4	3 1/2	2	1	14	160
SSW12x10	12	117 1/4	3 1/2	2	3/4	4	104
SSW15x10	15	117 1/4	3 1/2	2	1	6	121
SSW18x10	18	117 1/4	3 1/2	2	1	9	138
SSW21x10	21	117 1/4	3 1/2	2	1	12	162
SSW24x10	24	117 1/4	3 1/2	2	1	14	177
SSW15x11	15	129 1/4	5 1/2	2	1	6	148
SSW18x11	18	129 1/4	5 1/2	2	1	9	167
SSW21x11	21	129 1/4	5 1/2	2	1	12	193
SSW24x11	24	129 1/4	5 1/2	2	1	14	209
SSW15x12	15	141 1/4	5 1/2	2	1	6	160
SSW18x12	18	141 1/4	5 1/2	2	1	9	180
SSW21x12	21	141 1/4	5 1/2	2	1	12	206
SSW24x12	24	141 1/4	5 1/2	2	1	14	225
SSW18x13	18	153 1/4	5 1/2	2	1	9	194
SSW21x13	21	153 1/4	5 1/2	2	1	12	224
SSW24x13	24	153 1/4	5 1/2	2	1	14	243



Standard Installation
US Patent 8,281,551
Canadian Patent 2,489,845

Standard Application on Concrete Foundations



Simpson Strong-Tie® Steel Strong-Wall® shearwalls provide superior performance, design flexibility and ease of installation. All Steel Strong-Wall shearwalls are evaluated to the 2018 IRC/IBC and are listed by ICC-ES.

Material: Vertical Panel—10 gauge

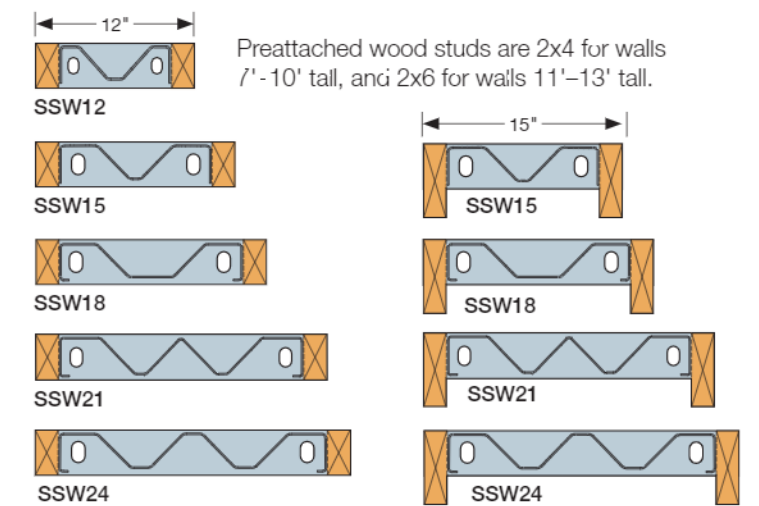
Finish: Vertical Panel—Galvanized

Top and Base Plates—Simpson Strong-Tie gray paint

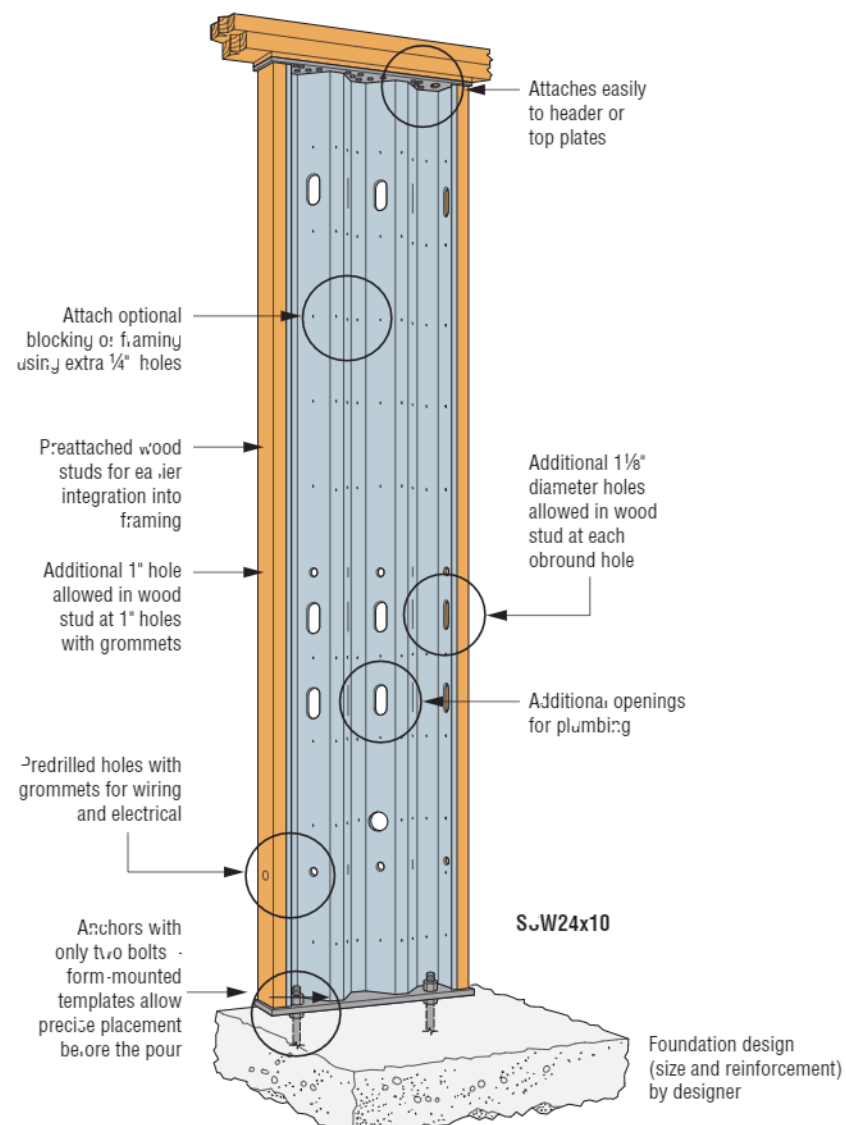
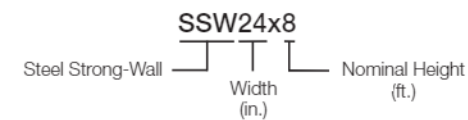
Codes: ICC-ES ESR-1679;

City of LA Building Code Supplement
State of Florida FL5113

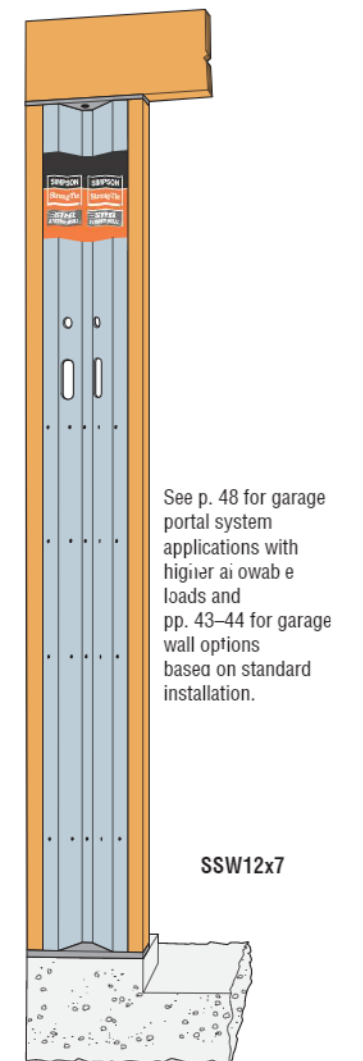
Wall Profiles



Naming Legend



Standard Installation
US Patent 8,281,551
Canadian Patent 2,489,845



Garage Installation
US Patent 8,281,551
Canadian Patent 2,489,845



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
11/10/2025**

Item: 6 S. Windsor Dr. - ZBA25-040
Department: Planning & Community Development

Item Description:

REQUEST

A 1.75 -foot variation from Chapter 28, Section 5.1-3.3(a) (Required Minimum Yards) to allow an addition set back 25 feet from the front lot line where 26.75 feet is required, and an additional 1.67 feet for the eave.

ATTACHMENTS:

1. ZBA packet_6 S Windsor Dr

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Darko Bojin, Planner
Hearing Date: November 10, 2025
Date Prepared: November 3, 2025
Project Title: Laatsch Residence
Address: 6 S. Windsor Dr.

Background Information

Petition Number: ZBA #25-040
Petitioner: Robert Flubacker Architects
Address: 1895 Rohlwing Rd, Suite B
Rolling Meadows IL 60008

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

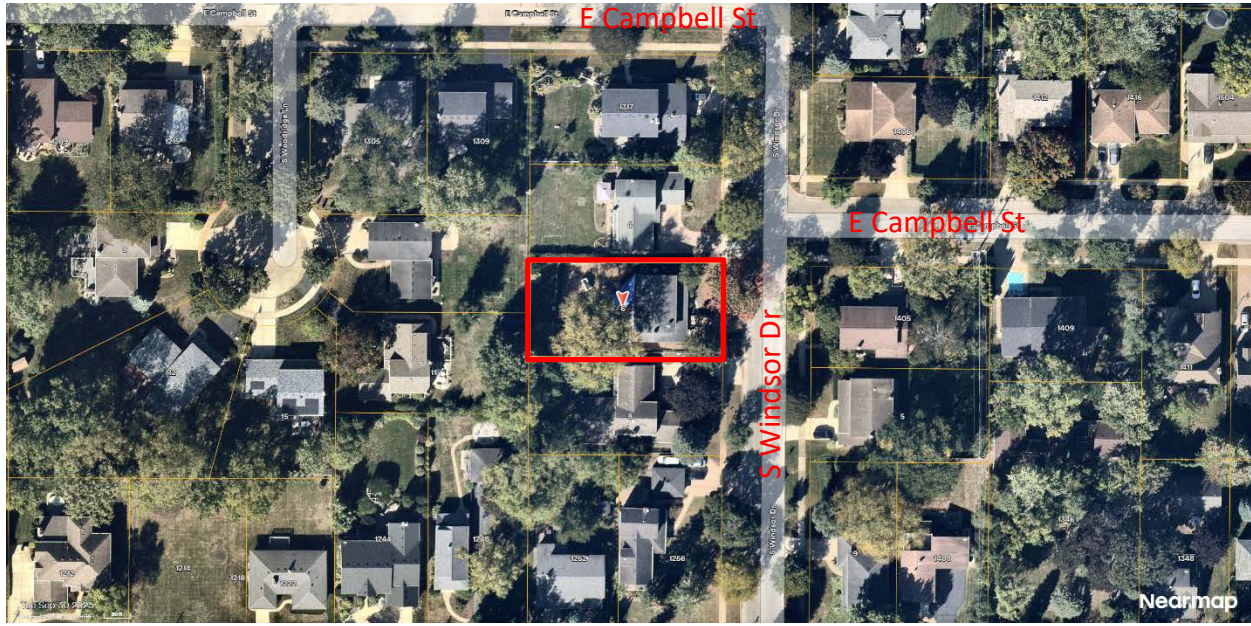
The property is zoned R-3 and has a total land area of approximately 10,407 square feet. As part of a larger renovation project, the petitioner is proposing to construct an addition (porch) in the front yard. The proposed addition will be set back 25 feet from the front lot line where 26.75 feet is required. Therefore, the petitioner is requesting the following variation:

- A 1.75 -foot variation from Chapter 28, Section 5.1-3.3(a) (Required Minimum Yards) to allow an addition set back 25 feet from the front lot line where 26.75 feet is required, and an additional 1.67 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	10.24.25	
2. List of Property Owners Within 250 feet of Subject Property	✓	10.24.25	
3. Letter that was Mailed	✓	10.24.25	
4. Photographs of Sign on Property	✓	10.24.25	

Photographs of Existing Structure



Village of Arlington Heights



To: Robert Flubacker
From: Darko Bojin
Department: Department of Planning and Community Development
File Number: ZBA 25-040
Project: 6 S. Windsor Dr.
Date: November 3, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 1.75 -foot variation from Chapter 28, Section 5.1-3.3(a) (Required Minimum Yards) to allow an addition set back 25 feet from the front lot line where 26.75 feet is required, and an additional 1.67 feet for the eave

If you have any questions, please contact dbojin@vah.com:

Planning and Community Development

1. This project previously received an Administrative (Staff) design approval when the porch had a flush, code compliant design. The proposed small porch bump-out is substantially compliant with the previously approved design, so a new Design Commission application is not required. Staff has no objection to the proposed minor front porch encroachment.

Building and Life Safety

1. No comments.

Engineering

1. No comments.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, November 10, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 1.75-foot variation from Chapter 28, Section 5.1-3.3(a) (Required Minimum Yards) to allow an addition set back 25 feet from the front lot line where 26.75 feet is required, and an additional 1.67 feet for the eave.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning_mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 4 in Greene's Resubdivision of the south 644.85 feet of the east 1/2 of Lot 12 in A.T. McIntosh's Arlington Heights Farms, a subdivision of the south 1/2 of the southwest 1/4 of Section 28, Township 42 North, Range 11, East of the Third Principal Meridian, also of the southeast 1/4 of the southeast 1/4 of Section 29, Township 42 North, Range 11, east of the Third Principal Meridian, in Cook County, Illinois.

Commonly known as: 6 S. Windsor Drive, Arlington Heights, IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Oct. 25, 2025 (310096)

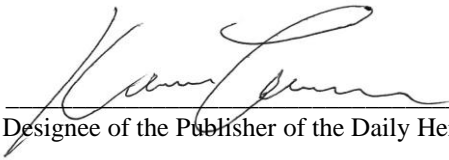
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 10/25/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY  _____
Designee of the Publisher of the Daily Herald

Control # 310096



ZONING BOARD OF APPEALS

PETITION

NOW COMES the Petitioner, **Robert Flubacker**, being the petitioner of the property commonly known as: **6 South Windsor Drive**, and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for variations from, **Section 5.1-3.3(a) Required Minimum Yards-Front Yard**, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Construct a covered front porch, with the supporting columns encroaching 1 foot-9 inches into the established 26 foot-9 inches front yard setback and the eave, overhang and gutters projecting 1 foot-8 inches beyond the face of the porch columns.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variations were granted:

The use of the existing house is not changing and the surrounding neighborhood has single-family homes of a widely varied mix of sizes and shapes. The proposed work is an enhancement to the existing porch and the existing architectural character of the home.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned:

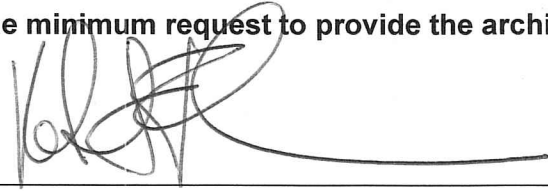
The property has a 25 foot Building Line from the original Plat of Subdivision. Through no fault of the current or former owners, various houses on the same block were constructed with a setback greater than 25 feet. The Village Code requiring the use of an established front yard setback denies the owner full benefit of the originally intended Building Line.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter:

With the exception of the variation requested, the project falls below the other zoning requirements. The project maintains the character of the neighborhood, while providing enhanced aesthetic appeal of the front of the house.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property:

This is the minimum request to provide the architectural enhancement designed.

Signed: 
Robert Flubacker, Petitioner

Date: 9.30.25.

ANTON J. ADAMS

Registered Land Surveyor

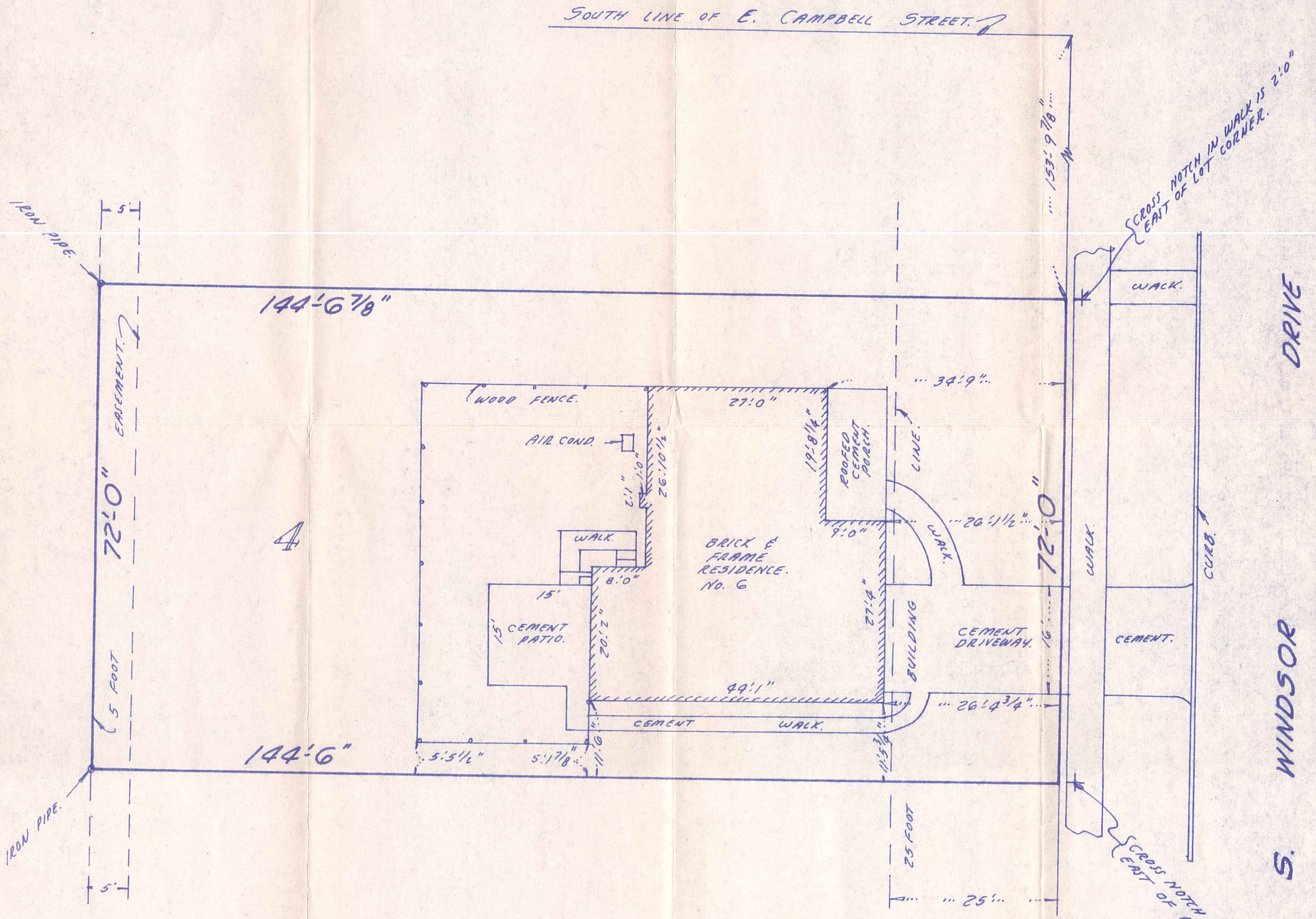
301 NORTH WILLE STREET, MOUNT PROSPECT, ILLINOIS 60056

Phone: CLEARBROOK 5-3512



PLAT OF SURVEY

Lot 4 in GREENE'S RESUBDIVISION of the South 644.85 feet of the East 1/2 of Lot 12 in A. T. McIntosh's Arlington Heights Farms, a Subdivision of the South 1/2 of the Southwest 1/4 of Section 28, Township 42 North, Range 11 East of the Third Principal Meridian, also of the Southeast 1/4 of the Southeast 1/4 of Section 29, Township 42 North, Range 11 East of the Third Principal Meridian, in Cook County, Illinois.



Scale: 1 inch = 15 FEET

Order No. 19504

Field book 42-11-K page 123

Ordered by: HAAS & HAAS

CAUTION: Compare description in this plat with your deed, abstract or certificate of title; also compare all points before building by same and at once report any difference. Building lines shown only where they are so recorded in the maps; otherwise refer to your deed, abstract, or Zoning Board.

Survey brought up to date to show all improvements on Nov. 9th. 1907

STATE OF ILLINOIS
COUNTY OF COOK

Anton J. Adams
ss: Registered Illinois Land Surveyor #1423

I, ANTON J. ADAMS, Illinois Land Surveyor, hereby certify that I have surveyed the property described above and that the plat hereon drawn is a correct representation of said survey. All measurements corrected to the standard at 62 degrees Fahrenheit.

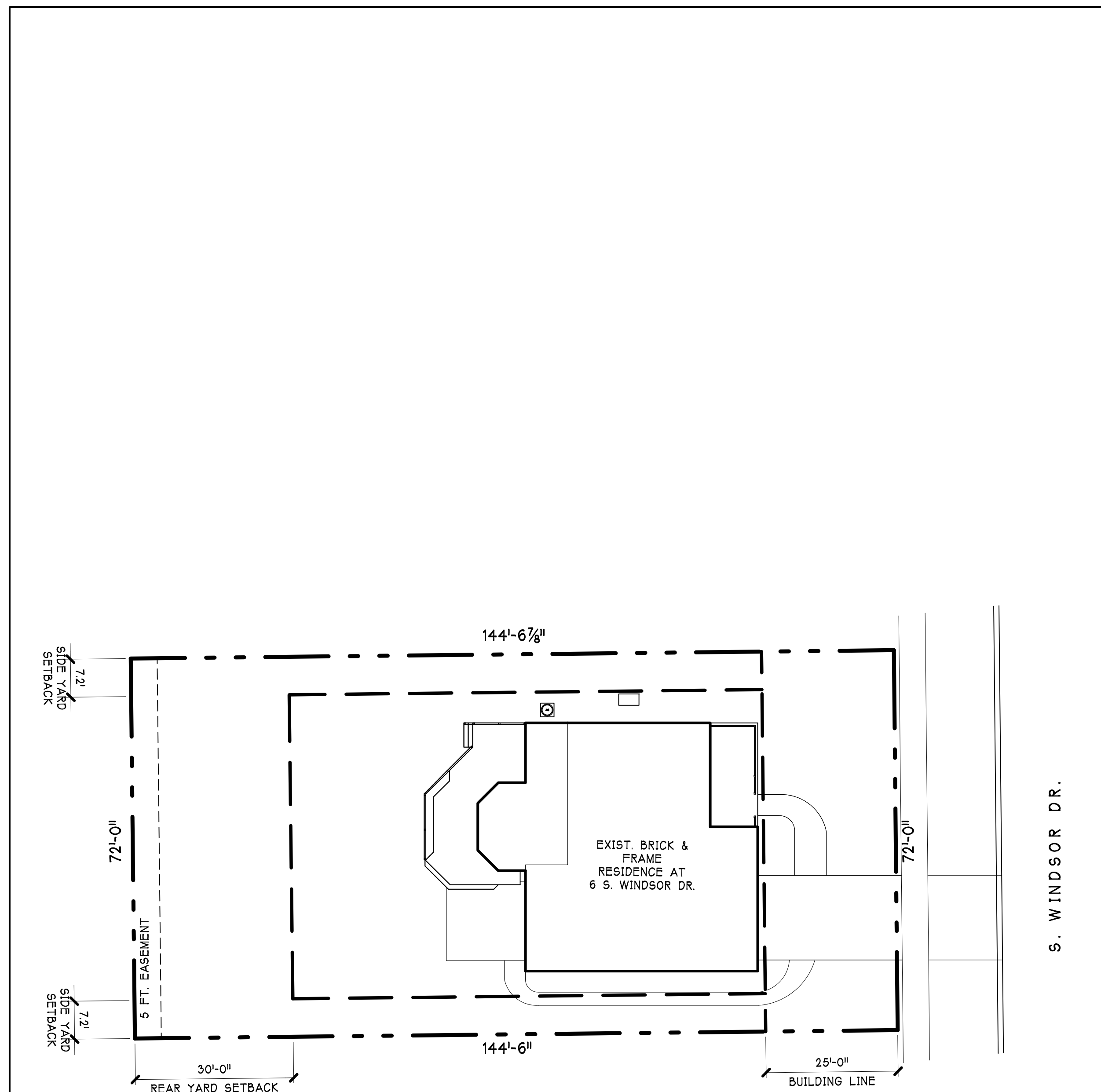
MOUNT PROSPECT, ILLINOIS, July 3rd. A.D. 1907.

Anton J. Adams
Registered Illinois Land Surveyor No. 1423

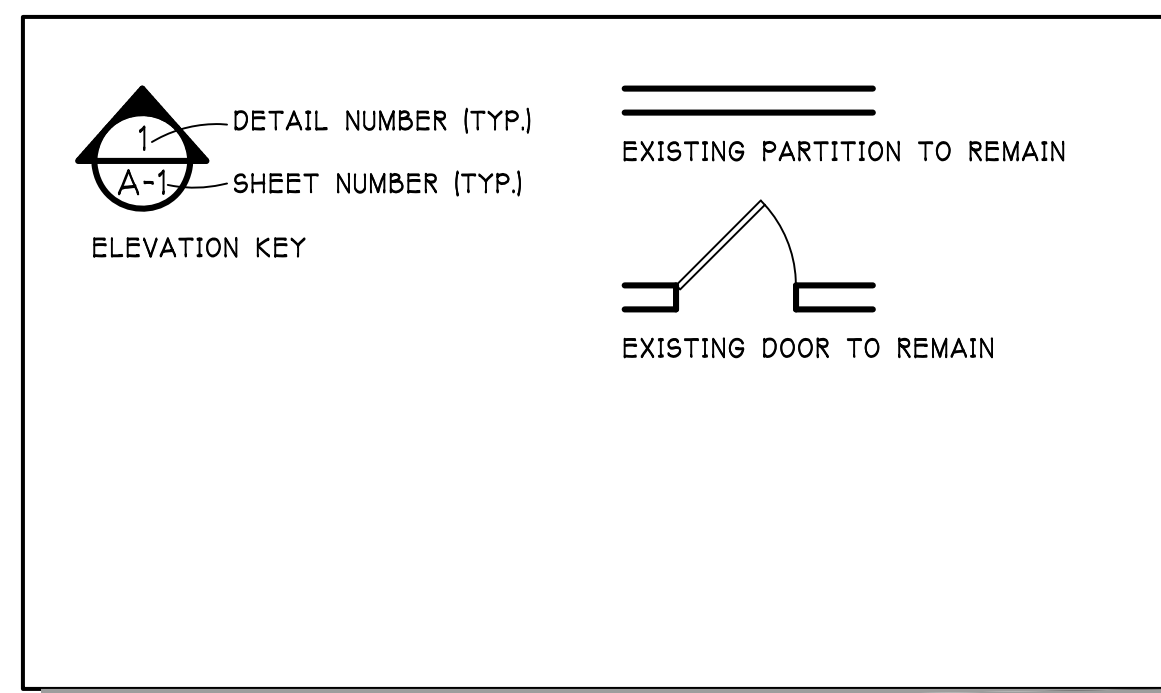
DRIVE
S. WINDSOR

ALTERATIONS AND ADDITIONS FOR
THE LAATSCH RESIDENCE
 6 S. WINDSOR DR.
 ARLINGTON HTS., ILLINOIS

SITE PLAN

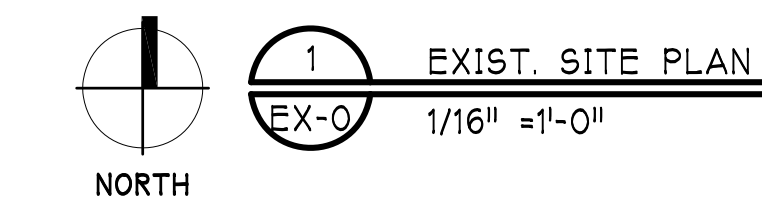


SYMBOLS

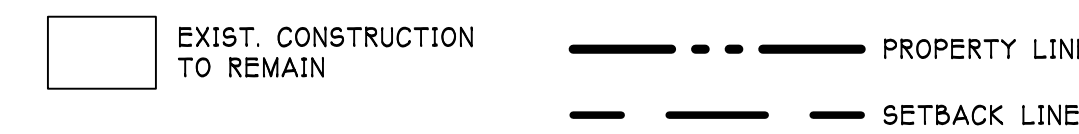


LIST OF DRAWINGS

EX-0	TITLE SHEET / EXIST. SITE PLAN
EX-1	EXIST. FIRST FLOOR PLAN
EX-2	EXIST. BASEMENT PLAN / EXIST. SECOND FLOOR PLAN
EX-3	EXIST. EXTERIOR ELEVATIONS



SITE PLAN LEGEND:

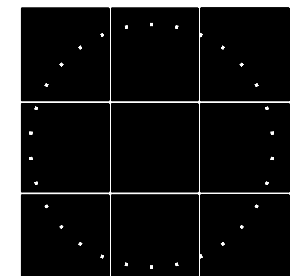


CODE REVIEW

ZONING	R-3, SINGLE-FAMILY	
LOT AREA	10,407 SQ.FT.	
BUILDING AREAS	EXISTING	ALLOWED
FIRST FLOOR	1,623 SQ.FT.	
ATTACHED GARAGE	404 SQ.FT.	
SECOND FLOOR	1,079 SQ.FT.	
ACCESSORY STRUCTURES	NONE	
DRIVEWAY	421 SQ.FT.	
FRONT PORCH	177 SQ.FT.	
FRONT WALK	107 SQ.FT.	
SIDE WALK & PATIO	385 SQ.FT.	
REAR DECK	378 SQ.FT.	
FLOOR AREA RATIO (FAR)	2,706 SQ.FT.	4,601 SQ.FT.
BUILDING LOT COVERAGE	2,204 SQ.FT.	3,642 SQ.FT.
IMPERVIOUS SURFACE COVER.	3,495 SQ.FT.	5,204 SQ.FT.
BUILDING HEIGHT	21.5 FT.	25 FT.

Date	Description
10/28/24	EXIST.
12/3/24	ELEVS.

REA



ROBERT
FLUBACKER
ARCHITECTS
LIMITED

1895-B Rohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

IL Design Firm
#184.001489
Expire: 4/30/2025

ALTERATIONS AND ADDITION FOR
THE LAATSCH RESIDENCE
6 S. WINDSOR DR.
ARLINGTON HTS., ILLINOIS 60005

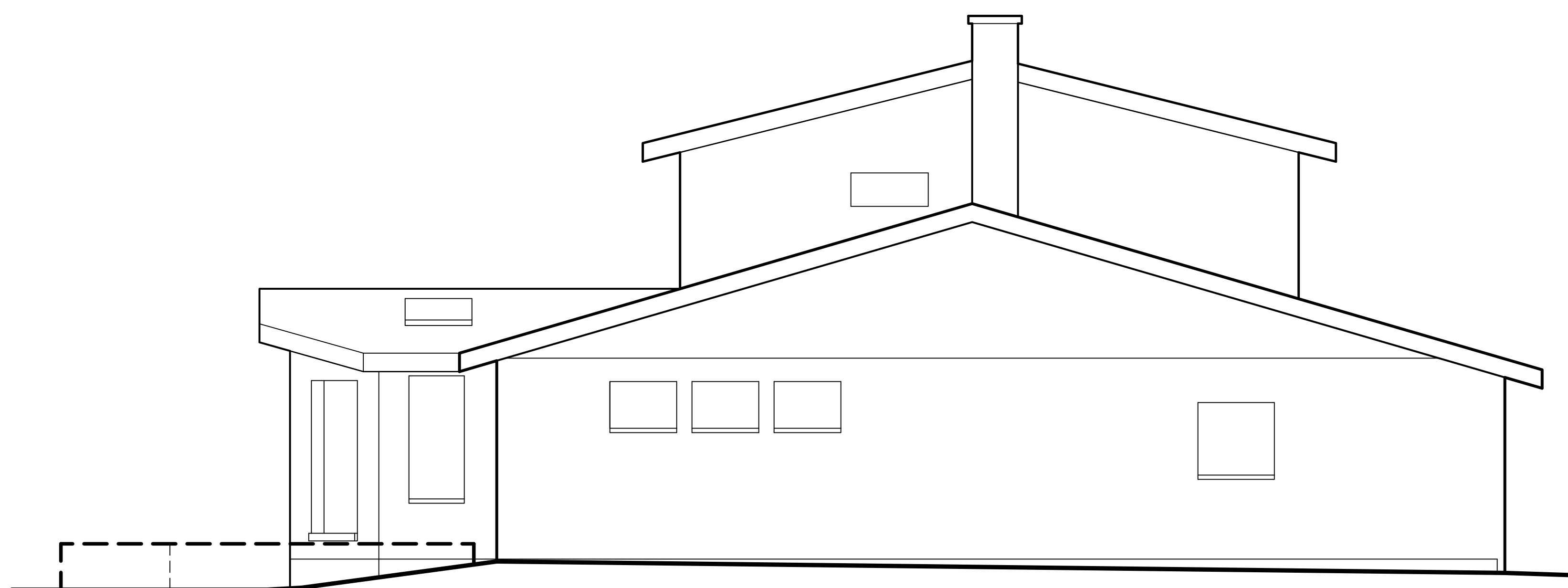
Date	Description
12/3/24	ELEVS.

© 2024 R.F.A. LTD.

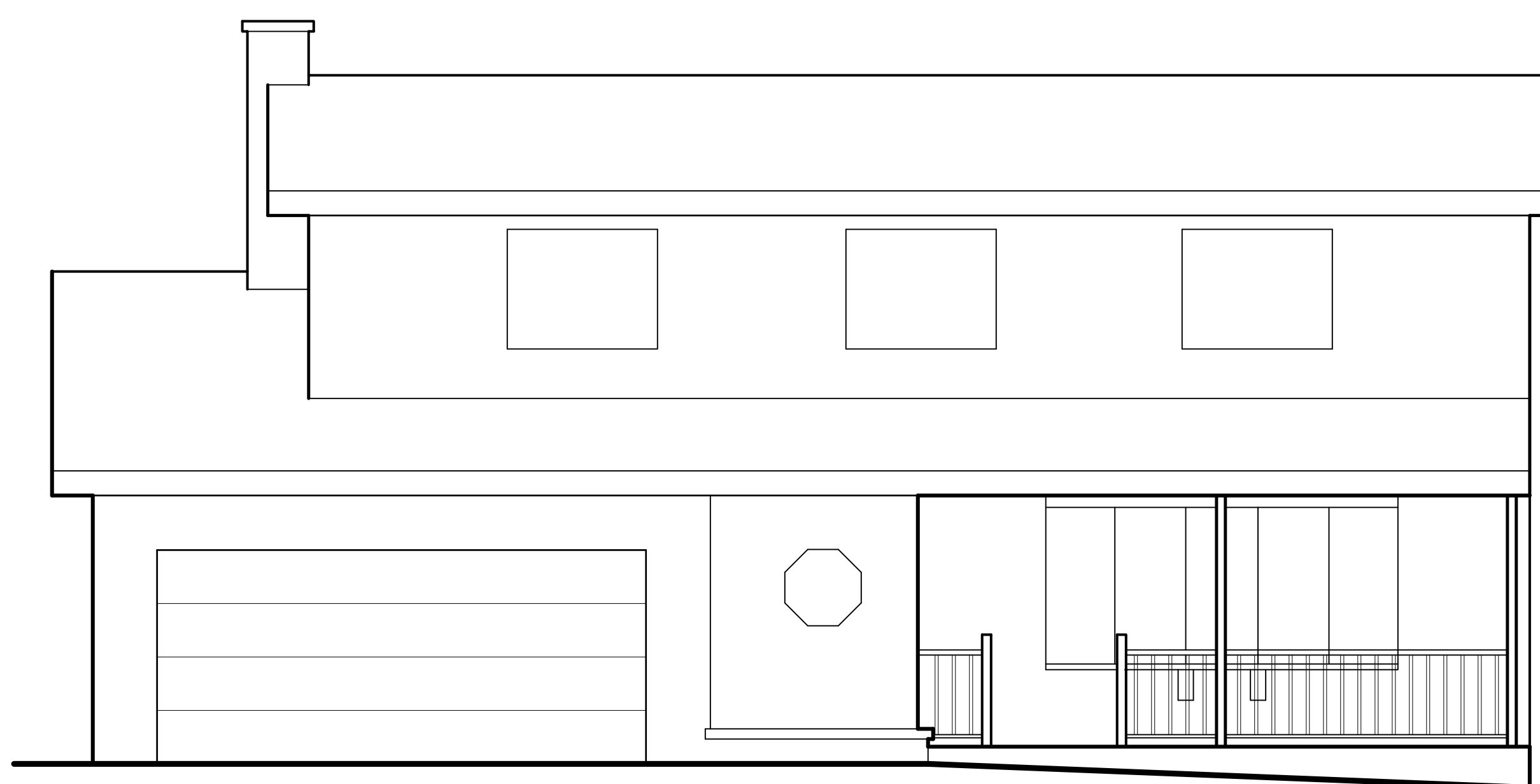
Project Number

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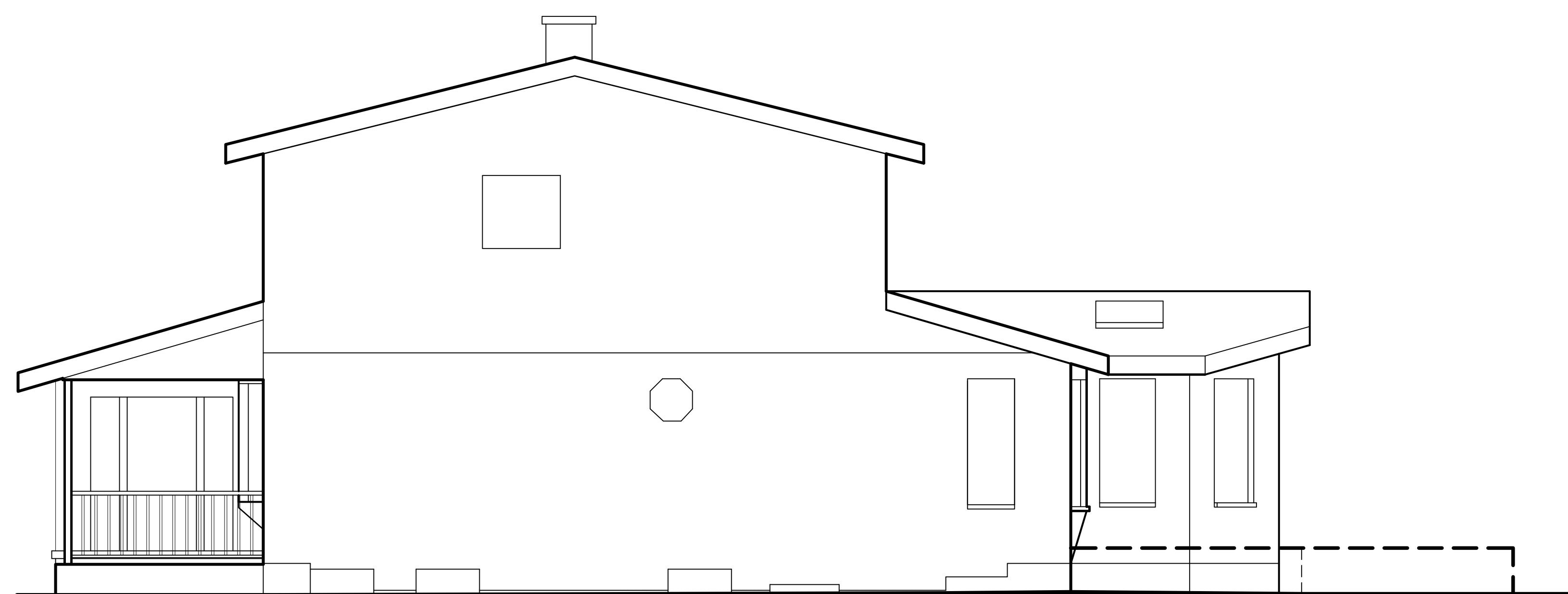
EX-3



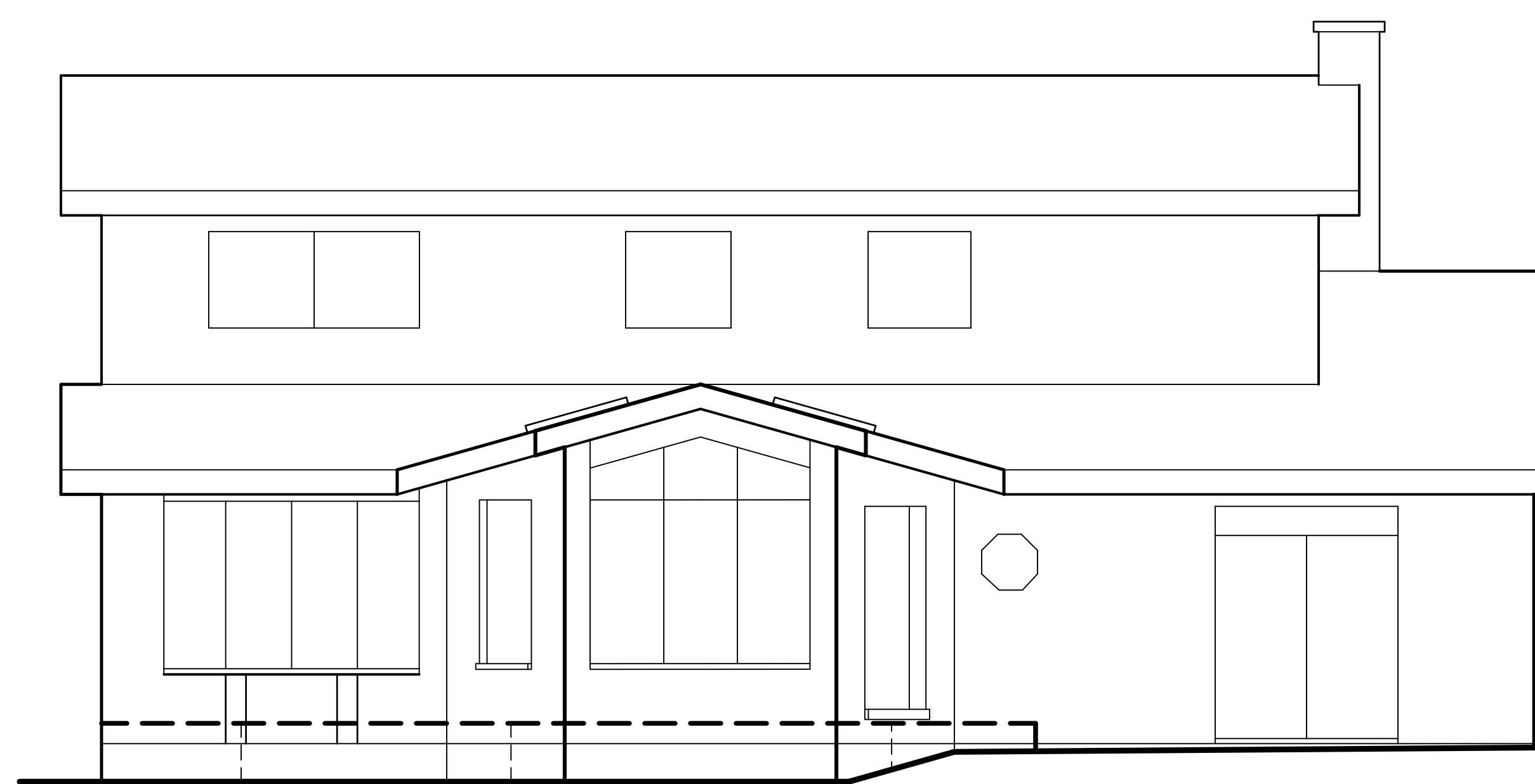
1 EXIST. SOUTH ELEVATION
EX-3 1/4" = 1'-0"



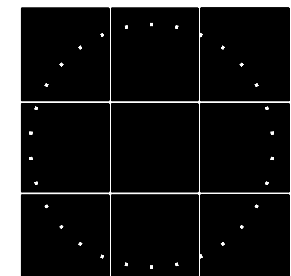
2 EXIST. EAST ELEVATION
EX-3 1/4" = 1'-0"



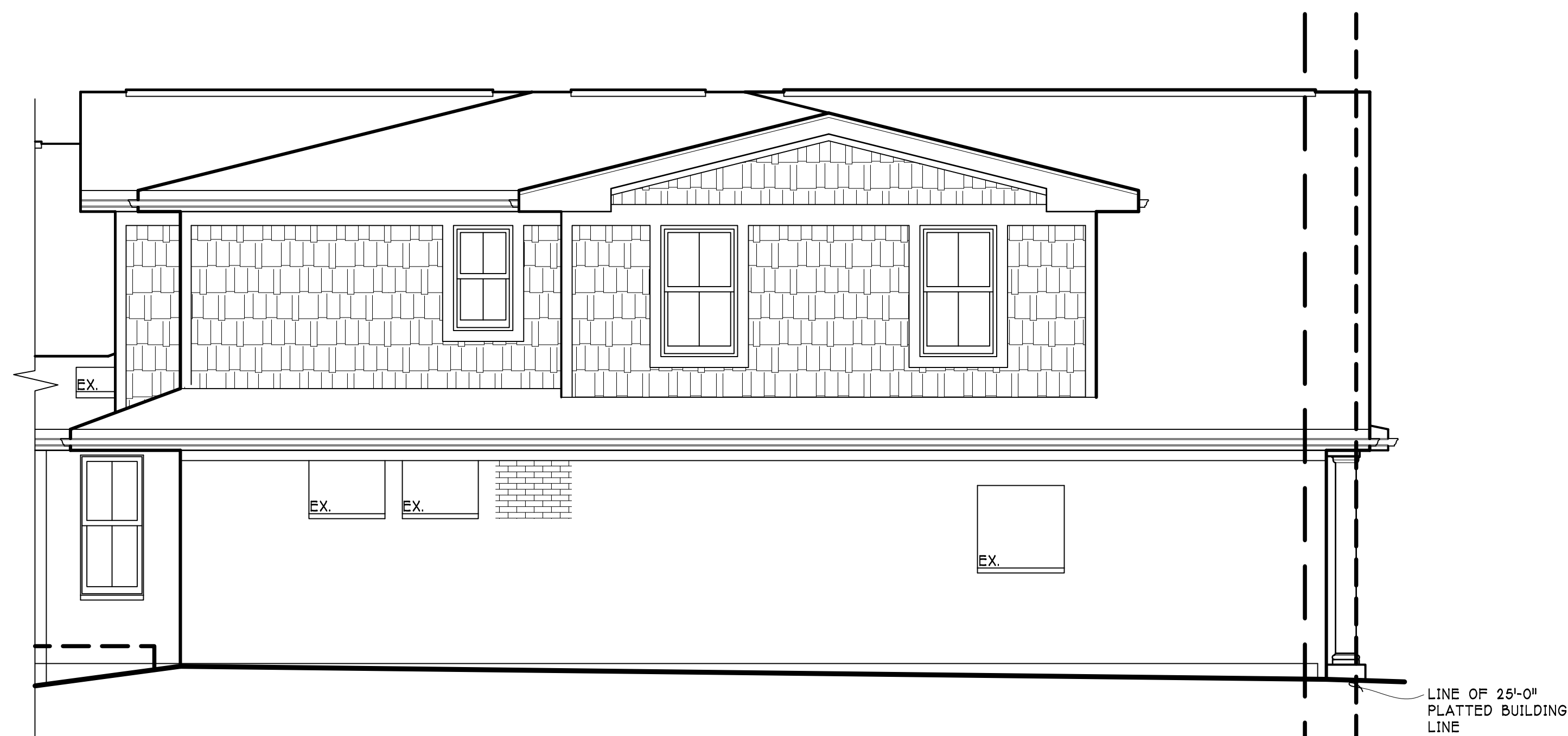
3 EXIST. NORTH ELEVATION
EX-3 1/4" = 1'-0"



4 EXIST. WEST ELEVATION
EX-3 1/4" = 1'-0"



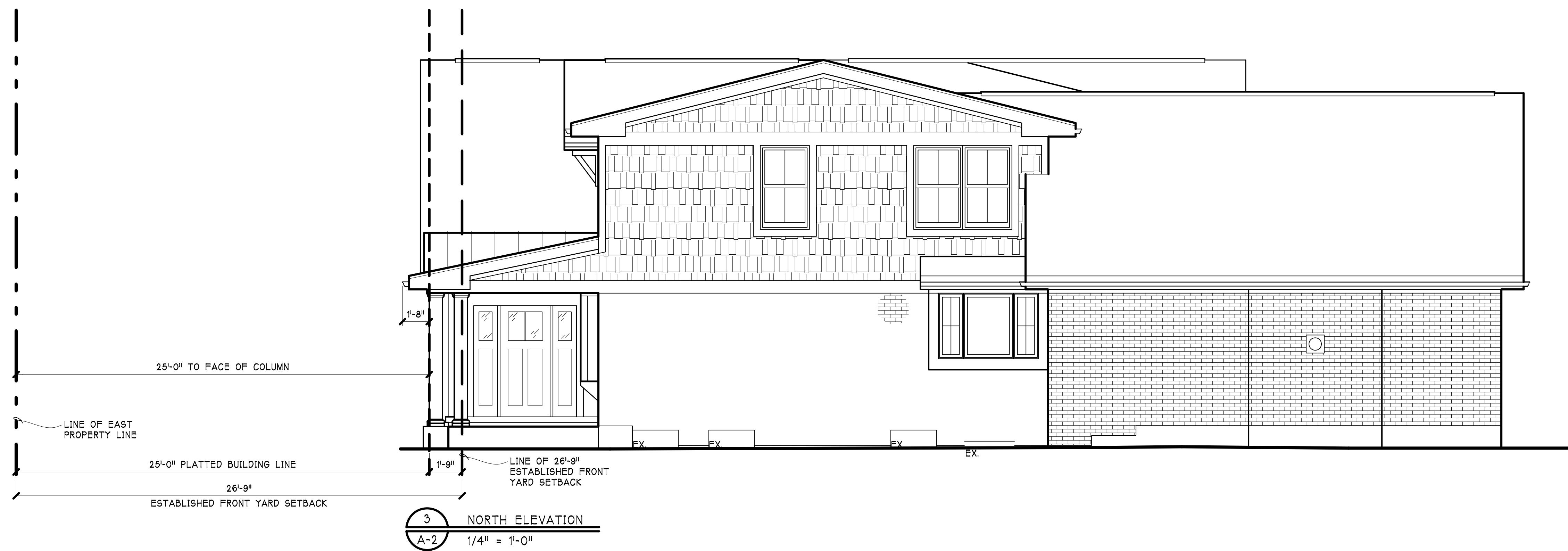
Date	Description
9/30/25	ZBA



1 SOUTH ELEVATION
A-2 1/4" = 1'-0"



2 EAST ELEVATION
A-2 1/4" = 1'-0"



3 NORTH ELEVATION
A-2 1/4" = 1'-0"



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
11/10/2025

Item: 234 S. Dunton Ave. - ZBA25-041
Department: Planning & Community Development

Item Description:

REQUEST

- A 4.67-foot variation from Chapter 28, Section 6.5-6 (Accessory Structures) to allow an accessory structure 19 feet-8 inches in height where accessory structures may not exceed 15 feet in height.
- A 280 square-foot variation from Chapter 28, Section 6.5-7(a) (Accessory Structures) to allow a detached garage 1,000 square feet in area where detached garages may not exceed 720 square feet in area.

ATTACHMENTS:

1. ZBA packet_234 S Dunton Ave

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Darko Bojin, Planner
Hearing Date: November 10, 2025
Date Prepared: November 3, 2025
Project Title: Sluga Residence
Address: 234 S. Dunton Ave.

Background Information

Petition Number: ZBA #25-041
Petitioner: Robert Flubacker Architects
Address: 1895 Rohlwing Rd, Suite B
Rolling Meadows IL 60008

Existing Zoning: R-6 – Residential Multi-Family District

Requested Action/Background Information

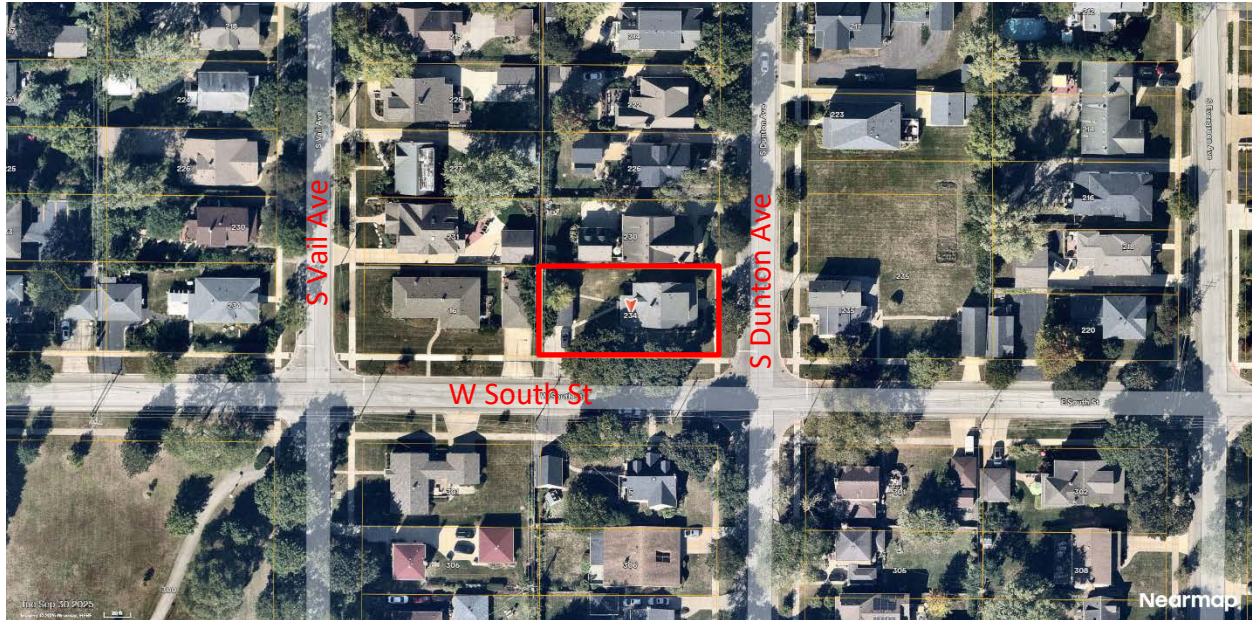
The property is zoned R-6 and has a total land area of approximately 8,771 square feet. The petitioner is proposing to replace a detached garage. The proposed garage is 19 feet-8 inches in height and 1,000 square feet in area, which exceeds the maximum allowed height and size for detached garages. The garage is 720 square feet in area and the covered porch attached to it is 280 square feet in area, but they are considered one structure according to Code. Therefore, the petitioner is requesting the following variations:

- A 4.67-foot variation from Chapter 28, Section 6.5-6 (Accessory Structures) to allow an accessory structure 19 feet-8 inches in height where accessory structures may not exceed 15 feet in height.
- A 280 square-foot variation from Chapter 28, Section 6.5-7(a) (Accessory Structures) to allow a detached garage 1,000 square feet in area where detached garages may not exceed 720 square feet in area.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

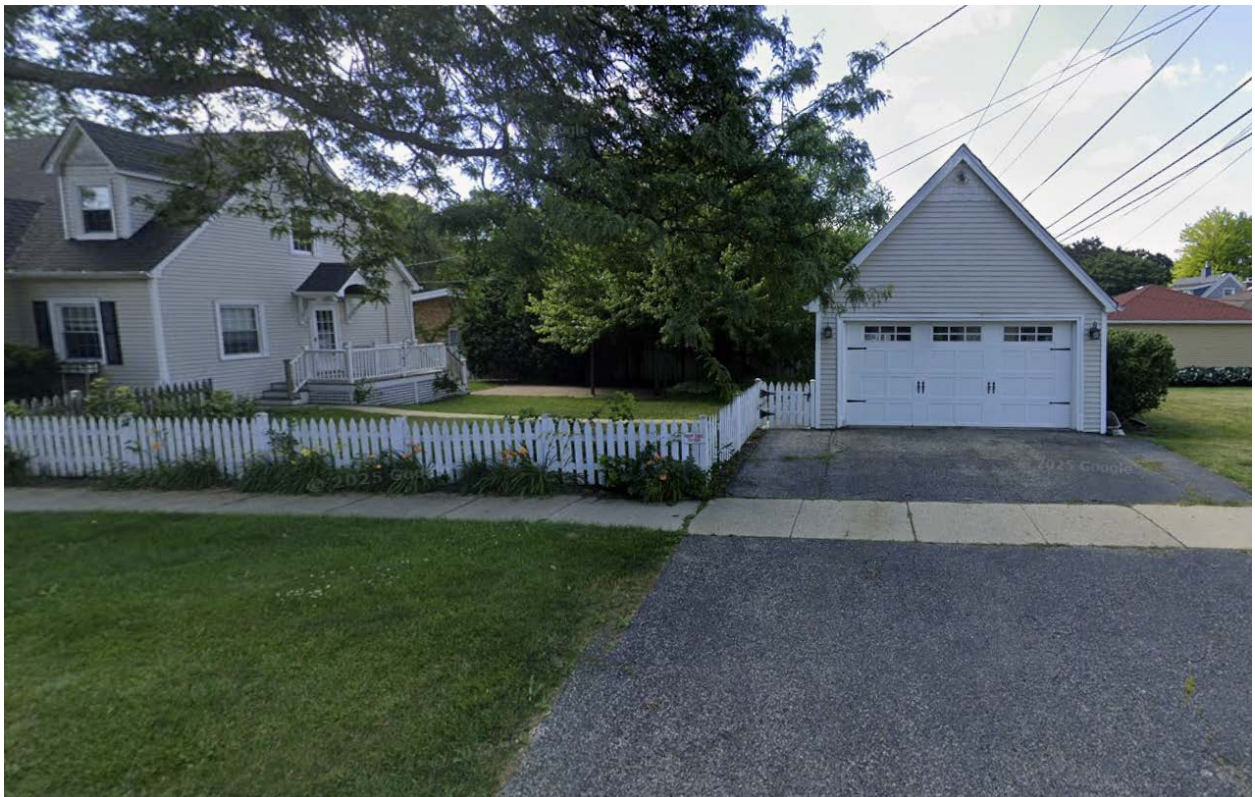
Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	10.24.25	
2. List of Property Owners Within 250 feet of Subject Property	✓	10.24.25	
3. Letter that was Mailed	✓	10.24.25	
4. Photographs of Sign on Property	✓	10.24.25	

Photographs of Existing Structure



Village of Arlington Heights



To: Robert Flubacker
From: Darko Bojin
Department: Department of Planning and Community Development
File Number: ZBA 25-041
Project: 234 S. Dunton Ave.
Date: November 3, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 4.67-foot variation from Chapter 28, Section 6.5-6 (Accessory Structures) to allow an accessory structure 19 feet-8 inches in height where accessory structures may not exceed 15 feet in height.
- A 280 square-foot variation from Chapter 28, Section 6.5-7(a) (Accessory Structures) to allow a detached garage 1,000 square feet in area where detached garages may not exceed 720 square feet in area.

If you have any questions, please contact dbojin@vah.com:

Planning and Community Development

1. The proposed new garage is nicely designed with a traditional style that generally fits well with the character of the neighborhood. It is recommended that the materials and colors be selected to match the existing house.

Building and Life Safety

1. No comments.

Engineering

1. No comments.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, November 10, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 4.67-foot variation from Chapter 28, Section 6.5-6 to allow an accessory structure 19 feet-8 inches in height where accessory structures may not exceed 15 feet in height.
- A 280 square-foot variation from Chapter 28, Section 6.5-7(a) to allow a detached garage 1,000 square feet in area where detached garages may not exceed 720 square feet in area.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning@mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 9 in Redeker's Subdivision of the East 1/2 of the East 33 feet of the West 1/2 of the South 1/2 of the West 15 acres of the North 30 acres of the West 1/2 of the Northwest 1/4 of Section 32, Township 42 North, Range 11, East of the Third Principal Meridian.

Commonly known as: 234 S. Dunton Avenue, Arlington Heights, IL 60005

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Oct. 25, 2025 (310097)

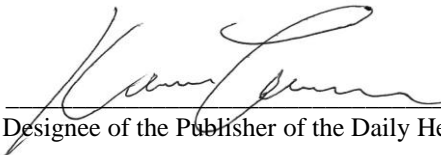
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 10/25/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 310097



ZONING BOARD OF APPEALS

PETITION

NOW COMES the Petitioner, **Robert Flubacker**, being the petitioner of the property commonly known as: **234 South Dunton Avenue**, and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for variations from, **Section 6.5-6 Height of Accessory Structure and Section 6.6-5.1 Table of Permitted Obstructions**, Chapter 28, of the Arlington Heights Municipal Code, in order to:

A 4 foot-8 inch variation to construct a detached framed two-car garage, with a building height of 19'-8", which exceeds the allowed building height of 15 feet and the eave, and an overhang and gutter projecting 1 foot-5 inches beyond the face of the garage wall and encroaching 4.5 inches into the allowed 12.5 inches eave setback.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variations were granted:

The proposed detached garage is to replace an existing deteriorating garage in an area populated with numerous detached garages, several of similar building height.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned:

The garage is being replaced due to significant deterioration. The Owner's occupation is related to the construction industry involving taller vehicles and the existing home has limited storage areas.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter:

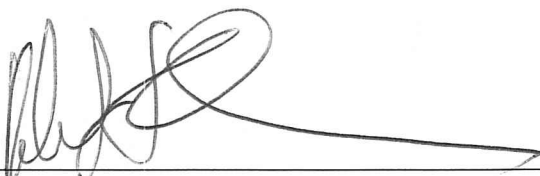
With the exception of the variation requested, the project falls well below the other zoning requirements since there are other detached garages of similar height in the immediate area. The project will maintain the character of the neighborhood, while providing the desired garage the owner needs.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property:

The proposed detached garage is to replace the existing garage. The request for additional height is to:

- 1. Provide internal height required to provide clearance for an 8 foot tall door.**
- 2. Provide a roof pitch to match the pitch and overhang projection of the existing house roof.**
- 3. Provide needed storage space.**

Signed: _____
Petitioner



Date: _____

9.30.25

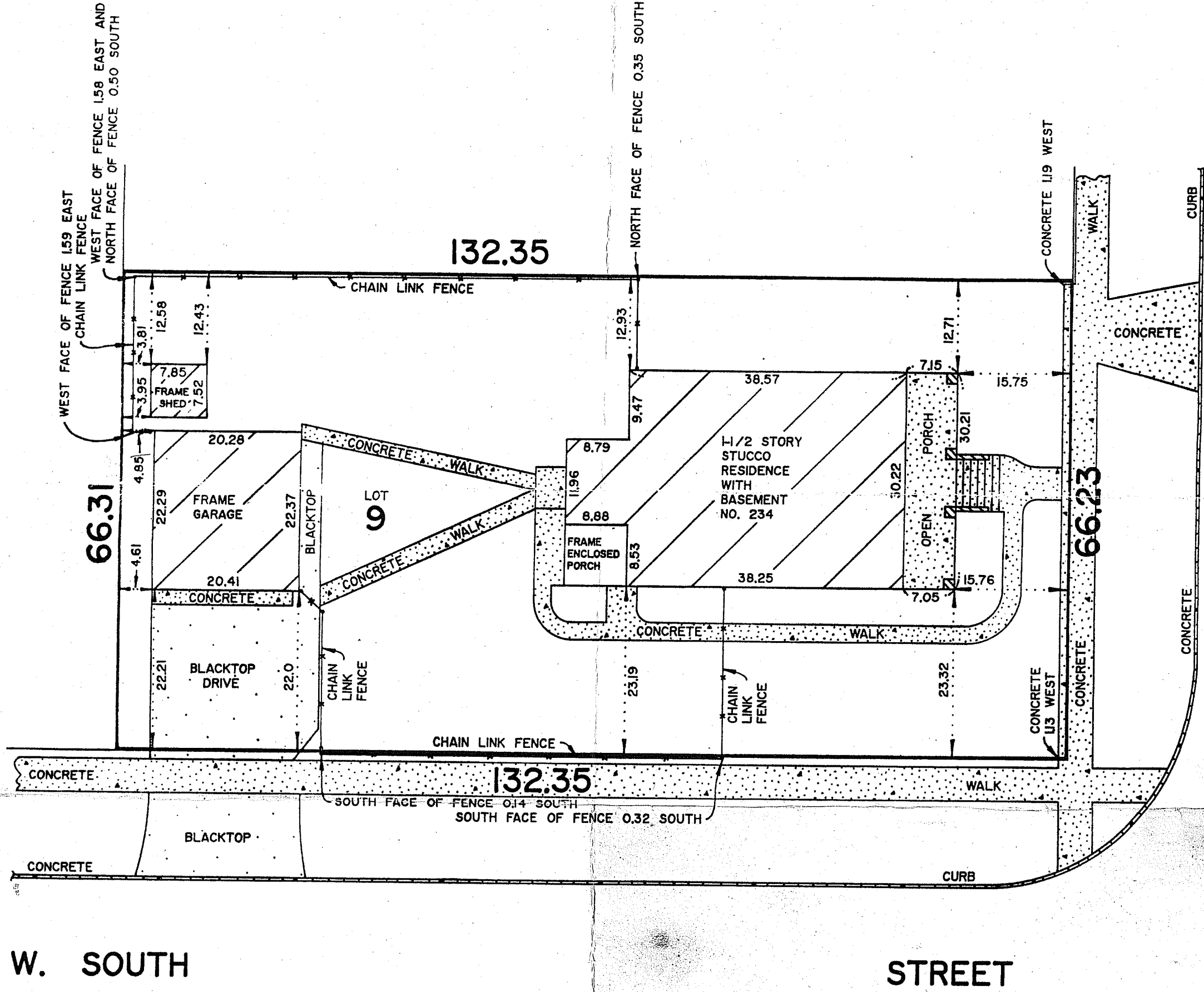
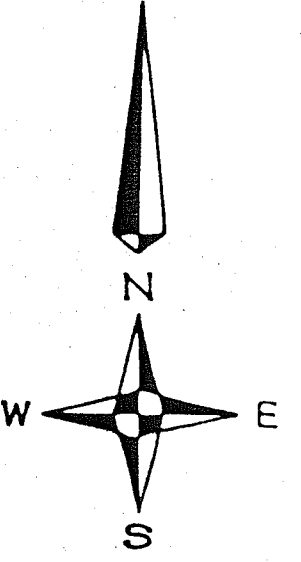
PLAT OF SURVEY

By

JOHN M. HENRIKSEN

OF

LOT 9 IN REDEKER'S SUBDIVISION OF THE EAST 1/2 AND THE EAST 33 FEET OF THE WEST 1/2 OF THE SOUTH 1/2 OF THE WEST 15 ACRES OF THE NORTH 30 ACRES OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 42 NORTH, RANGE II, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



ORDER NUMBER 991096
DATE MARCH 19, 1999
SCALE 1 INCH = 15 FEET
ORDERED BY JOSEPH R. JULIUS

- * BUILDING LINES, IF ANY, SHOWN HEREON ARE BUILDING LINES SHOWN ON THE RECORDED SUBDIVISION PLAT. CONSULT LOCAL AUTHORITIES FOR BUILDING LINES ESTABLISHED BY LOCAL ORDINANCES.
- * PLEASE CHECK LEGAL DESCRIPTION WITH DEED.
- * COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DISCREPANCY IMMEDIATELY.
- * DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

FRACTIONAL INCH EQUIVALENTS OF HUNDREDTHS OF A FOOT

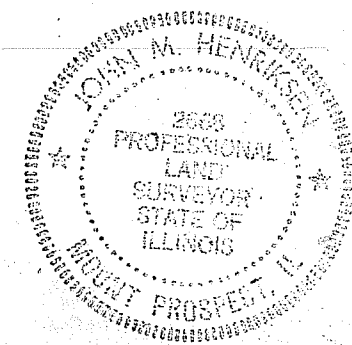
01	1/16	26	3/8	51	5/8	76	3/4
02	1/8	27	3/8	52	5/8	77	3/4
03	3/16	28	3/8	53	5/8	78	3/4
04	1/4	29	3/8	54	5/8	79	3/4
05	5/16	30	3/8	55	5/8	80	3/4
06	3/8	31	3/8	56	5/8	81	3/4
07	7/16	32	3/8	57	5/8	82	3/4
08	1/2	33	3/8	58	5/8	83	3/4
09	9/16	34	3/8	59	5/8	84	3/4
10	5/8	35	3/8	60	5/8	85	3/4
11	11/16	36	3/8	61	5/8	86	3/4
12	3/4	37	3/8	62	5/8	87	3/4
13	13/16	38	3/8	63	5/8	88	3/4
14	7/8	39	3/8	64	5/8	89	3/4
15	15/16	40	3/8	65	5/8	90	3/4
16	1	41	3/8	66	5/8	91	3/4
17	1 1/16	42	3/8	67	5/8	92	3/4
18	1 1/8	43	3/8	68	5/8	93	3/4
19	1 1/4	44	3/8	69	5/8	94	3/4
20	1 5/16	45	3/8	70	5/8	95	3/4
21	1 3/8	46	3/8	71	5/8	96	3/4
22	1 7/16	47	3/8	72	5/8	97	3/4
23	1 1/2	48	3/8	73	5/8	98	3/4
24	1 5/8	49	3/8	74	5/8	99	3/4
25	1 3/4	50	3/8	75	5/8	100	3/4

STATE OF ILLINOIS
COUNTY OF COOK

I, JOHN MICHAEL HENRIKSEN, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey.

Dimensions are shown in feet and hundredths and are correct at a temperature of 68° fahrenheit.

John M. Henriksen
ILLINOIS PROFESSIONAL LAND SURVEYOR #2668





VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
11/10/2025

Item: 831 S. Dryden Pl. - ZBA25-042
Department: Planning & Community Development

Item Description:

REQUEST

- A 2.78-foot variation from Section 5.1-3.3(b) (Required Minimum Yards) to construct an attached garage addition with a setback of 3.0-feet where 5.78-feet is required and 16-inches for the eave.
- A 1,009 square-foot variation from Section 5.1-3.4 (Maximum Floor Area Ratio) to allow a Floor Area Ratio of 4,444 square-feet or 0.58 where a Floor Area Ratio of 3,425 square-feet or 0.45 is the maximum.
- A 63 square-foot variation from Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage of 2,735 square-feet where 2,672 square-feet is the maximum.

ATTACHMENTS:

1. ZBA Packet_831 S Dryden Pl

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: November 10, 2025
Date Prepared: November 3, 2025
Project Title: Victor Residence
Address: 831 S. Dryden Pl.

Background Information

Petition Number: ZBA #25-042
Petitioner: Robert Flubacker Architects
Address: 1895 Rohlwing Rd, Suite B
Rolling Meadows IL 60008

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The petitioner is proposing a one-story room addition, a second-floor addition, and an attached garage addition on the subject property. The one-story room addition and second-floor addition are predominantly at the rear of the building and the garage addition is on the south side elevation. The garage addition on the south side of the property encroaches 2.78-feet into the required 5.78-foot side yard setback. With the cumulative square-footage increase, the floor area ratio (FAR) is increased to 4,444 square-feet where 3,435 square-feet is allowed. Approximately 1,177 square-feet of the partially underground basement level is counted towards the FAR as more than half of the basement height is above the established curb level. Lastly, the overall building lot coverage is increasing as a result of the ground level building additions to 2,735 square-feet where 2,672 square-feet of building lot coverage is allowed. Therefore, the petitioner is requesting the following variations:

- A 2.78-foot variation from Section 5.1-3.3(b) (Required Minimum Yards) to construct an attached garage addition with a setback of 3.0-feet where 5.78-feet is required and 16-inches for the eave.
- A 1,009 square-foot variation from Section 5.1-3.4 (Maximum Floor Area Ratio) to allow a Floor Area Ratio of 4,444 square-feet or 0.58 where a Floor Area Ratio of 3425 square-feet or 0.45 is the maximum.
- A 63 square-foot variation from Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage of 2,735 square-feet where 2,672 square-feet is the maximum.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Photographs of Existing Structure



Village of Arlington Heights



To: Robert Flubacker
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-042
Project: 831 S. Dryden Place
Date: November 4, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 2.78-foot variation from Section 5.1-3.3(b) (Required Minimum Yards) to construct an attached garage addition with a setback of 3.0-feet where 5.78-feet is required and 16-inches for the eave.
- A 1,009 square-foot variation from Section 5.1-3.4 (Maximum Floor Area Ratio) to allow a Floor Area Ratio of 4,444 square-feet or 0.58 where a Floor Area Ratio of 3425 square-feet or 0.45 is the maximum.
- A 63 square-foot variation from Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage of 2,735 square-feet where 2,672 square-feet is the maximum.

If you have any questions, please contact dosoba@vah.com:

Planning and Community Development

1. A Design Commission application is required to be submitted for review, but the design appears to be nicely done and is favorable for an Administrative (Staff) design approval, pending the outcome of the ZBA review.

Building and Life Safety

1. Approved with Note: 1. A 1-hour fire-resistance rating is required for the exterior wall of the garage, as the fire separation distance is less than 5 feet.

Engineering

1. The Engineering Division does not object to the proposed variances.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, November 10, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 2.78-foot variation from Section 5.1-3.3(b) (Required Minimum Yards) to construct an attached garage addition with a setback of 3.0-feet where 5.78-foot is required and 16-inches for the eave.
- A 1,009 square-foot variation from Section 5.1-3.4 (Maximum Floor Area Ratio) to allow a Floor Area Ratio of 4,444 square-feet or 0.58 where a Floor Area Ratio of 3425 square-feet or 0.45 is the maximum.
- A 63 square-foot variation from Section 5.1-3.5(a) (Maximum Building Lot Coverage) to allow a building lot coverage of 2,735 square-feet where 2,672 square-feet is the maximum.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning@mail@yah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 16 (except the south 26.51 feet thereof) and the south 34.34 feet of Lot 17, in Block 21 in Arlington Heights Park Manor, a subdivision in the East 1/2 of Section 32, Township 42 North, Range 11, East of the Third Principal Meridian as per plat recorded April 29, 1926 as Document No. 9257733, in Cook County, Illinois.

Commonly known as: 831 S. Dryden Place, Arlington Heights, IL 60005

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@yah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Dan Osoba (847) 368-5215
Planning and Community Development
Published in Daily Herald Oct. 25, 2025 (310100)

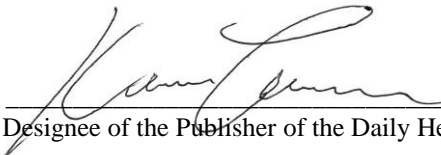
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 10/25/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 310100



ZONING BOARD OF APPEALS

PETITION

NOW COMES the Petitioner, **Robert Flubacker**, being the petitioner of the property commonly known as: **831 S. Dryden Pl.**, and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a variation from, **Section 5.1-3.3(b) Required Minimum Yards, 6.6-5.1 Table of Permitted Obstructions, Section 5.1-3.4 Maximum Floor Area Ratio and Section 5.1-3.5(a) Maximum Building Lot Coverage** Chapter 28, of the Arlington Heights Municipal Code, in order to:

Construct both a one-story room addition, a second floor addition and attached garage addition in which:

- 1. encroaches 2.78 feet into the required 5.78 foot side yard setback and also to construct the eave, overhang and gutter to project an additional 1.82 feet (to match existing eaves projection)**
- 2. exceeds allowable Floor Area Ratio (F.A.R.) of 3,435 sq.ft. by 1,009 sq.ft.**
- 3. exceeds allowable Building Lot Coverage of 2,672 sq.ft. by 63 sq.ft.**

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variations were granted:

The use of the existing house is not changing and the surrounding neighborhood has single-family homes of a widely varied mix of sizes and shapes. The propose addition enhances the existing architectural character of the home and maintains it's compatibility with the neighborhood.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned:

Due to the significant amount of floor area that's partially underground the impact to the surrounding area is minimized. As an illustration, if the existing basement floor was 1 foot lower (as the previous and current additions are designed) none of the lower level would count toward F.A.R. and a variation would not be required. Even though there would be no difference in exterior design. The existing one car Garage was original to the home built in a time when a one car Garage was adequate. Today's standard of a home of this caliber requires at least two cars of garaging. The design of the home includes main level master bedroom suite which expands the home beyond the typical minimum Building Lot Coverage.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter:

The project maintains the character of the neighborhood, while providing the desired expansion of the home the owner needs. The distance between the proposed Garage and the house to the South exceeds the cumulative total of two 10% setbacks.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property:

Due to the quality and size of the existing and proposed house a two car Garage is critical to maintain market value. The width of the proposed Garage is below village width standards in order to maintain 3 feet clear to the lot line.

Signed: _____
Petitioner

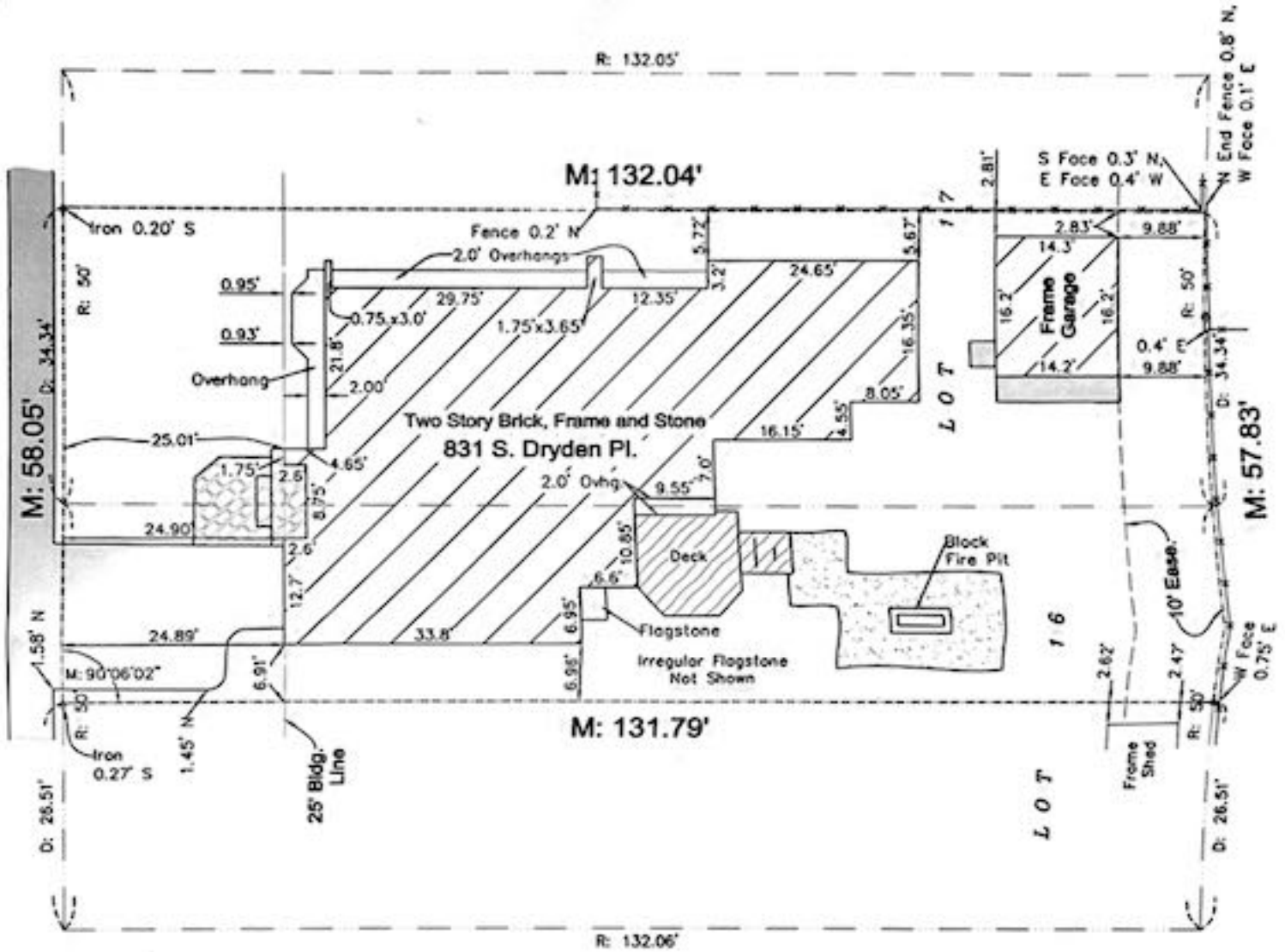
Date: 9.30.25

PLAT OF SURVEY

LOT 16 (EXCEPT THE SOUTH 26.51 FEET THEREOF) AND THE SOUTH 34.34 FEET OF LOT 17, IN BLOCK 21 IN ARLINGTON HEIGHTS PARK MANOR, A SUBDIVISION IN THE EAST 1/4 OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 11, EAST TO THE THIRD PRINCIPAL MERIDIAN AS PER PLAT RECORDED APRIL 29, 1926 AS DOCUMENT NO. 9257733, IN COOK COUNTY, ILLINOIS.



Dryden Pl.



Access To Orchard St.

PROPERTY AREA: 7642.7 SQ. FT.

CLIENT: ATTY. CLEGG

JN 20486

DATE OF SURVEY: JULY 24, 2020

STATE OF ILLINOIS

COUNTY OF KANE



LEGEND

R - RECORD DISTANCE	◆ FOUND IRON
M - MEASURED DISTANCE	⊙ UTILITY POLE
D - DEED	▨ GRAVEL
PROPERTY LINE	▨ PAVERS
FENCE LINE	
CONCRETE	

SCALE 1" = 15'

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED, UNDER MY SUPERVISION, ACCORDING TO THE OFFICIAL RECORD AND THAT THE ABOVE PLAT CORRECTLY REPRESENTS SAID SURVEY. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

I FURTHER CERTIFY THAT UNLESS OTHERWISE SHOWN, THE BUILDINGS ON THE PARCEL ARE WITHIN PROPERTY LINES AND THE ADJOINING VISIBLE IMPROVEMENTS DO NOT ENCRANCH ON THE ABOVE DESCRIBED PROPERTY.

I FURTHER CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

Vincent B. Frye

MY LICENSE EXPIRES 11-30-2020

SCHLAF-SEDIG & ASSOCIATES, INC.
 130 GATES STREET
 ELBURN, ILLINOIS 60119
 (630) 365-9831
 schlafsedig@comcast.net

COMPARE THE DESCRIPTION OF THIS PLAT WITH DEED, REFER TO THE TITLE POLICY FOR ITEMS OF RECORD NOT SHOWN ABOVE. UNLESS OTHERWISE NOTED, UTILITIES WITHIN EASEMENTS ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES INCLUDING BUT NOT LIMITED TO CONDUITS AND CABLE (IF ANY) HAVE NOT BEEN SHOWN HEREON.

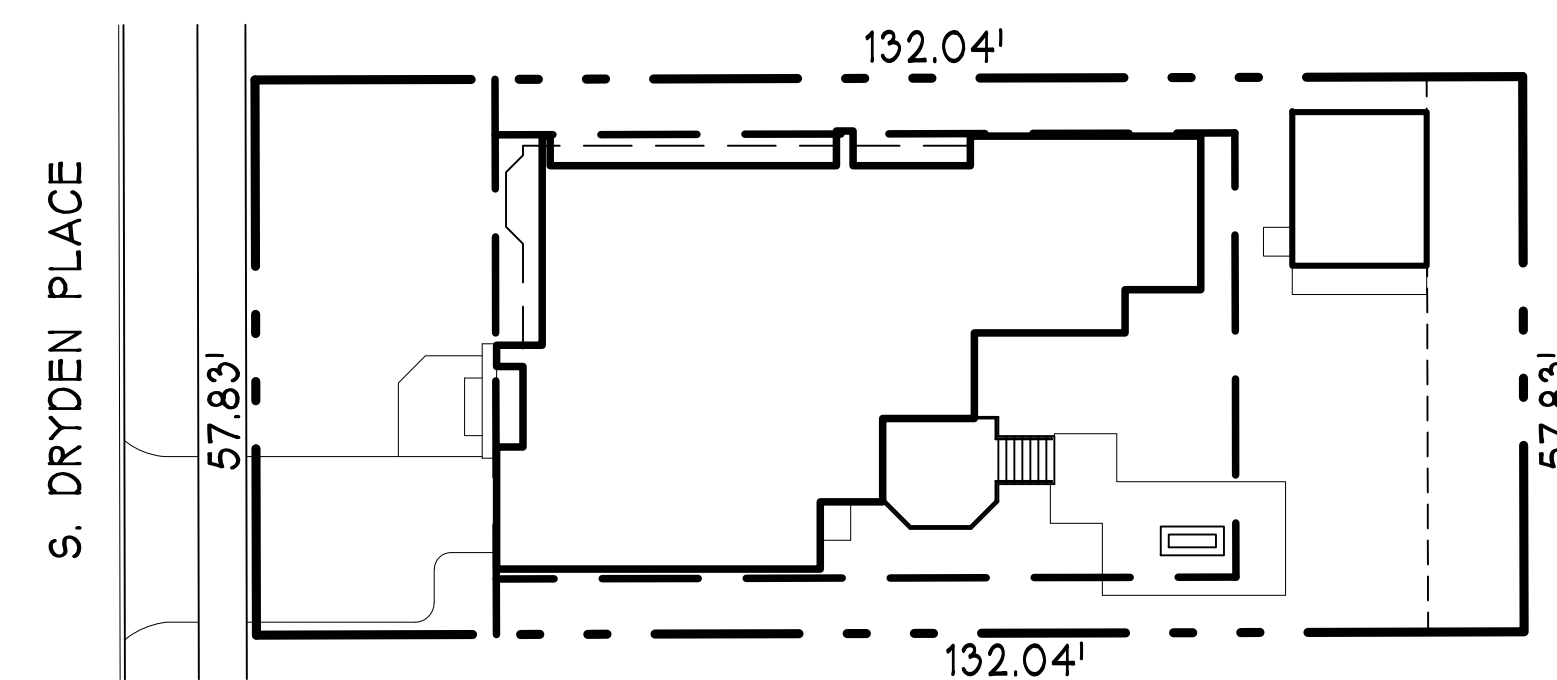
ILLINOIS PROFESSIONAL DESIGN FIRM LAND SURVEYING CORPORATION NO. 4183

ALTERATIONS AND ADDITIONS FOR

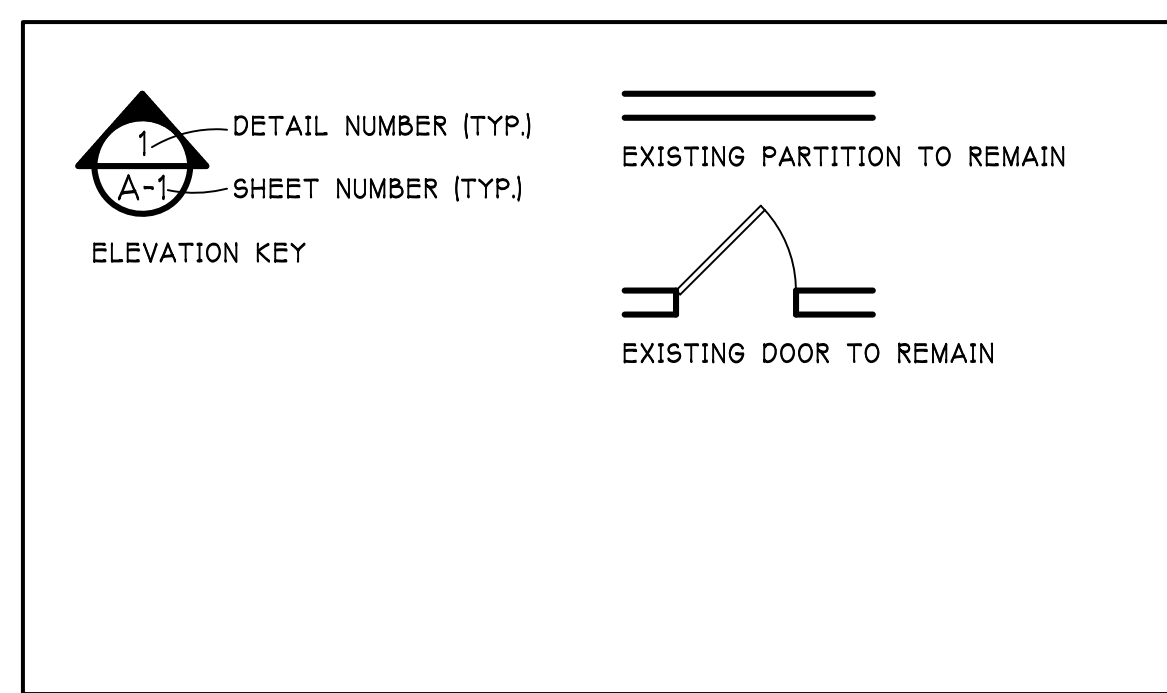
THE VICTOR RESIDENCE

831 S. DRYDEN PL.
ARLINGTON HEIGHTS, ILLINOIS

SITE PLAN

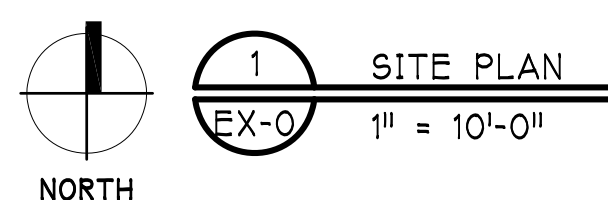


SYMBOLS

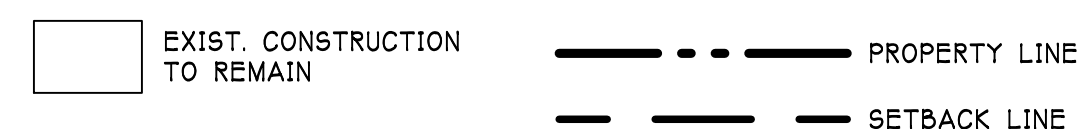


LIST OF DRAWINGS

EX-0	TITLE SHEET / SITE PLAN
EX-1	EXIST. LOWER LEVEL PLAN
EX-2	EXIST. UPPER LEVEL PLAN



SITE PLAN LEGEND:

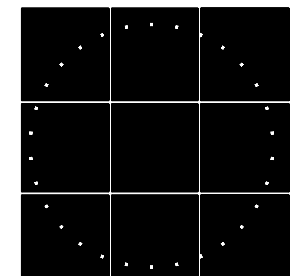


CODE REVIEW

ZONING	R-3 SINGLE FAMILY	
LOT AREA	7,635 SQ.FT.	
BUILDING AREAS	EXISTING	ALLOWED
BASEMENT - ALL	1,626 SQ.FT.	
EX. BASE. ABOVE GRADE	1,177 SQ.FT.	
EX. LOWER BASEMENT A	449 SQ.FT.	
FIRST FLOOR	2,117 SQ.FT.	
ATTACHED GARAGE	260 SQ.FT.	
ACCESSORY STRUCTURES	224 SQ.FT.	
WOOD FRAME DECK	160 SQ.FT.	
FLOOR AREA RATIO (FAR)	*3,294 SQ.FT.	3,435 SQ.FT.
*INC. PORTIONS OF BASEMENT GREATER THAN HALF ABOVE GRADE		
BUILDING LOT COVERAGE	2,110 SQ.FT.	2,672 SQ.FT.
IMPERVIOUS SURFACE COVER.	2,699 SQ.FT.	3,817 SQ.FT.
BUILDING HEIGHT	21.33 FT.	25 FT.

Date	Description
5/11/23	EXIST.

REFA



ROBERT
FLUBACKER
ARCHITECTS
LIMITED

1895-B Rohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

IL Design Firm
#184.001489
Expire: 4/30/2025

ALTERATIONS AND ADDITION FOR
THE VICTOR RESIDENCE
831 S. DRYDEN PL.
ARLINGTON HEIGHTS, ILLINOIS

Date	Description
5/11/23	EXIST.

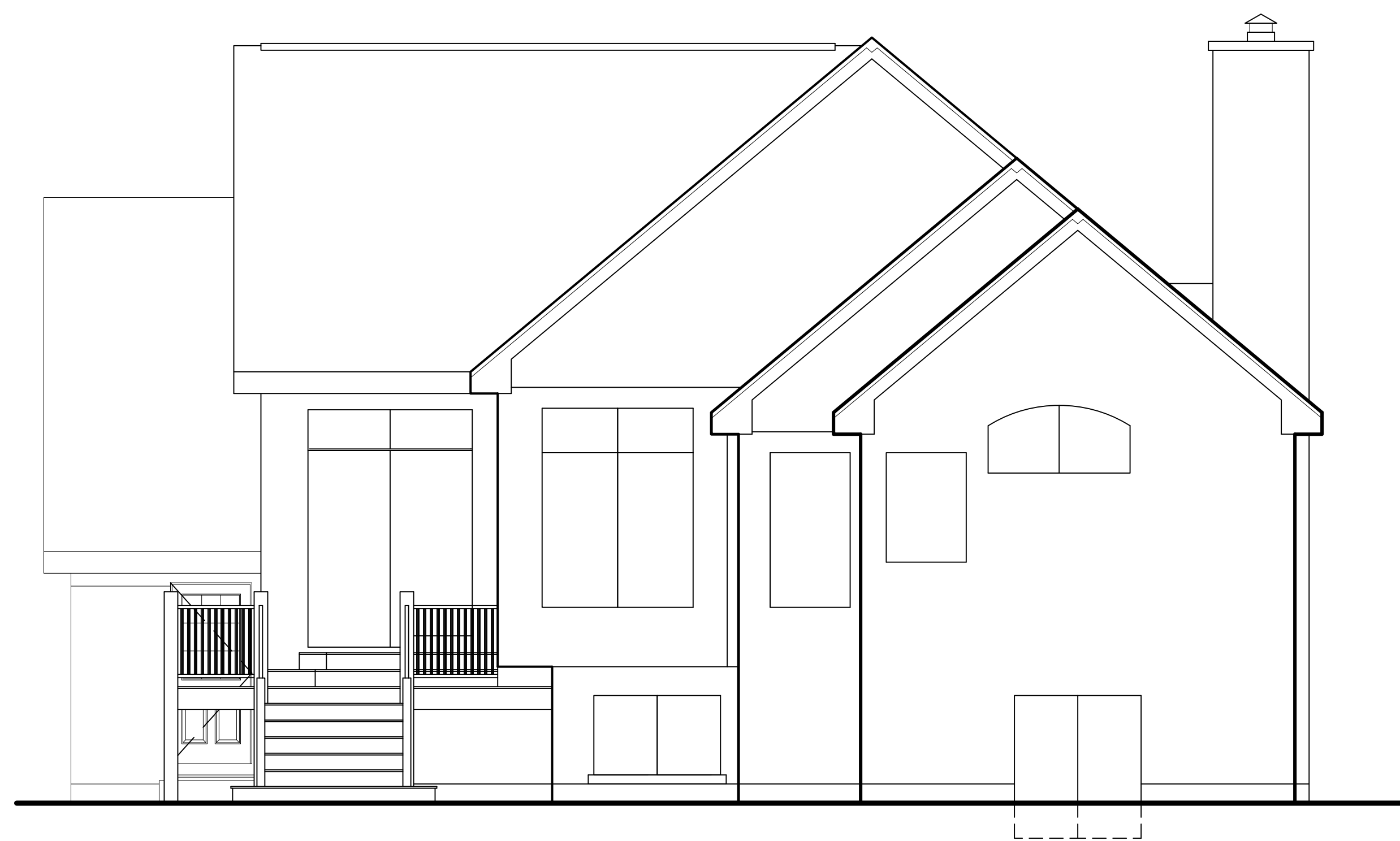
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Project Number

EX-3



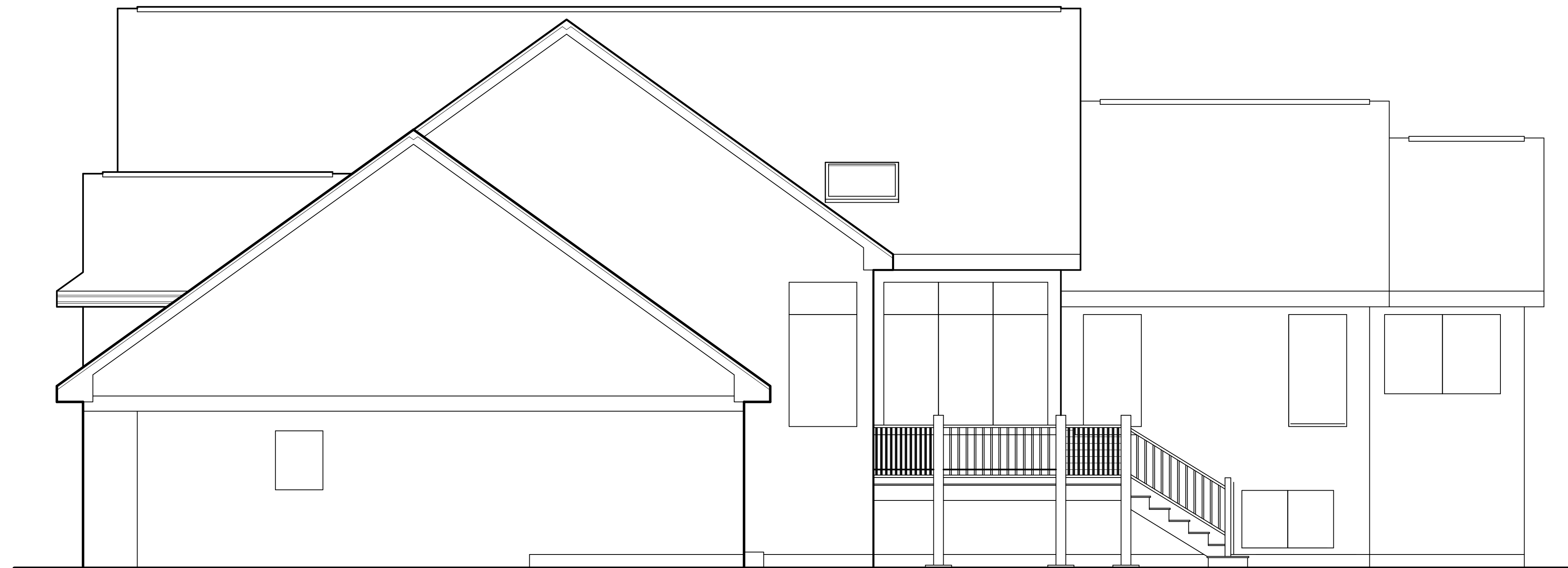
1 EXISTING WEST ELEVATION
EX-3 1/4" = 1'-0"



2 EXISTING EAST ELEVATION
EX-3 1/4" = 1'-0"



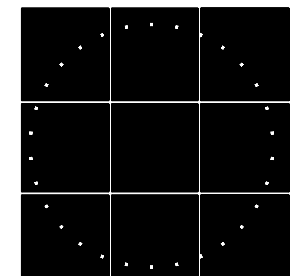
1 EXISTING NORTH ELEVATION
EX-4 1/4" = 1'-0"



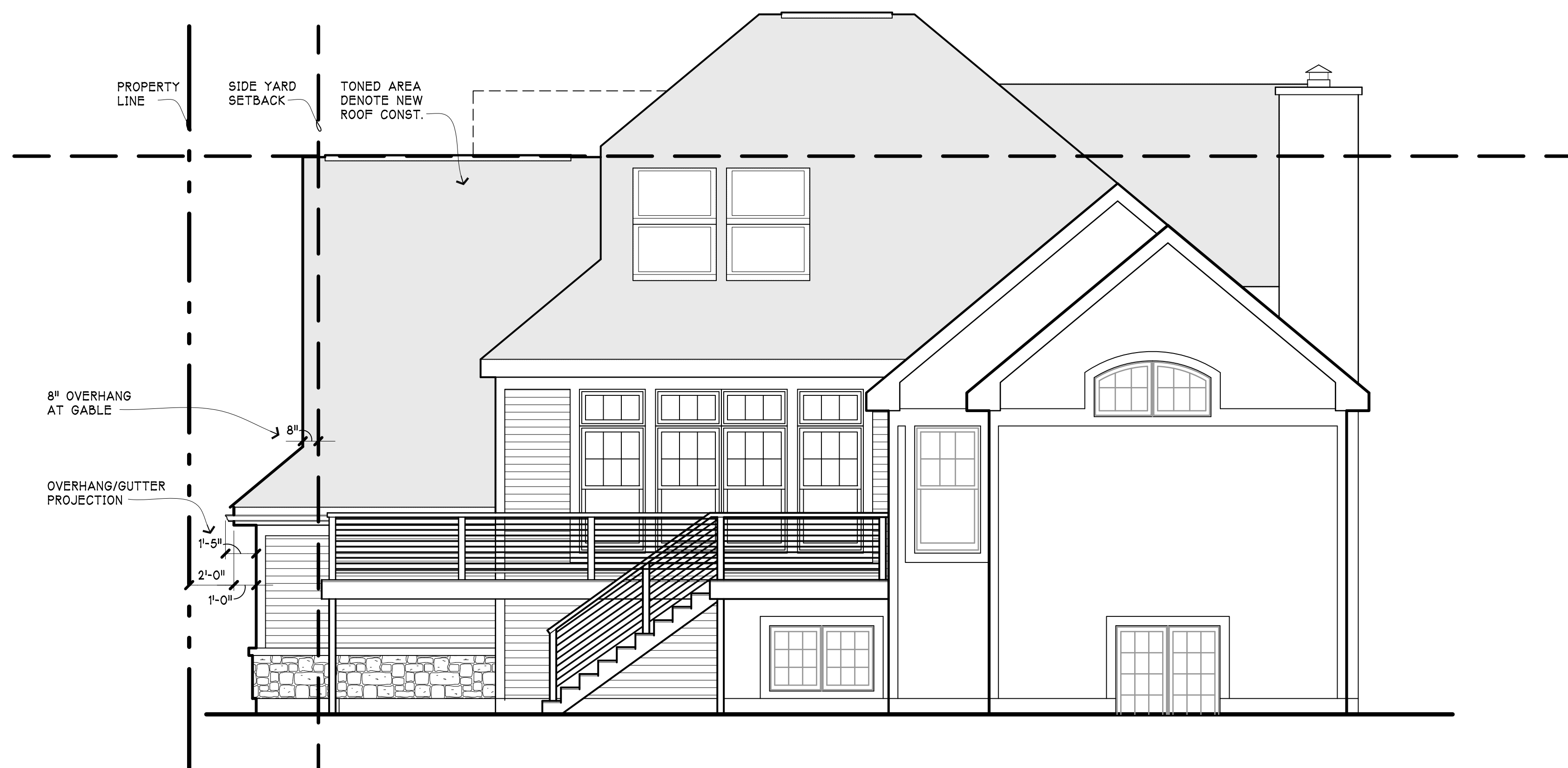
2 EXISTING SOUTH ELEVATION
EX-4 1/4" = 1'-0"

Date	Description
5/11/23	EXIST.

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Project Number



1 WEST EXTERIOR ELEVATION
A-3 1/4" = 1'-0"



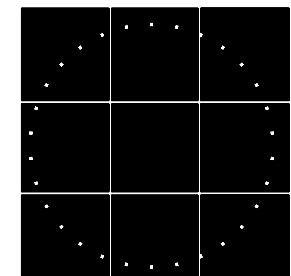
2 EAST EXTERIOR ELEVATION
A-3 1/4" = 1'-0"

Date	Description
9.30.25	ZBA

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Project Number
23021

REA



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LIMITED

1895-B Rohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

IL Design Firm
#184.001489
Expire: 4/30/2027

ALTERATIONS AND ADDITION FOR
THE VICTOR RESIDENCE
831 S. DRYDEN PL.
ARLINGTON HEIGHTS, ILLINOIS

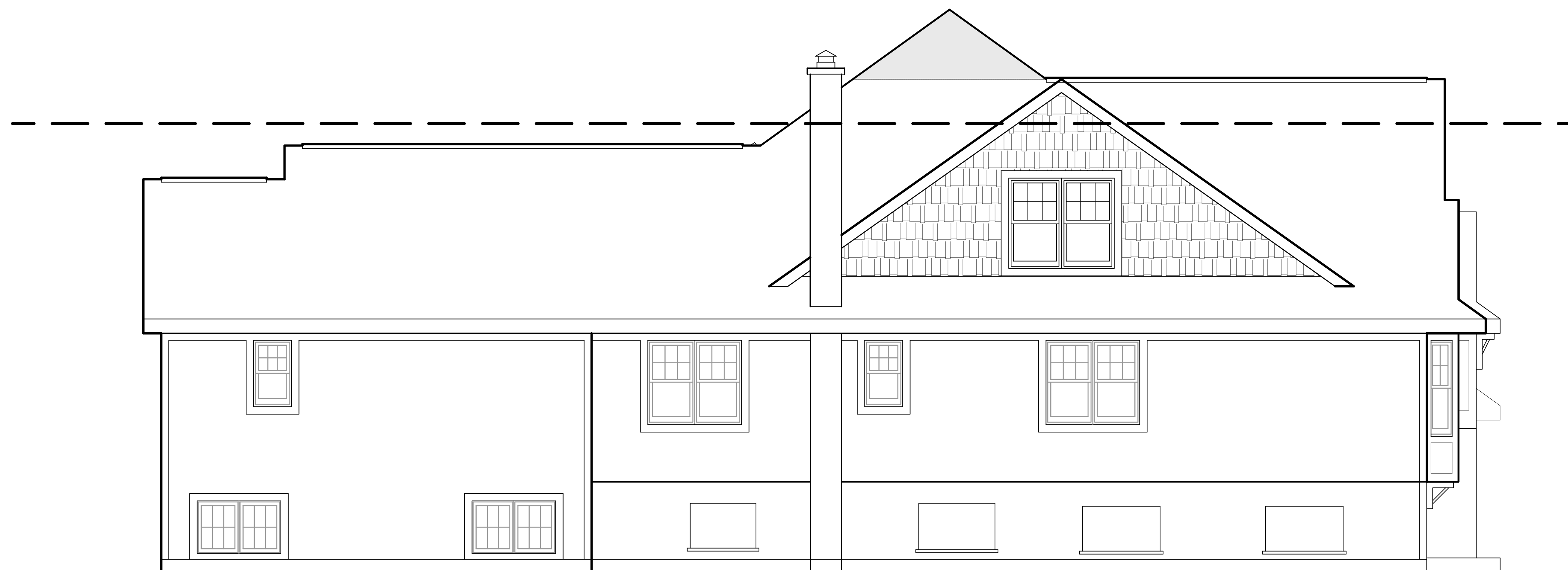
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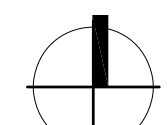
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9.30.25	ZBA

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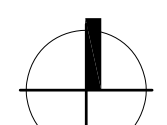
Project Number
23021

A-4



 **1** NORTH EXTERIOR ELEVATION
A-4 1/4" = 1'-0"



 **2** SOUTH EXTERIOR ELEVATION
A-4 1/4" = 1'-0"