



AGENDA  
DESIGN COMMISSION  
Community Room, 3rd Floor  
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.  
Arlington Heights, IL 60005  
January 27, 2026  
6:30 PM

- I. CALL TO ORDER
- II. ROLL CALL OF MEMBERS
- III. APPROVAL OF MINUTES
  - A. 12/16/25 Minutes
- IV. OLD BUSINESS
- V. NEW BUSINESS
  - A. 1161 N. Hickory Ave. - SF/Addition - DC25-101
  - B. 1321 N. Mitchell Ave. - SF/Teardown - DC25-103
  - C. 7 W. Dundee Rd. - Popeye's - Sign Variation - DC25-091
- VI. OTHER BUSINESS
- VII. PUBLIC COMMENT

Anyone wishing to speak on a subject not on the Agenda may speak at this time. Please limit your comments to three minutes.

- VIII. ADJOURNMENT

*Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact the Health & Human Services Department, at 33 S. Arlington Heights Road, Arlington Heights, IL 60005, [healthmail@vah.com](mailto:healthmail@vah.com) or 847/368-5760.*

**DRAFT**

**MINUTES OF  
THE VILLAGE OF ARLINGTON HEIGHTS  
DESIGN COMMISSION**

**ARLINGTON HEIGHTS MUNICIPAL BUILDING  
33 S. ARLINGTON HEIGHTS RD.  
DECEMBER 16, 2025**

Chair Kingsley called the meeting to order at 6:30 p.m.

Members Present: Kirsten Kingsley, Chair  
John Fitzgerald  
Jonathan Kubow  
Ted Eckhardt  
Scott Seyer

Members Absent: None

Also Present: Keith Ginnodo, KGA Architects for *916 W. Campbell St.*  
Jamie & Scott Cassidy, Owners of *916 W. Campbell St.*  
Mike Hamman, CD Group for *819 S. Highland Ave.*  
Kevin Davis for *Fairfield Homes*  
Adrien Binet, Thomas Roszak Architecture for *Arbor House*  
Brian Carley, Bradford Allen for *Arbor House*  
Charles Witherington-Perkins, PlanGreatCities LLC for *Arbor House*  
Steve Hautzinger, Planning Staff

**REVIEW OF MEETING MINUTES FOR NOVEMBER 18, 2025**

**A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KUBOW, TO APPROVE THE MEETING MINUTES OF NOVEMBER 18, 2025. ALL WERE IN FAVOR. MOTION CARRIED.**

**ITEM 1. SINGLE-FAMILY TEARDOWN REVIEW****DC#25-092 – 916 W. Campbell St.**

**Keith Ginnodo**, representing *Kingsley-Ginnodo Architects*, and **Jamie & Scott Cassidy**, the owners, were present on behalf of the project.

**Chairman Kingsley** recused herself from the project and left the room for the discussion.

**Commissioner Eckhardt** made a motion to recommend Commissioner Kubow as Chairman for the review of this project. **Commissioner Seyer** seconded the motion. Motion passed.

**Mr. Hautzinger** summarized Staff comments. The petitioner is proposing to demolish the existing two-story house and detached three-car garage at the corner of Kennicott and Campbell Street, to allow construction of a new two-story home with attached, three-car garage and a detached one-car garage. The front setback faces Campbell Street, which is determined by code as the narrower of the two lot lines. The exterior side setback requirement is based on the average setback of the existing homes on the block and will be approximately 25-feet. The proposed setback is 20.9-feet, which does not meet the minimum requirement; however, there is room on the site to adjust the location of the house to comply with code by sliding the entire home about 5-feet to the east. This has already been discussed with the petitioner. With this adjustment, the plans will comply with all of the R-3 zoning requirements.

The existing house is a Colonial style home that according to the real estate listing was built in 1861. The existing house was not included in the 2004 School of the Art Institute Historic Preservation Report because this part of the neighborhood was not covered in the report. The existing house has a stately presence and charming curb appeal that contributes to the character of the neighborhood. Staff encourages preservation of historic homes with architectural quality, so a renovation/expansion of the existing home is encouraged in lieu of demolition/new construction.

The Design Commission needs to evaluate the proposed demolition per the Municipal Code Chapter 28 (Zoning Regulations), Section 13.7.c, which states, prior to issuance of a Certificate of Approval for demolition and new construction, the Design Commission will need to evaluate if the existing home has "significant architectural, historical, aesthetic, or cultural value".

**Mr. Hautzinger** noted that a few emails were received by Staff today regarding this project, hard copies of which have been provided for the Design Commissioners. One email is in support of the proposed demolition and new construction, and two of the emails are opposed which both claim that the existing home is one of the original homes built in Arlington Heights and owned by the Kennicott family who were one of the early settlers of Arlington Heights. Aside from its architectural quality, it is possible that the existing home may also have more historical or cultural value in addition to just its appearance.

When the Staff Report was prepared, Staff was evaluating the existing home based on its appearance only, and recommended that the Design Commission evaluate the proposed demolition and new construction. However, in light of this new information about the potential historical connection of this house to being one of the earliest homes in the Village of Arlington Heights, Staff is encouraging the Design Commission to continue this project for re-review to allow Staff time to conduct research to confirm if this is the case or not. Right now, this is just a claim from the public and Staff does not know if it is true. It is Staff's recommendation for the Design Commission to allow Staff to do the necessary research so that the Design

Commission will have all of the information to make an informed decision.

Historic preservation has become a high priority for the Village Board and it is one of their current documented strategic priorities, which Staff will be studying. Staff is concerned that if this home were approved for demolition without researching its history, the Village Board could be very disappointed.

In regards to the proposed new house, overall Staff feels it is nicely designed with a Traditional style and wrap-around porch that will generally fit well with the surrounding context in this location. However, Staff recommends the Design Commission evaluate the following:

1. Evaluate the scale of the proposed new house against the surrounding context.
2. Evaluate the proposed 25.5-foot front setback, where the adjacent homes are setback approximately 39-feet.
3. Evaluate the proposed four garage doors facing Kennicott Avenue which have a prominent appearance and are the closest part of the house to the street. Staff recommends recessing the garages to be in line with, or setback behind, the main wall of the house.
4. Evaluate the design of the proposed detached garage which has a different massing, siding, and detailing from the other garages. Consider matching the attached garage height, massing and siding.
5. Staff recommends continuing the brick base from the main part of the house onto the garages.

With these comments and the recent development of the potential historical significance of the existing home, Staff encouraged the Design Commission to continue this project for re-review in January.

Regardless of any decision tonight, **Acting Chair Kubow** asked if this project will be going before the Village Board, and **Mr. Hautzinger** said no. **Chair Kubow** asked for clarification regarding the Village Board strategic priorities and **Mr. Hautzinger** clarified that studying historic preservation is a current strategic priority of the Village Board for the Village of Arlington Heights. Staff does not know what the outcome of that study will be, but the matter of historic preservation in general has become a big topic in recent years so the Village Board does want it to be studied.

**Commissioner Eckhardt** asked if there has been any official study, directive, or ordinance about this because the Design Commission has been conducting their business year after year based on the current Design Guidelines, and this seems to be an enhancement that will affect this petition and perhaps others. **Mr. Hautzinger** clarified that Staff is not holding this project to any higher standard than any other project that has been reviewed to date. The historic preservation study has not yet been conducted, and there are no new rules or regulations at this time. The Village Board is not currently aware of this specific project, but there is concern amongst Village Staff leadership, understanding the importance of historic preservation to the Village Board, that this project should be handled carefully, and at the very least Staff is asking for the opportunity to do some historical research on the home.

**Commissioner Eckhardt** commented that when he reviews projects such as this, he is looking for a valid reason to justify demolition, such as ceilings too low or physical obsolescent structure, some real reason preventing remodeling.

**Mr. Hautzinger** reiterated the one current code requirement that is applicable and has resulted in the denial of demolition of one home in Arlington Heights, which is Chapter 28 (Zoning Regulations), Section 13.7.c, which states, prior to issuance of a Certificate of Approval for demolition and new construction, the Design Commission will need to evaluate

if the existing home has "significant architectural, historical, aesthetic, or cultural value".

**Keith Ginnodo** appreciated the conversation and sympathized/empathized with the whole discussion. He acknowledged the importance of historical preservation for their architectural firm, which they take very seriously and have worked on several restoration projects in town that are all very important to the context of Arlington Heights. However, this existing home is not of that caliber in terms of its architectural merits. He visited the home again today and believes the home was built in the 1920's to 1940's, and has board-formed concrete, which is not an 1860-type of structure; however, there could be elements inside the home that date back to that period, although buried by subsequent construction and is no longer a viable piece of architecture from that period. Although this is a distinguished, Colonial-style home, he felt it did not rise to the level of historic architectural preservation. He questioned that even if the Kennicott family did own this house, does that justify preservation, which does not make any sense to him. Maybe if Abraham Lincoln had died or slept there, then it would be a very different situation. He wanted to see the project move forward tonight without a continuation.

**Mr. Ginnodo** said the current owners live in Pioneer Park since 2018, have 4 children, and have done their own research on the existing home, finding nothing that connects the home to the Kennicott family. The existing home is in poor repair and not worth salvaging, with ceilings caving in, walls shedding plaster, and water stains everywhere. Photos were shown of the disrepair. The first-floor ceiling height is 7'7" and the second-floor ceiling height is 7'3"; obviously not to today's building standards. The home has also been added on to several times over the years. The existing 3-car garage is located on the sidewalk and the new garage has been pushed back 25' and will continue to be pushed back as the home is shifted back. They did not build over the garage and they deliberately changed the material of the detached garage so it is a distinct entity not part of the major portion of the home. They are doing everything they can on both sides of the home to engage with the street; the home was pushed back and the open porch brought forward as much as possible; the perception of the home is that it is set back 35-feet. **Mr. Ginnodo** referred to the amount of public in attendance tonight who are friends/neighbors in support of the family and the project, and a letter of support was submitted from the neighbors immediately to the north and to the east.

**Mr. Ginnodo** said accommodations to the adjacent neighbors were taken with the location of the sunroom being set back 50' from the front yard and behind the adjacent home on Campbell St. Logical design was taken to push the new home to the south and west so the highest portion is on that corner, and then wrap it around the porch to give some relief and activity to that facade. Materials were presented and discussed. Brick with a stone cap is proposed along the bottom of the first-floor windows; however, the owners are now considering stone as the wainscot material, something casual and with some color variation. Brick is also proposed for the sunroom and the chimney, and the one-car detached garage will have shingle siding. **Mr. Ginnodo** reiterated that they are in support of moving the home 5-feet to the east to meet the setback requirements. He welcomed any questions from the commissioners at this time.

**Acting Chair Kubow** asked if there was any public comment on this project and there was response from those in the audience.

#### **PUBLIC COMMENT**

Vivian Menzies, 212 W. Fremont Ave. She lives in the HANA neighborhood and is very involved with historic preservation in the Village. Initially she had no strong opinion about the existing home being torn down because the home does not look like it has any redeeming architectural interest; however, she did not realize the age of the home, and there is now the question of when this home was actually built. The design of the new home is great, but

since the Village is making historic preservation a priority, she felt there should be guidance from an ordinance in the future so that we are not in this situation. Have the facts before we are here to review a project. She felt Staff did a great job of presenting everything they have on the project, and her gut feeling is that the existing home is not worth saving.

Barb Franks, 908 W. Campbell Street. She lives directly east of the site and has lived in her home for 30 years and loves the neighborhood. She was excited to meet the current owners, after talking with the surrounding neighbors, they are all thrilled that they will have a nice, young family who adds so much to the community. She also said that in her 30 years of living here, the previous owner of the existing home did little or nothing to keep the home up, which was visible when she visited the inside of the home at the estate sale that was held. She said it would be a huge improvement to the entire neighborhood to have a new home here that will fit in with the 15 homes on the south side of Campbell Street that replaced the previous ranch homes that was there.

There was no further public comment.

The commissioners summarized their comments. **Commissioner Fitzgerald** was torn about supporting a continuation of the project. He said it was a great goal for the Village to study historic preservation, but he felt it was unfair for this moment. The design of the new home looks great, the size is okay, and it looks really interesting from every angle. His only concern was that the driveway to the detached garage is adjacent to the driveway of the attached garage of the home. He asked if a car is intended to be parked in that driveway, and the homeowner said they are unsure about how the detached garage will be used. Their intent is to build a large enough home for their children to come back to in the future and they want to have the detached garage as an option. **Commissioner Fitzgerald** reiterated that he was not opposed to the detached garage; however, he did not like the driveway as shown. With regards to the existing home, he did not see a lot of value with it after seeing photos of the conditions inside and the low ceiling heights. He understood why the home is being torn down.

**Commissioner Eckhardt** loved the new home that has been very carefully designed. He was initially confused about the detached garage and who it belonged to, especially with the separate driveway, and he was concerned that the garage looks like a different building with different architecture; it is odd. He questioned how important the detached garage is. Otherwise he was in support of the new home.

**Commissioner Seyer** said that initially he had concerns about the existing home, but with more photos being shown, it is apparent the home has not been cared for. It is extremely costly to repair and renovate older homes like these, as nice as that would be. He advocates that new homes are much more energy efficient, and he was not in favor of arbitrarily saying the existing home must remain, unless the home has some architectural significance, which this home does not. He was in favor of the design of the new home, but felt it strange that a curb cut is being added on Campbell Street; four curb cuts for one home is a lot. Adding an accessory structure to this rear yard that is also a front yard, relatively close to a neighbor's home, feels unnecessary. There is no architect he could recommend more that would preserve historical integrity and do the right thing for a prominent site, but he was struggling with the detached garage. He did not understand why it is needed and why it needs to be so unique and special. The rest of the new home is beautiful and he was in support of the project moving forward tonight.

**Acting Chair Kubow** agreed with the comments made by the commissioners on both the existing home and the proposed new home. The existing home is attractive but it is not a contributing home with respect to historic preservation, so how can this commission deny the demolition of it based on information that may or may not be correct and comments being

made on social media. The existing home provides no historic value, and he was not opposed to it being torn down. A founding family living in the home is not a reason to keep the home. The design of the new home is beautiful, well executed, and the wrap-around porch that will force the family outside to engage with the neighborhood is everything this commission asks for. However, he agreed with the comments and concerns about the detached garage, and he could not support it. The garage does not feel right with the beautiful new home and being right next to the neighbor. In summary, he supports the demolition of the existing home, the design of the new home, and that the new home should be pushed back slightly to meet the setback requirement; however, he did not support the detached garage.

**Mr. Ginnodo** appreciated the comments regarding the detached garage and said they would consider an alternative design for it. He added that Village Engineering has an issue with the driveway to the detached garage because of an existing tree, so there are other considerations they need to make for the garage to work in that location. He reiterated that the existing home is not a landmarked building and the Village has no historic preservation office, and the condition of the home is not salvageable. He asked the commissioners for their positive vote on the project tonight. **Commissioner Eckhardt** asked the petitioner about the possibility about relocating the detached garage. **Mr. Ginnodo** said the detached garage is not a component that he and the homeowners want to give up. The detached garage serves multiple purposes; it is an added garage, added storage, an additional parking space that keeps cars off the street, and it is located further back than the existing garage. The design of the garage and the placement of it can be modified to be a good neighbor.

**Mr. Hautzinger** clarified that the detached garage as proposed is code compliant in this rear yard location, with a minimum 5-foot setback from the rear lot line. It is not allowed to extend out in front of the neighbor's front wall that it is roughly aligned with.

**Commissioner Fitzgerald** asked if the existing tree that is in the way of the new driveway to the new detached garage will be taken down. **Mr. Ginnodo** replied that leaving the tree in place would be ideal, but it is a huge tree near the property line and it is in poor condition, and the four curb cuts are also in play. **Commissioner Fitzgerald** was not in favor of the driveway proposed to the accessory structure, although he was open to the accessory structure.

**Commissioner Seyer** asked what other approvals are required for this project besides the Design Commission, and **Mr. Hautzinger** said that a building permit is required which will be reviewed by all Village departments, including Engineering with regards to the curb cuts and the existing parkway tree. **Commissioner Seyer** asked if the accessory structure in the rear yard setback required separate approval from tonight, and **Mr. Hautzinger** said the structure is code compliant as shown, and normally architectural design review is not required for accessory structures, but it is being reviewed in this case because it is part of the overall development proposal for this lot.

**Commissioner Eckhardt** asked if there are limits on the size of accessory structures. **Mr. Hautzinger** said that sheds are limited to 300 sf, but detached garages can be up to 720 sf.

**Commissioner Seyer** was in favor of the demolition of the existing home and the design of the new home. However, he was not in favor of the curb cut, and if the accessory structure was to remain, it would need to at least be set back. Right now it does not know where to fit in with the rest of the context between a very large home and a small home, it is right in the middle and it looks like a playhouse. He could not support the structure purely from setting a precedent of a very important frontage. It has to be set back in any approval. Other than that, everything is beautiful.

312 sf

**Commissioner Eckhardt** asked if the accessory structure could be made to work with access from the 3-car garage curb cut, and **Mr. Ginnodo** said it looks pretty difficult to do so, but they can look at that.

**Commissioner Fitzgerald** noted that the new home is being shifted over, which will include the accessory structure, and he asked how far. **Mr. Ginnodo** said both the home and the accessory structure can be moved about 5-feet from where they are now, which **Commissioner Fitzgerald** said would look better and like it belongs with the home.

**A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER SEYER, TO APPROVE THE DESIGN OF THE PROPOSED NEW (TEARDOWN) SINGLE-FAMILY HOME TO BE LOCATED AT 916 W. CAMPBELL STREET. THIS RECOMMENDATION IS BASED ON ARCHITECTURAL PLANS/RENDERINGS/MATERIALS RECEIVED ON 11/14/25, REVISED SITE PLAN RECEIVED 12/8/25, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:**

1. THAT THE HOME WILL BE SHIFTED APPROXIMATELY 5-FEET TO THE EAST, AS STATED BY THE PETITIONER, AND THE ACCESSORY STRUCTURE BE SHIFTED ALONG WITH IT.
2. THAT THE DRIVEWAY AND CURB CUT FOR THE ACCESSORY STRUCTURE ARE PROHIBITED.
3. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
4. COMPLIANCE WITH ALL FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES.

**Commissioner Eckhardt** suggested adding an option to require concrete pavers that grow grass for the driveway to the accessory structure. **Commissioner Fitzgerald** was not in favor of that because of the large existing tree; when roots disintegrate after removing a large tree, in 5 to 10 years the new driveway will be 2-feet below where it is set, and if the existing tree stays, then the new driveway will not work. **Commissioner Eckhardt** made a motion to amend the motion as follows:

**A MOTION WAS MADE BY COMMISSIONER ECKHARDT TO AMEND THE MOTION TO ADD THE FOLLOWING:**

1. A REQUIREMENT THAT A DRIVEWAY AND CURB CUT BE PERMITTED TO THE ACCESSORY STRUCTURE, BUT THAT IT BE CONSTRUCTED OF A HARD SURFACE THAT PROVIDES FOR GRASS TO GROW THROUGH PAVERS FOR THE APPEARANCE

OF A LAWN. THERE CAN BE SUBTLE CHANGES TO THE CURB CUT LAYOUT TO KEEP THE EXISTING TREE IF POSSIBLE, AND THE PETITIONER MUST SUBMIT ADDITIONAL PLANS TO SHOW THAT CONFIGURATION WITH THE TREE AND HOW BOTH THE TREE AND THE DRIVEWAY COULD BE MAINTAINED.

THERE WAS NO SECOND TO THE AMENDED MOTION. THE MOTION FAILED.

**Commissioner Seyer** reiterated that he could not support 4 curb cuts and he did not understand why the driveway to the accessory structure could not shift slightly to eliminate the need for a fourth curb cut. **Acting Chair Kubow** said he could not support a motion to allow a detached garage there. **Mr. Hautzinger** said that if the commission prohibits the accessory structure as part of this redevelopment plan approval, then the petitioner would not be allowed to come back later and get a permit for it; it would be prohibited. **Commissioner Eckhardt** said an amended motion could be made that states the accessory structure is not approved at this time, but he wanted to leave the door open for the petitioner to return in the future for an accessory structure. **Commissioner Seyer** said he supports the accessory structure because it is allowed by code, but he did not support a fourth curb cut.

**Mr. Hautzinger** read back the original motion made by Commissioner Fitzgerald, and commented that the petitioner acknowledged that without a driveway, the accessory structure is no longer a garage but a shed, and 300 square feet is the maximum allowed for a shed, so the proposed accessory structure would need to be reduced 12 square feet.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD TO AMEND THE MOTION AS FOLLOWS:

1. THAT IF THE SIZE OF THE ACCESSORY STRUCTURE CHANGES, IT SHOULD BE REVIEWED BY STAFF.
2. THAT THERE IS THE OPTION TO NOT BUILD THE ACCESSORY STRUCTURE.

COMMISSIONER SEYER SECONDED THE AMENDED MOTION.

**Acting Chair Kubow** said that after hearing all the facts about the accessory structure, he feels differently about it.

ECKHARDT, AYE; FITZGERALD, AYE; KUBOW, AYE; KUBOW, AYE; KINGSLEY, RECUSE.

ALL WERE IN FAVOR. MOTION CARRIED.

**Chair Kingsley** returned to the room for the rest of the meeting.

**ITEM 2. SINGLE-FAMILY ADDITION REVIEW****DC#25-094 – 819 S. Highland Ave.**

**Mike Hamman**, representing *CD Group*, was present on behalf of the project.

**Commissioner Eckhardt** recused himself from the project and left the room for the discussion.

**Mr. Hautzinger** summarized Staff comments. The petitioner is proposing a second-story addition to an existing single-story home, and an existing one-car attached garage will be converted to a two-car attached garage. The proposed plans comply with the R-3 single-family zoning requirements. This project is appearing before the Design Commission due to the proposed second-floor addition on a block where all of the surrounding homes are single-story.

Overall, the proposed second-floor addition is nicely designed to fit with the existing house and the surrounding context. The hipped roof works well to complement the character of the surrounding homes as well as to keep the height of the side walls down and diminish the mass of the new addition. The only minor comments on the proposed design are that the new front porch columns look too thin and the Craftsman style front door does not fit with the character of the house. Staff recommends wider porch columns and a simpler Colonial-style front door to better fit with the scale and style of the house. Overall, the design is nicely done and Staff recommends approval.

**Mike Hamman** said the existing home is non-compliant on the south side, which is why the second-floor addition is set back. There is no additional square footage to the existing footprint of the home. They are not opposed to Staff's suggestion to widen the columns and change the style of the front door.

**Chair Kingsley** asked if there was any public comment on the project and there was no response from those in the audience.

The commissioners summarized their comments. **Commissioner Fitzgerald** said it is a very nicely designed home and he agreed with the suggestions about the columns and the front door. He suggested eliminating the eave above the window over the garage door so the focus is more on the front door and not the garage, unless it impacts that interior space. He had no further comments.

**Commissioner Kubow** agreed with the comments from Commissioner Fitzgerald. It is a nicely designed home and he appreciated that the precedent image of the home on Park Ave. was included, which is a very attractive home and in the same design as this home. He also agreed with the suggestion to change the style of the front door, which does not look cohesive with the rest of the home.

**Commissioner Seyer** agreed with everything said and had nothing further to add. **Chair Kingsley** had no additional comments other than a suggestion to add a covering over the door on the back of the home.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER SEYER, TO APPROVE THE DESIGN OF THE PROPOSED ADDITION TO THE EXISTING SINGLE-FAMILY HOME LOCATED AT 819 S. HIGHLAND AVENUE. THIS RECOMMENDATION IS BASED ON ARCHITECTURAL PLANS RECEIVED ON 11/18/25, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO WIDEN THE PORCH COLUMNS, TO BE APPROVED BY STAFF.
2. A RECOMMENDATION TO CHANGE THE FRONT DOOR STYLE FROM CRAFTSMAN TO A SIMPLE COLONIAL.
3. A RECOMMENDATION TO ADD SOME TYPE OF SMALL OVERHANG ABOVE THE BACK DOOR.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
5. COMPLIANCE WITH ALL FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES.

**Chair Kingsley** was in support of the suggestion to eliminate the eave above the window above the garage, if the petitioner decides to do so.

**SEYER, AYE; KUBOW, AYE; FITZGERALD, AYE; KINGSLEY, AYE; ECKHARDT, RECUSE.  
MOTION CARRIED.**

**Commissioner Eckhardt** returned to the room for the rest of the meeting.

**ITEM 3. COMMERCIAL REVIEW****DC#25-053 – Fairfield Homes – 526 S. Arthur Ave.**

**Kevin Davis**, representing *Fairfield Homes*, was present on behalf of the project.

**Mr. Hautzinger** summarized Staff comments. Fairfield Homes, a local home builder and remodeler business, is proposing interior and exterior modifications to an existing commercial building to create a new office and showroom. All of the brick, stone, and windows on the existing front elevation will be completely removed to allow installation of a totally new facade. The new facade will be clad with white vertical board & batten siding and trim made of engineered wood. The design includes new large storefront windows with black frames as well as black canvas fabric awnings above the windows.

The scope of the project also includes improvements to the existing site including repaving and restriping the existing parking lot, patching and infilling the parking lot perimeter concrete curbs, and installation of new landscaping. Per code, all off-street parking areas containing more than four parking spaces are required to be screened along the public way. Such screening is generally accomplished with three-foot tall densely planted shrubs, except for within 12-feet of the driveway where the landscaping cannot exceed 18-inches in height to prevent blocking visibility. There is an existing landscape bed along Arthur Avenue that currently only has grass. The petitioner is proposing a continuous staggered row of three-foot tall Karl Forester grasses, which Staff agrees with as a very good salt tolerant option along the harsh roadway. However, within twelve feet of the driveway, instead of trying to maintain the Karl Forester grasses at 18-inches in height, it is recommended to provide an alternate hardy plant, such as Daylilies, which will not require trimming.

The petitioner is also proposing evergreen shrubs in the planting beds along the base of the storefront. Staff agrees with a row of evergreen shrubs in this location, but has concerns about the proposed Junipers which require full sun, where the east elevation will only allow partial sun. A continuous row of Hicks Yew shrubs is recommended instead.

Overall, the proposed improvements are welcome updates to the existing dated building. The new large storefront windows will work very well to highlight the new showroom interior. The awnings above the window will add nice depth to the facade, and the raised parapet will work well to screen the existing rooftop mechanical equipment. The proposed exterior design with wood siding and trim has a nice appearance and a residential feel that fits with the character of the petitioner's home construction and remodeling business. However, per the Village's Commercial Design Guidelines:

- *Materials and their color shall be selected for continuous harmony and aesthetic quality with adjacent buildings.*
- *Materials shall be of durable quality, such as stone and brick. Weather resistant wood is for trim only.*

All of the buildings on Arthur Avenue are earth-toned masonry construction, so the Design Commission should evaluate the proposed bright white all wood front façade. An alternative option to consider could be a painted brick exterior to achieve a similar appearance while providing the long-term durability of masonry.

Another detail to evaluate is the roof scupper and downspout locations, which look unresolved with the new facade design due to the jogging downspout across the front wall. It is recommended to relocate the scuppers to each side of the storefront windows for a more coordinated appearance.

With regards to signage, the rendering illustrates one wall sign on the front elevation located above the main entrance. The proposed wall sign looks nicely designed, and appears to be code compliant. The façade design works well to accommodate the wall sign and highlight the showroom entrance. The plans also indicate a conceptual ground sign. A low monument style ground sign, in lieu of a tall pole-mounted sign is a very nice design direction for the ground sign. Since the sign is not taller than 6-feet, there is no setback requirement. The sign is not shown on the Site Plan, but it will presumably be placed in the landscape bed along the front property line. There is flexibility on the exact location, but it is required to be located at least 12-feet away from the driveway to avoid blocking visibility. Separate sign permit applications along with detailed and dimensioned sign drawings are required for each sign. The petitioner intends to use trash bins which will be stored inside the building, so exterior trash screening is not required. With these comments, Staff recommends approval of the project.

**Kevin Davis** questioned the longevity of painting the brick versus the wood being proposed for the front facade. He was not in favor of moving the scuppers because it is a costly change to make, and because cars speed so fast down Arthur Avenue, cars can barely see his sign much less a scupper.

**Chair Kingsley** asked if there was any public comment on the project and there was no response from those in the audience.

The commissioners summarized their comments. **Commissioner Seyer** was in support of the proposed changes to the building and said it did not have to blend in with its surroundings; the building is set back enough, and it just needs to look nice. However, the other elevations are not shown and he did not understand what happens when the corners turn with regards to the materials. **Mr. Davis** said there is a typo on the drawing; there is no 'thin cut brick veneer' on the front elevation. The sides and rear of the building are existing masonry to remain and painted white to match the front. **Commissioner Seyer** said he could be in support of the design if the brick wrapped around both front corners of the building. He reiterated that he is favor of the design aesthetic and the materials, but he needs to see how it ties in with the rest of the building.

**Commissioner Kubow** agreed with those comments. He had no problem with the white color being proposed that will add pop to the building, he was fine with the sign, and he agreed with Staff's comments on the landscaping.

**Commissioner Eckhardt** was fine with the proposed changes, and he liked the white color being proposed because the building is set back. He had concerns about the durability of a white overhead garage door and suggested painting the door black instead. He loved the colors being proposed and agreed with the concerns about the corners of the building that should be wrapped on to the side elevations, approximately 1-foot. **Mr. Davis** understood.

**Commissioner Fitzgerald** agreed with everything said by the commissioners and added a comment that the low windows on the front elevation will make landscaping extremely limited. He cautioned the petitioner about knowing the full height of the new plants being added there. **Chair Kingsley** said plantings should also be drought resistant because of the awnings above. She also asked about the material behind the gooseneck lamps above the front door and how the material turns. **Mr. Davis** said the material is the same as the panel siding. **Chair Kingsley** asked how far the metal canopy below the signage above the front door will project, and **Mr. Davis** said not far, about 2-feet, and it will be painted black. **Chair Kingsley** was concerned about how that panel system will work with the goosenecks and the lighting. She asked the petitioner to provide that information to Staff for review. She also agreed with the

comments that the material on the front elevation should turn the corners at least 1-foot, including the parapet. She asked about the glass and **Mr. Davis** said it is clear.

**A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE ARCHITECTURAL DESIGN FOR EXTERIOR MODIFICATIONS TO THE EXISTING BUILDING AT 526 S. ARTHUR AVENUE. THIS RECOMMENDATION IS BASED ON ARCHITECTURAL PLANS RECEIVED 6/25/25, SITE/LANDSCAPE PLAN RECEIVED 11/23/25, COLOR RENDERING RECEIVED 12/8/25, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:**

1. A RECOMMENDATION TO CONSIDER PAINTING THE OVERHEAD GARAGE DOOR BLACK.
2. A RECOMMENATION TO BE COGNIZANT OF THE HEIGHT AND DROUGHT TOLERANCE OF THE PLANT MATERIAL BEING ADDED ALONG THE WINDOWS ON THE FRONT ELEVATION.
3. A REQUIREMENT TO WRAP THE FRONT FASCIA AND SIDING DOWN THE SIDES APPROXIMATELEY 1-FOOT.
4. A REQUIREMENT THAT THE REST OF THE BUILDING BE PAINTED WHITE.
5. AN ACKNOWLEDGEMENT THAT THE CANOPY ABOVE THE FRONT DOOR WILL PROJECT APPROXIMATLEY 2-FEET OUT FOR PROTECTION, THE WALL MATERIAL BEHIND THE WALL SIGN WILL BE THE SAME WHITE SIDING BEING USED ON THE BUILDING, AND THE STOREFRONT GLASS WILL BE CLEAR.
6. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILTY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
7. COMPLIANCE WITH ALL FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES.

**Chair Kingsley** clarified that the petitioner previously stated the material above the front door will be panels in the same material as the board and batten.

**A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION AS FOLLOWS:**

5. AN ACKNOWLEDGEMENT THAT THE CANOPY ABOVE THE FRONT DOOR WILL PROJECT APPROXIMATLEY 2-FEET OUT FOR PROTECTION, AND THE WALL MATERIAL BEHIND THE WALL SIGN WILL BE PANELS OF THE SAME WHITE SIDING BEING USED ON THE BUILDING, AND THE STOREFRONT GLASS WILL BE CLEAR.

**SEYER, AYE; KUBOW, AYE; FITZGERALD, AYE; ECKHARDT, AYE; KINGSLEY, AYE.  
ALL WERE IN FAVOR. MOTION CARRIED.**

**ITEM 4. SIGN VARIATION REVIEW****DC#25-088 – Arbor House – 25 E. Algonquin Rd.**

**Adrien Binet** representing *Thomas Roszak Architecture*, **Brian Carley**, representing *Bradford Allen*, and **Charles Witherington-Perkins**, representing *PlanGreatCities LLC*, were present on behalf of the project.

**Mr. Hautzinger** summarized Staff comments. “Arbor House” (formerly known as the Arlington Gateway Development) is a new mixed-use development currently under construction at the southeast corner of Arlington Heights Road and Algonquin Road. The petitioner is requesting sign variations for five ground signs and four wall signs at the development.

Per code, two ground signs maximum are allowed (one per street frontage) with a requirement for a minimum 800-feet of separation between the signs (measured along the property lines). Therefore, a variation is required to allow the proposed five ground signs with separation distances of 293', 26', 275', and 306'. Three of the proposed ground signs will be multi-tenant signs displaying the “Arbor House” name along with tenant panels for future commercial tenants. The three multi-tenant signs will be located at the three main access drives into the site: the southwest corner driveway from Arlington Heights Road, the central entrance driveway from Algonquin Road, and at the Tonne Drive street intersection. Two of the signs (Sign 1 at the southwest corner, and Sign 2 at Tonne Drive) are also proposed to include tenant panels for the proposed “Arlington Med” medical office building redevelopment which is located at 155 E. Algonquin Road. Since Arlington Med is not located on the subject property, an additional variation is required because code prohibits advertisement of a business that is not located on the same property as the sign. The two remaining ground signs (Signs 4 & 5) will only display the “Arbor House” name and they are proposed to be located at the northwest corner of the development, flanking the circular plaza facing Arlington Heights Road and Algonquin Road. All five of the signs are less than the maximum allowed ground sign size and height per code.

In addition to the ground signs, the petitioner is proposing four “AH” wall signs to be located at the top of the building at the northwest and southwest corners. Per code, two wall signs maximum are allowed at the top of the building (one per street frontage). Code also limits the size of the signs to 25% of the signable wall area. Two of the proposed wall signs are less than 25% of the signable wall area, but the other two signs are greater than 25%. Two of the wall signs comply with code, but the other two wall signs require variations for the number of signs as well as the size of the signs.

The petitioner has submitted a letter addressing the sign variation criteria, which in summary states that the additional ground signs are needed for wayfinding and safety due to the scale of the site with multiple access drives and traffic approaching from several directions. The off-premise medical office tenant panels are needed for wayfinding due to the office building having no street frontage. The petitioner did not address all of the criteria for the proposed wall signs, but states that the wall signs are modest in scale relative to the very large facades.

Staff does not object to the three multi-tenant ground signs which make sense to be located at each of the main entry drives for wayfinding. However, Staff does not believe that the two “ARBOR HOUSE” signs at the northwest corner are necessary and believes that five multi-tenant ground signs for this development is excessive. While Staff acknowledges that all of the ground signs are tastefully designed, and are less than the maximum allowed size and height, due to the location and visual prominence of the development, Staff does not feel that the additional ground signs are warranted.

In regards to the three multi-tenant ground signs, there are some unique issues regarding Ground Sign 3 which require unique conditions for approval. This ground sign is proposed to be located at the southwest corner of Algonquin Road and Tonne Drive and is within an easement that is outside of the property boundary. The location of the sign within the easement requires approval from the existing adjacent Lincoln Atrium Condo Association office complex. Therefore, if the requested sign variation is approved, a sign permit still cannot be issued without the Condo Association approval. Additionally, the existing Tonne Drive is proposed for possible widening to accommodate a new left turn lane. As shown on the plans, if/when the road is widened, the proposed sign will become abnormally close to the street curb. Therefore, Staff is recommending a condition to require the possible relocation of this ground sign to create a greater setback from the street curb for visibility if/when the Tonne Drive widening is implemented.

In regards to the proposed off-premise "Arlington Med" tenant panels, Staff has no objection due to the unique circumstance of the building having no street frontage and the need for additional wayfinding.

In regards to the proposed wall signs, Staff feels the "AH" wall sign message is vague, and encouraged the petitioner to consider changing the signs to read "ARBOR HOUSE", which would be a clear message for the name of the building. However, the petitioner did not want to explore that option due to difficulties with integrating the sign with the building design. Staff still feels that "ARBOR HOUSE" wall signs would be more effective, but Staff is not opposed to the proposed "AH" signs. However, Staff does not agree with the need for four wall signs. Despite the wall signs being relatively small compared to the size of the building, there is no hardship to justify the need for four wall signs. Staff recommends two code-compliant wall signs, keeping the sign on the south wall and the sign on the north end of the west wall, and omitting the other two wall signs.

Staff recommends the Design Commission evaluate the sign variation request to allow five ground signs with separation distances as proposed, where only two ground signs are allowed. Staff recommends approval for the sign variation request to allow two 5.78 sf off-premise tenant panels for Arlington Med. Staff recommends denial of the sign variation request to allow four wall signs at the top of the multi-story building.

**Adrien Binet** referred to the aerial site plan and said this phase of the large development is just under 4 acres, and the ground signs being proposed, including the main sign at the northeast corner of the site, are important to show both the retail presence and the building presence. These ground signs will create a better presence for the entire building that can be seen from both the north and the west. The sign at the southwest corner of the site is mostly for the retailers, with a small Arbor House sign at the top of the sign to show the entrance to the parking, as well as signage for the Arlington Med medical building to the south which has no street frontage. No large retail signs are proposed, and there will be no retail signage on the east and south frontages. The overall square footage for the five proposed ground signs is less than what is allowed by Village code for two large signs on the two frontages. The four AH wall signs at the top of the building are for visibility, and the faceted design helps break up the facade and break down the massing of the building, as opposed to having signage across the elevation. They feel the number of signs being proposed relates to the number of surrounding streets and roads, including the south access road. The four wall signs help identify this gateway into the Village and Arbor House, as well as help overall wayfinding for the site.

**Charles Witherington-Perkins** provided a summary comparing the proposed signage to what is allowed by code, which includes the size of the signs, double versus single-sided signs,

and total square footage. With regards to hardship, the angle of Algonquin Road makes for challenges, and there is only one full access entrance to the site which is at Tonne Road. The ground sign proposed at the driveway on the south can only be accessed from northbound Arlington Heights Road, and the site can only be accessed from eastbound Algonquin Road. The two Arbor House ground signs at the northwest corner of the site will provide visibility for north/south traffic that cannot see the other ground signs being proposed. Traffic from the west passing Tonne Road will need to turn around and come back to the site from the east.

**Commissioner Eckhardt** asked if Guitar Center is part of this new development, and how traffic going south on Arlington Height Road will access the site. **Brian Carley** replied that they now own Guitar Center, which will be part of a future phase of development. There is currently a median along Arlington Heights Road that does not allow for a left turn into the site when going south. This is a challenging site so the corner of the site is clearly marked with two 'Arbor House' ground signs as well as the 'AH' wall signs on the building, along with an additional 26 acres to the north that will add more buildings in the future for additional visibility of the site. The main entrance to the building is tucked underneath the building, midway on Algonquin Road. **Mr. Binet** pointed out the two driveways that go under the building that can be accessed from both Algonquin Road and from the entry off Arlington Heights Road.

**Charles Witherington-Perkins** said the four proposed wall signs are intended to be subtle and modest, with the idea that coming west on the tollway or coming west on Algonquin Road will promote both the development and the community. Having the wall sign on just the south side of the building will not provide visibility from the tollway that having a sign on the west side from Arlington Heights Road as well. They recognize that the four wall signs total 84 sf versus 194 sf allowed by code. This development is the largest development built along this corridor, with 300 units and 30 affordable units, which is the most affordable units built by a private developer in Arlington Heights to date, as well as 26,000 square feet of commercial space, which is the largest commercial development built since Mitsuwa was built in 1991 along this corridor. This development will be a catalyst for this corridor and the thought is that while these variations are needed, the proposed signs are modest in nature and the unique shape of the site and access justify them.

**Chair Kingsley** asked if future development of the site will also be called Arbor House, and the petitioner said that each building will get its own name. She asked about the difference in lighting between the wall signs and the ground signs. The petitioner said the wall signs will be backlit from behind the letters, possibly color changing; the small Arbor House ground signs will not be lit; and the three tenant ground signs will be backlit except for the 'Arbor House' at the top of the signs will not be lit.

**Chair Kingsley** asked if there was any public comment on the project and there was a response from the audience.

#### **PUBLIC COMMENT**

Jack Tse, a resident of Arlington Heights, said he is also a representative of Path Construction on behalf of the adjacent property owner at 125 E. Algonquin, and a member of the Lincoln Atrium Association that is the adjacent property. He spoke about Ground Sign 3 proposed at the northeast corner of the site at Tonne Road. This sign is located outside the site boundary which requires approval from the Association. An easement request has been submitted and is still under consideration by the Association. He was concerned about the new ground sign and the obelisk being proposed there, because there is an existing sign that the Association has in that same location that would be effectively blocked by the new sign. The wedge is Association property and they have not reached an agreement with the petitioner on the terms of that easement which he wanted to be noted for the record. The Association has

requested information from the petitioner for the exact definition of ownership and the easement rights on that property, as well as the future expansion of the turning lane onto Tonne Road, which are questions they would like to have addressed. He would like future development plans discussed.

**Brian Carley** asked Mr. Tse who he represents, and Mr. Tse responded that he speaks for Path Construction, but the points that he raised tonight are the views of the Association.

**Mr. Hautzinger** said the plan being presented tonight shows the petitioner's plans for the northeast corner of the site, which includes the new ground sign, obelisk, plaza, and removal of the existing sign. The review tonight will move the sign variation request through the approval process and onto the Village Board, but the variation approval will include a condition that requires written approval from the Lincoln Condo Association, as well as a condition to potentially require relocation of that ground sign if the road is widened in the future. No permit will be issued for the sign until the conditions are met.

The commissioners summarized their comments.

**Commissioner Eckhardt** was not opposed to the variations for any of the signs being proposed. Signage at the northeast corner of the site is very important and there should be a sign there; however, the petitioner should understand the process if that ground sign needs to be relocated if the road is widened. He was initially confused by the 'AH' wall signs and whether they meant Arbor House or Arlington Heights, and he asked if the signs are placeholders until the rest of the site is developed. He asked if the development has an official logo. The petitioner said there is no logo developed yet for the site, and the wall signs shown are intended to be permanent. **Commissioner Eckhardt** was in support of the wall signs shown on both sides at both corners of the building, and in general, the number of signs being proposed are modest despite what code allows, as shown in the petitioner's summary presented. Signage for the medical building is very important as well. He was in favor of the sign variations being requested tonight.

**Commissioner Fitzgerald** said the project as a whole is really nice and it's exciting to see this tonight. He was okay with all the locations of the ground signs; the 'AH' wall signs are unusual and he was unsure if he liked that; he liked the locations of the wall signs because of the building, and the size of the wall signs look like they belong architecturally. The two ground signs at the corner of the site look really cool, and he was in support of the variations.

**Commissioner Seyer** said the project looks really nice but he was confused about the signage because there is no street address on any of the signs. He asked if there are more signs to come that will include the address of the building. This seems like a lot of signs that state 'Arbor House' and he asked why. **Mr. Binet** said there will be additional wayfinding/directional signs within the site that have addresses for each building and each retail space, or the name of the retail space, and each retail door entrance will have an address on it.

**Commissioner Seyer** was confused about why the ground signs show the retail names and not the address of the building. He did not understand the need for that. He was not opposed to the number of signs being requested, or the size of the signs; he was just confused about why the address of the building is not on the ground signs, especially the two signs at the corner. He also questioned why signage is needed at the top of a residential building because the four 'AH' wall signs scream hotel to him, and he was concerned about setting a precedent where every building has signage at the top no matter where it is. He said the details of the wall signs are not as clean as perhaps what is being shown. There is an entire metal structure that is holding the 'AH' wall signs, and it will be framed in metal. He did not want to force

this through and then the signs look terrible or not as nice as everything else coming together here, and then a precedent has been set.

**Commissioner Kubow** said the design of the 'AH' wall signs are clean and playful, and he was not bothered by four signs; however, he agreed with the concerns about setting a precedent here. This is a unique location and we want it to be successful, it is a gateway, so there is a little more leniency for him. He was not bothered by the lack of addresses on the ground signs because the building is very large and obvious, with nothing around it; people will know where they are when they see it. He asked for clarification of the materials behind the wall signs, and **Mr. Binet** referred to the specification drawings for the wall signs and explained the structural materials. **Commissioner Kubow** questioned the need for two ground signs facing west, although he was not overly concerned about that. Overall, he was okay with everything being proposed and wants to be supportive because of the importance of the success of this project, but he also does not want to set a poor precedent.

**Chair Kingsley** said the overall signage package is really good. She supports the ground signs with tenant names that are very useful and very important. She asked where the ground sign at the northeast corner of the site would move to if the Association did not give their approval. **Mr. Binet** said there is a plan to move the obelisk and the ground sign to the west, if the Association does not approve their request. **Chair Kingsley** also said the Arbor House ground signs at the corner of Arlington Heights Road and Algonquin Road work well with the plaza design proposed for that corner, but she questioned why those signs are not illuminated. She acknowledged that the obelisk will be lit and had concerns about it being dark-sky compliant. She felt Commissioner Seyer made a good point that there is no address on the signs, and that the residential area is being named. **Mr. Binet** said that with two street frontages, the retailers will have addresses on both Algonquin Road and Arlington Heights Road.

**Mr. Hautzinger** agreed that lighting is important for the two 'Arbor House' ground signs at the corner of Arlington Heights Road and Algonquin Road. If the signs are not illuminated, the signs could get lost and be ineffective. He suggested that the petitioner consider a push-through style lettering which would be a tasteful and subtle way to light the signs. **Mr. Binet** said they did not specifically consider that type of sign; they do not want to overwhelm this area with lighting because the obelisk has 3 lights within each fin on the outside, pointing just at the obelisk. They also studied the dark sky compliance and the obelisk lights are rated to have a specified fall off distance.

**Chair Kingsley** was unsure about the 'AH' wall signs on the building. She understood Staff's opinion that 4 wall signs are a lot, and whether 2 wall signs are needed at each corner. She also understood why the petitioner wants the four wall signs, which visually anchor the corner of the building. She agreed with the concerns about the mounting details of the wall signs, and asked if there will be shadows around the box of the sign that will be seen.

**Commissioner Eckhardt** asked if the Village Fire Department had any concerns about this building not having signage with an address. **Mr. Binet** said the Fire Department has reviewed all the exterior wayfinding signs for the building itself, including fire hydrant locations and connections, but the signs presented tonight have not been part of that conversation.

**Mr. Binet** explained that the wall sign letters are not as far off the building as shown in the drawing, and there will be a horizontal white tube behind the letters that is currently not shown on the drawings. With the building complete, they looked at different options to get the sign structure to stand off from the building, such as going over the parapets, or going into the slab edges. The tubes can be underneath and above the letters instead of directly

behind the letters, but it is hard to get away from a frame to hold up the letters. **Chair Kingsley** suggested doing a mock-up of the wall sign system, that could be provided to Staff. **Commissioner Seyer** stressed the importance of knowing how the details of the back-up structure of the wall signs will look to ensure that the signs will look as good as what is being shown tonight. He questioned whether the letters themselves should be illuminated in the front, with dark metal on the sides. He had concerns about the size of the metal frame and the close proximity they are to each other and how much of the frame will be visible.

**Commissioner Kubow** was fine with the overall look of all the signs being proposed, but he agreed with the concerns that there is not enough information tonight about the details of the wall signs. **Chair Kingsley** agreed with those concerns, and said she was leaning towards having only 2 wall signs, as recommended by Staff. She also was in favor of the two 'Arbor House' ground signs being lit in some way. **Commissioner Eckhardt** agreed with the concerns that details of the wall signs are needed to ensure the signs will look as shown tonight. He felt the petitioner understood these concerns and could provide details drawings to Staff for review, which could be included in a motion. **Commissioner Fitzgerald** was open to the comments given by the other commissioners.

**Mr. Hautzinger** said the petitioner has done an outstanding job on this development and felt that they have the knowledge and skill to address the comments and concerns made by the commissioners tonight regarding the wall sign mounting details. **Commissioner Seyer** asked if coloring of the sign lighting was allowed by code. **Mr. Hautzinger** said that the plans as submitted show the sign lighting to be white. Code prohibits strobing, blinking, and changing lights. He asked the petitioner what their intention is in regards to sign lighting color. **Mr. Binet** said they have not finalized if the wall sign lighting would change color, and LED lights offer many color options. **Commissioner Eckhardt** said it could be fun to change the color for holidays, but the lights cannot be fast moving or distracting, and the petitioner understood. **Mr. Hautzinger** stated that the proposed signs are being reviewed based on the plans submitted, which indicate all lighting to be white with no mention of color changing.

**A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER SEYER, TO RECOMMEND TO THE VILLAGE BOARD OF TRUSTEES, APPROVE THE FOLLOWING SIGN VARIATIONS FOR ARBOR HOUSE LOCATED AT 25 E. ALGONQUIN ROAD:**

**GROUND SIGNS**

1. A VARIATION FROM CHAPTER 30, SECTION 30-302.A NUMBER, TO ALLOW FIVE GROUND SIGNS WITH SEPARATION DISTANCES OF 293', 26', 275', AND 306', WHERE ONLY TWO GROUND SIGNS ARE ALLOWED (ONE PER STREET FRONTAGE) WITH A MINIMUM REQUIRED SEPARATION DISTANCE OF 800 FEET.
2. A VARIATION FROM CHAPTER 30, SECTION 30-120.F PROHIBITED SIGNS, TO ALLOW TWO 5.78 SF OFF-PREMISE TENANT PANELS FOR ARLINGTON MED (LOCATED AT 155 E. ALGONQUIN ROAD) ON GROUND SIGNS #1 & 3, WHERE IT IS PROHIBITED TO ADVERTISE A BUSINESS WHICH IS NOT LOCATED ON THE SAME PROPERTY AS THE SIGN.

**WALL SIGNS:**

3. A VARIATION FROM CHAPTER 30, SECTION 30-402.B NUMBER, TO ALLOW FOUR WALL SIGNS AT THE TOP OF A MULTI-STORY BUILDING, WHERE ONLY TWO WALL SIGNS ARE ALLOWED (ONE PER STREET FRONTAGE).
4. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 21 SF WALL SIGN ON THE WEST WALL OF THE BUILDING, WHERE 0 SF IS ALLOWED.
5. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW

A 21 SF WALL SIGN ON THE NORTH WALL OF THE BUILDING, WHERE 0 SF IS ALLOWED.

THIS RECOMMENDATION IS BASED ON PLANS RECEIVED 10/24/25, FEDERAL, STATE AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT THAT THE MOUNTING DETAILS FOR THE 'AH' WALL SIGNS BE FURTHER DETAILED AND SUBMITTED TO STAFF FOR REVIEW AND COMMENT.
2. A REQUIREMENT TO RESOLVE THE EASTERN GROUND SIGN EASEMENT ISSUE WITH THE LINCOLN ATRIUM CONDO ASSOCIATION AS SOON AS POSSIBLE WITH LEGAL DOCUMENTATION APPROVING GROUND SIGN #3 IN THE PROPOSED LOCATION.
3. A REQUIREMENT TO PROVIDE ALTERNATE SITE PLANS TO SHOW WHERE THE SIGN WILL BE LOCATED IF TONNE ROAD IS WIDENED, OR IF APPROVAL FROM THE ADJACENT CONDO BOARD ASSOCIATION IS NEVER OBTAINED.
4. A REQUIREMENT TO LIGHT THE 'ARBOR HOUSE' LETTERING ON GROUND SIGNS #4 & #5 WITH AN ACCEPTABLE METHOD OF ILLUMINATION.
5. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

**Commissioner Kubow** commented about requiring dark-sky compliance for the obelisk. **Mr. Hautzinger** said the design and illumination of the obelisks were reviewed at the time of the building design.

**Mr. Hautzinger** asked the petitioner if they will be able to provide the site plans showing the alternate ground sign locations to include for the Village Board review. **Mr. Binet** said that they are happy to provide more exhibits to show other location options for moving the sign and obelisk at the northeast corner of the site, prior to Village Board review.

**Commissioner Eckhardt** asked about the purpose of the easement and when it was established. **Mr. Perkins** said the easement was established when the lots were platted in 1982 or 1983. Lincoln Atrium and the Daily Herald building were part of one planning and development with a cross-access easement coming through there, and the two dilapidated signs that are there now were approved with a variation around that same time. The easement allows signage for all the neighbors, including the office building which has no visibility. **Mr. Carley** said the easement is no longer relevant and they are seeking to vacate it.

**Chair Kingsley** asked if the commissioners were okay with having 4 wall signs, versus only 2 as recommended by Staff. **Commissioner Kubow** preferred 3 wall signs, but was okay with the motion as it stands.

**KUBOW, AYE; SEYER, AYE; FITZGERALD, AYE; ECKHARDT, AYE; KINGSLEY, AYE.**

**ALL WERE IN FAVOR. MOTION CARRIED.**

**Mr. Hautzinger** said the next Village Board meeting is January 20, 2026 and he will be in contact with the petitioner to confirm.

DRAFT

**ITEM 5. OTHER BUSINESS**

**Public Comment**

Keith Moens commented that the motion made tonight for the teardown project was well structured and transparent.

**A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER SEYER, TO ADJOURN THE MEETING AT 9:40 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.**

DRAFT



VILLAGE OF  
ARLINGTON HEIGHTS  
INC. 1887

**Design Commission**  
**1/27/2026**

**Item:** 1161 N. Hickory Ave. - SF/Addition - DC25-101

**Department:** Planning & Community Development

**Item Description:**

**Requested Action**

Approval of the proposed architectural design for an addition to an existing single-family residence.

**Recommendation**

It is recommended that the Design Commission approve the design of the proposed addition at 1161 N. Hickory Avenue. This recommendation is based upon the architectural plans received on 1/12/26, and subject to the following conditions:

1. A recommendation to reduce the roof pitch of the front gables (similar to the rear elevation) to better fit with the scale of the adjacent homes.
2. A recommendation to hip the sides of the main roof to reduce the overall height of the side walls to better fit with the scale of the adjacent homes.
3. A recommendation to omit the top section of the two-story bay window (above the second story window) to minimum the visual height of the house.
4. An earth-tone color scheme is recommended to better fit with the surrounding context.
5. A recommendation to add some windows to the north elevation to break up the blank wall.
6. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

7. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

**ATTACHMENTS:**

1. Staff Report 25-101
2. Exhibits\_1161 N Hickory Ave

## STAFF DESIGN COMMISSION REPORT

**PROJECT INFORMATION:**

**Project Name:** 1161 N. Hickory Ave  
**Project Address:** 1161 N. Hickory Ave  
**Prepared By:** Steve Hautzinger

**Date Prepared:** January 21, 2026

**PETITION INFORMATION:**

**DC Number:** 25-101  
**Petitioner Name:** Kevin Purdom  
**Petitioner Address:** JRC Design Build  
 1275 E. Davis Street  
 Arlington Heights, IL 60005  
**Meeting Date:** January 27, 2026

**Requested Action(s):** Approval of the proposed architectural design for an addition to an existing single-family residence.

**ANALYSIS:**

**Summary**

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing a second story addition to an existing single-story home. An existing two-car detached garage will be replaced with a new detached two-car garage in the same location. The property has a total land area of 7,000 square feet and the proposed residence with addition will be 2,418 square feet. This project requires review by the Zoning Board of Appeals for encroachment into the required side yard setback. Otherwise, the plans comply with the rest of the R-3 single-family zoning requirements as summarized below.

	<b>ALLOWED</b>	<b>PROPOSED</b>
Setbacks	Front: 30 feet Side: 5 feet Side: 5 feet Rear: 30 feet	Front: 30.6 feet <b>Side: 2.8 feet</b> Side: 9.1 feet Rear: 72.7 feet
Building Height (to the midpoint)	25 feet	25 feet
FAR	3,150 SF	2,418 SF
Building Lot Coverage	2,450 SF	1,875 SF
Impervious Surface Coverage	3,500 SF	3,344 SF

This project is appearing before the Design Commission due to the proposed full second floor addition on a block where the context is predominantly single-story or one-and-a-half story homes.

Overall, the design of the proposed second floor addition is simple and straight forward. However, considering the surrounding context of smaller-scale single-story homes, the following revisions are recommended to reduce the visual height of the proposed expanded house:

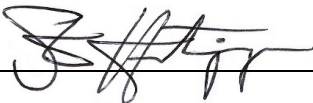
1. A recommendation to reduce the roof pitch of the front gables (similar to the rear elevation) to better fit with the scale of the adjacent homes.
2. A recommendation to hip the sides of the main roof to reduce the overall height of the side walls to better fit with the scale of the adjacent homes.
3. A recommendation to omit the top section of the two-story bay window (above the second story window) which seems unnecessary and adds visual height to the house.

4. Color Scheme. The proposed black & white color scheme will have a bold appearance in this location. An earth tone color scheme is recommended to better fit with the surrounding context which will soften the appearance.
5. North Elevation. A recommendation to add some windows to the new second story to break up the blank wall.

**RECOMMENDATION:**

It is recommended that the Design Commission **approve** the design of the proposed addition at 1161 N. Hickory Avenue. This recommendation based upon the architectural plans received on 1/12/26, and subject to the following conditions:

1. A recommendation to reduce the roof pitch of the front gables (similar to the rear elevation) to better fit with the scale of the adjacent homes.
2. A recommendation to hip the sides of the main roof to reduce the overall height of the side walls to better fit with the scale of the adjacent homes.
3. A recommendation to omit the top section of the two-story bay window (above the second story window) to minimum the visual height of the house.
4. An earth tone color scheme is recommended to better fit with the surrounding context.
5. A recommendation to add some windows to the north elevation to break up the blank wall.
6. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
7. Compliance with all applicable Federal, State, and Village codes, regulations and policies.



January 21, 2026

Steve Hautzinger AIA, Design Planner  
Department of Planning and Community Development

c: Petitioner, DC File 25-101

# NEW HOUSE AT 1161 N HICKORY AVE



1275 E. DAVIS, ARLINGTON HEIGHTS, IL 60005  
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## NEW HOUSE ON

1161 N HICKORY AVENUE  
 ARLINGTON HEIGHTS, IL 60004

DATE

1-01/12/2026

ISSUE DATE

1-01/12/2026 1 - DESIGN REVIEW

### PROJECT DATA

PROJECT LOCATION:	1161 N HICKORY AVE	
ZONING DISTRICT:	R-3	
LOT AREA:	8,400 SF	
PIN:	03-20-412-007-0000	
MAX LOT COVERAGE:(35%)	2,450 SF	
PROPOSED LOT COVERAGE:	1,875 SF	
MAX FAR: (45%)	3,150 SF	
PROPOSED FAR:	2,502 SF	
MAX IMPERVIOUS COVERAGE (50%)	3,500 SF	
MAX FRONT YARD IMPERVIOUS (50%)	750 SF ALLOWED	250 SF PROPOSED
PROPOSED IMPERVIOUS COVERAGE:	3,286 SF	
MAX BUILDING HEIGHT:	25'-0"	
PROPOSED BUILDING HEIGHT:	25'-0"	
LOCATION AREAS:		
FIRST FLOOR	1,177 SF	
SECOND FLOOR	1,241 SF	
GARAGE	484 SF	
TOTAL SQUARE FOOTAGE:	2,418 SF	

### DESIGN CRITERIA

<b>FLOOR</b>	
SLEEPING ROOMS	40# LL - 10# DL
OTHER ROOMS	40# LL - 10# DL
VEH. GARAGES	50# LL - 10# DL
<b>WALL</b>	
60# PLF OR ACTUAL LOAD	
20 PSF WIND 0'-20' HEIGHT	
25 PSF WIND 21'-29' HEIGHT	
30 PSF WIND 30' HEIGHT AND ABOVE	
<b>CEILING</b>	
UNHAB W/O STOR	10# LL - 10# DL
UNHAB LIM STOR	20# LL - 10# DL
HAB W/ FIX STAIR	30# LL - 10# DL
<b>WIND SPEED</b>	
115 MPH	
3 SECOND GUST	
& 89 NOMINAL	
<b>ROOF</b>	
30# LL (SNOW) - 10# DL (ALL SLOPES)	
<b>CATHEDRAL</b>	
30# LL - 15# DL (ALL SLOPES)	
<b>EXT DECK</b>	
40# LL - 10# DL	
<b>EXT BALCONY</b>	
40# LL - 10# DL	
<b>STAIRS</b>	
40# LL + 300#	
CONCENTRATED LOAD	
<b>GUARD &amp; HANDRAILS</b>	
200# LL AT ANY DIRECTION	
APPLIED AT THE TOP	
<b>FROST DEPTH</b>	
42" (3'-6")	
<b>STRUCTURAL FRAMING LUMBER</b>	
BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)	
GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875	
SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM	
PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER	
<b>MANUFACTURER - TRUS-JOIST</b>	
PRODUCT - LVL HEADERS & BEAMS MICRO-LAM	

### APPLICABLE CODES - ARLINGTON HEIGHTS

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:

<b>BUILDING CODE</b>	2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
<b>MECHANICAL CODE</b>	2018 INTERNATIONAL MECHANICAL CODE
<b>ELECTRICAL CODE</b>	2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
<b>PLUMBING CODE</b>	2014 ILLINOIS PLUMBING CODE WITH AMENDMENTS
<b>ENERGY CODE</b>	2024 ILLINOIS ENERGY CONSERVATION CODE WITH STATE AMENDMENTS

-ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.  
 -MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.  
 -ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.

### SHEET INDEX - ARCHITECTURAL

3D	3D VIEWS	1-01/12/2026
A0	COVER SHEET	1-01/12/2026
A1	EXISTING DRAWINGS	1-01/12/2026
A2	FOUNDATION & BASEMENT PLANS	1-01/12/2026
A3	FIRST FLOOR PLAN	1-01/12/2026
A4	SECOND FLOOR PLAN	1-01/12/2026
A5	ROOF PLAN & STAIR DETAILS	1-01/12/2026
A6	ELEVATIONS	1-01/12/2026
A11	STRUCTURAL DETAILS	1-01/12/2026
A12	SPECIFICATIONS	1-01/12/2026
A15	WALL SECTIONS	1-01/12/2026
MEP0	BASEMENT MEP & STRUCTURE PLAN	1-01/12/2026
MEP1	FIRST & SECOND FLOOR MEP & STRUCTURE PLANS	1-01/12/2026
MEP2	MEP DIAGRAMS AND DETAILS	1-01/12/2026

### PROJECT SCOPE OF WORK

#### PROPOSAL

ADD ADDITION OFF BACK OF HOUSE AND SECOND STORY ON TOP OF FIRST FLOOR.

FULL DEMO OF FIRST FLOOR AND RENOVATION OF INTERIOR OF HOUSE.

### TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ	FLOOD HAZARDS CHAPTER VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL REGION	WIND-BORNE DEBRIS ZONE		WTRNG	FROST LINE DEPTH	TERMIT					
25	115	NO	NO	NO	b	SEVERE	42"	MOD TO HEAVY	-4	YES	NOV 6:2000	2000	47.6

### ABBREVIATIONS

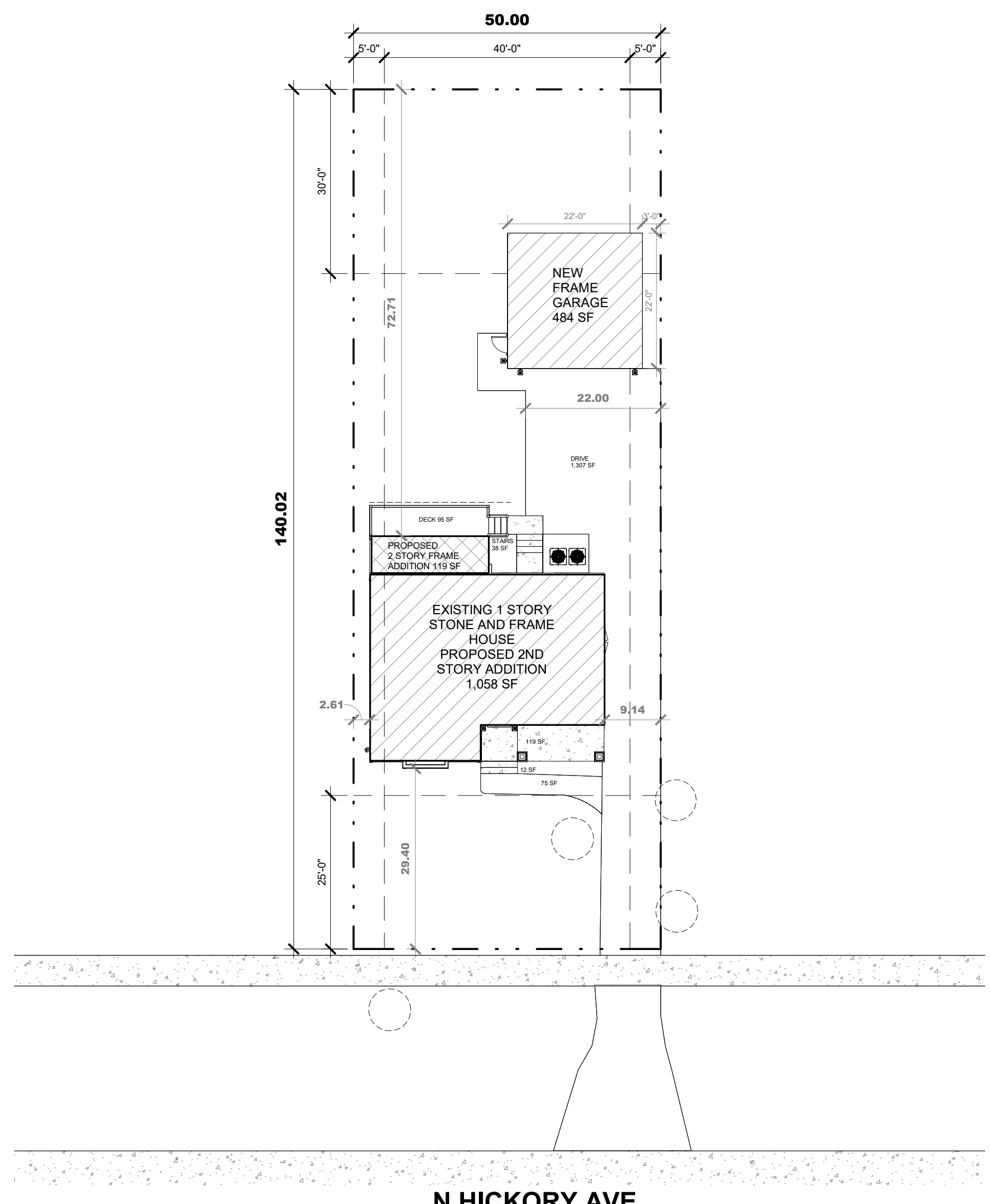
A.B.	ANCHOR BOLT	L.	LINEN
ABV	ABOVE	LAM.	LAMINATE
A.C.	AIR CONDITIONING	LAV.	LAVATORY
ACOUST.	ACOUSTIC	LL	LIVE LOAD
ADJ.	ADJUSTABLE	LP	LOW POINT
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINUM	MC	MEDICINE CABINET
ALT.	ALTERNATE	MECH	MECHANICAL
A.P.	ACCESS PANEL	MED	MEDIUM
APPROX.	APPROXIMATE	MIN	MINIMUM
ARCH.	ARCHITECTURAL	MISC	MISCELLANEOUS
@	AT	ML	MICROLAM
BD	BOARD	MO	MASONRY OPENING
BI	BUILT-IN	MRBL	MARBLE
BLDG	BUILDING	MTL	METAL
BOT.	BOTTOM	MW	MICROWAVE
BT	BOTTOM OF	NC	NOT IN CONTRACT
BRG.	BEARING	NO	NUMBER
BRG. PL.	BEARING PLATE	NOM	NOMINAL
B.U.R.	BUILT UP ROOFING	NTS	NOT TO SCALE
CRPT	CARPET	O	OVEN
CABT	CABINET	OA	OVERALL
C.I.	CAST IRON	OC	ON CENTER
C.J.	CEILING JOISTS	OPP	OPPOSITE
C.J.T.	CONSTRUCTION JOINTS	OPT.	OPTIONAL
CL	CENTERLINE	PERF.	PERFORATED
CLG.	CEILING	PL	PLATE
CL	CLOSET	P LAM	PLASTIC LAMINATE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
C.O	CASED OPENING	PSF	POUNDS PER SQUARE FOOT
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC.	CONCRETE	PVC	POLYVINYLCHLORIDE
CONST.	CONSTRUCTION	QT	QUARRY TILE
CONT.	CONTINUOUS	RD	RADIUS
C.T.	CERAMIC TILE	R & S	ROD AND SHELF
C.W.	COLD WATER	REC	RECESSED
DEMO.	DEMOLITION	REF	REFRIGERATOR
DIA.	DIAMETER	REG	REGULAR
DIAG.	DIAGONAL	REINFC	REINFORCE
DIM.	DIMENSION	RM	ROOM
DISP.	DISPOSAL	RO	ROUGH OPENING
DIV.	DIVISION	RR	ROUGH RAFTERS
DL	DEAD LOAD	SECT	SECTION
DN.	DOWN	SHLV	SHELVES
DWG.S.	DRAWINGS	SHT	SHEET
D.S.	DOWNSPOUT	SHWR	SHOWER
D.W.	DISHWASHER	SHTG	SHEATHING
EA.	EACH	SIM	SIMILAR
EX.	EXISTING	SL	SLIDING
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SPEC	SPECIFICATION
EQ	EQUAL	SQ	SQUARE
EXP.	EXPANSION	SF	SQUARE FOOT
ELEC.	ELECTRICAL	SS	SANITARY SUMP
ELEV.	ELEVATION	STD	STANDARD
EQUIP.	EQUIPMENT	STL	STEEL
EQUIV.	EQUIVALENT	STOR	STORAGE
E.W	EACH WAY	STRUCT	STRUCTURE
F	FURNACE	SUSP	SUSPENDED
FD	FLOOR DRAIN	T & B	TOP AND BOTTOM
FE	FIRE EXTINGUISHER	T	TOP OF
FF	FINISH FLOOR	TEL	TELEPHONE
FIN.	FINISH	T & G	TONGUE AND GROOVE
FIXT	FIXTURE	THK	THICKNESS
FLR	FLOOR	TJI	TRUST JOIST
FLASHG	FLASHING	TOP	TOP OF PLATE
FDN	FOUNDATION	TV	TELEVISION
FO	FACE OF	TYP	TYPICAL
FS	FOOTING SUMP	UC	UNDER COUNTER
FTG	FOOTING	UN	UNLESS OTHERWISE NOTED
FURN	FURNACE	VCT	VINYL COMPOSITION TILE
G/A	G/AUGE	VERT	VERTICAL
GALV	GALVANIZED	VIF	VERIFY IN FIELD
GFI	GROUND FAULT INTERRUPT	W/	WITH
GLU-LAM	GLUE LAMINATED BEAM	W/C	WATER CLOSET
GYP.	GYPSUM	W/D	WALK IN CLOSET
HD	HEAD	WD	WOOD
HDR	HEADER	WDO	WINDOW
HT	HEIGHT	WH	WATER HEATER
HM	HOLLOW METAL	W/O	WITHOUT
HORZ	HORIZONTAL	WP	WATERPROOF
HP	HIGH POINT	WT	WEIGHT
HTG	HEATING	WWD	WELDED
HVAC	HEATING VENTILATE AIR CONDITIONING	WWF	WIRED FABRIC
INT.	INTERIOR		

### SITE PLAN NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IS FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS. HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.
- MAINTAIN EXISTING DRAINAGE PATTERNS. ANY DRAINAGE ISSUES THAT MAY ARISE FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT WILL BE ADDRESSED BY THE PERMITTEE.
- RESTORE PARKWAY AND PAVEMENT TO PRE-CONSTRUCTION CONDITIONS.

### ENERGY CODE COMPLIANCE NOTES

- ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS.  
 CLIMATE ZONE: 5  
 MAX. GLAZING U-FACTOR: 0.28  
 ACTUAL U-FACTOR:  
 MIN. SKYLIGHT U-FACTOR: 0.55  
 ACTUAL SKYLIGHT U-FACTOR:  
 SHGC: N/R  
 MIN. CEILING R-VALUE: 49  
 ACTUAL CEILING R-VALUE: 49  
 MIN. FRAME WALL R-VALUE: 30 OR 20 + 5 OR 13+10  
 ACTUAL WALL R-VALUE: 30 (CLOSED CELL FOAM INSULATION)  
 MIN. FLOOR R-VALUE: 30 (CLOSED CELL FOAM INSULATION)  
 ACTUAL FLOOR R-VALUE:  
 MIN. BASEMENT R-VALUE: 15 OR 19  
 ACTUAL BASEMENT R-VALUE:  
 GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT TO ELECTRICAL PANEL INDICATING INSULATION AND ENERGY VALUES FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS. SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH DENSITY FRICTION FIT BATT INSULATION.
- ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CALK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2024 IECC REQUIREMENTS. ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM. ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.
- ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.
- ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE IC-RATED.
- PROVIDE PROGRAMMABLE THERMOSTATS FOR EACH ZONE WITH SETBACK AND MANUAL OVERRIDE.
- ALL DUCTWORK SHALL BE ADEQUATELY SEALED. ALL SUPPLY DUCTWORK IN UNCONDITIONED ATTIC TO HAVE R-8 INSULATION. ALL OTHER DUCTWORK TO HAVE R-6 INSULATION. HVAC CONTRACTOR SHALL PROVIDE EITHER POST-CONSTRUCTION OR ROUGH-IN TEST OF TOTAL AIR LEAKAGE FOR DUCT SYSTEMS.
- ALL MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEG F OR BELOW 55 DEG F SHALL BE INSULATED TO A MINIMUM OF R-3. ALL HOT WATER LINES TO HAVE R-3 PIPE INSULATION & MANUAL SWITCH FOR RECIRC. PUMP.
- ALL ACCESS HATCHES/DOORS TO UNCONDITIONED SPACE SHALL BE INSULATED & WEATHERSTRIPPED.
- 100% OF ALL LIGHTING TO HAVE HIGH-EFFICACY BULBS.
- FURNACE: +90% AFUE  
 WATER HEATER: +95% AFUE  
 A/C: 13+ SEER  
 SHGC: 0.27 OR BTR
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE NO MORE THAN 0.3 CFM PER SF, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SF.



**1 SITE PLAN - PROPOSED**  
 A0 1/16" = 1'-0"

### SITE PLAN LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
—E—	ELECTRIC SERVICE
—G—	GAS SERVICE
—(—(—	STORM SEWER
—<—<	SANITARY SEWER
—W—	WATER SERVICE
—X—	FENCE

### SITE SETBACKS (R-3)

	REQUIRED	PROPOSED
FRONTYARD	25'-0"	29'-5"
INTERIOR SIDEYARD 10% LOT WIDTH	5'-0"	EX 9.14'
INTERIOR SIDEYARD 10% LOT WIDTH	5'-0"	EX 2.61'
REARYARD	30'-0"	72.71'
HEIGHT - MEAN	MAX 25'-0"	25'-0"

### IMPERVIOUS SF

	REQUIRED	PROPOSED
WALKS/DRIVEWAY	1,411 SF	
PATIO/DECK/STAIRS	214 SF	
HOUSE	1,177 SF	
GARAGE	484 SF	
SHED	0 SF	
TOTAL	3,286 SF	

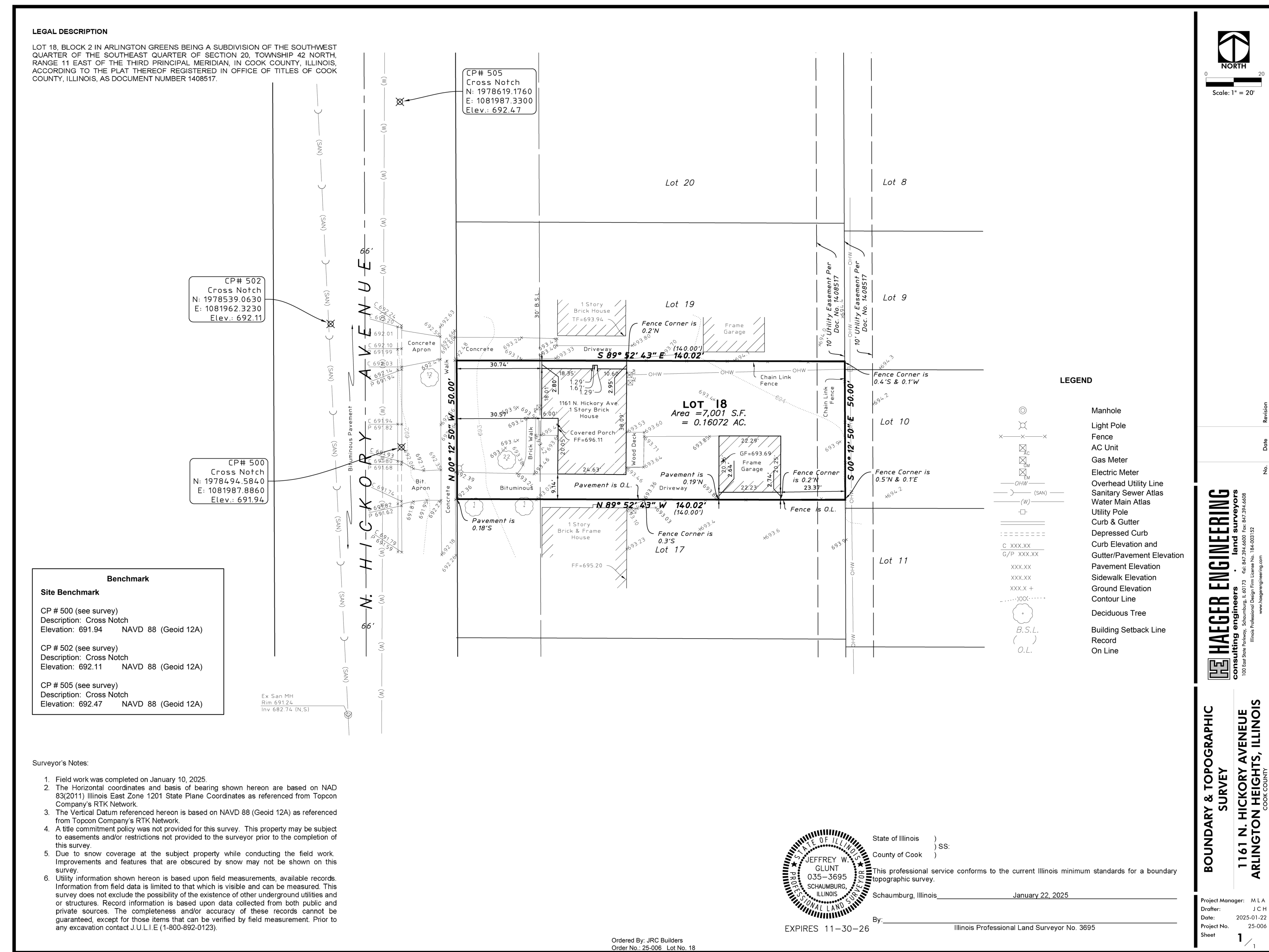
**NOT FOR CONSTRUCTION**

THESE DRAWINGS ARE NOT APPROVED OR STAMPED FOR CONSTRUCTION AND ARE FOR CONCEPT/DESIGN/BIDDING PURPOSES ONLY. DIMENSIONS, HEIGHTS, FINISHES, AND UTILITY LOCATIONS TO BE VERIFIED.

SHEET TITLE  
 COVER SHEET

SHEET NUMBER

**A0**



**PLAT OF SURVEY  
 NTS**



**EXISTING FRONT**



**EXISTING REAR**

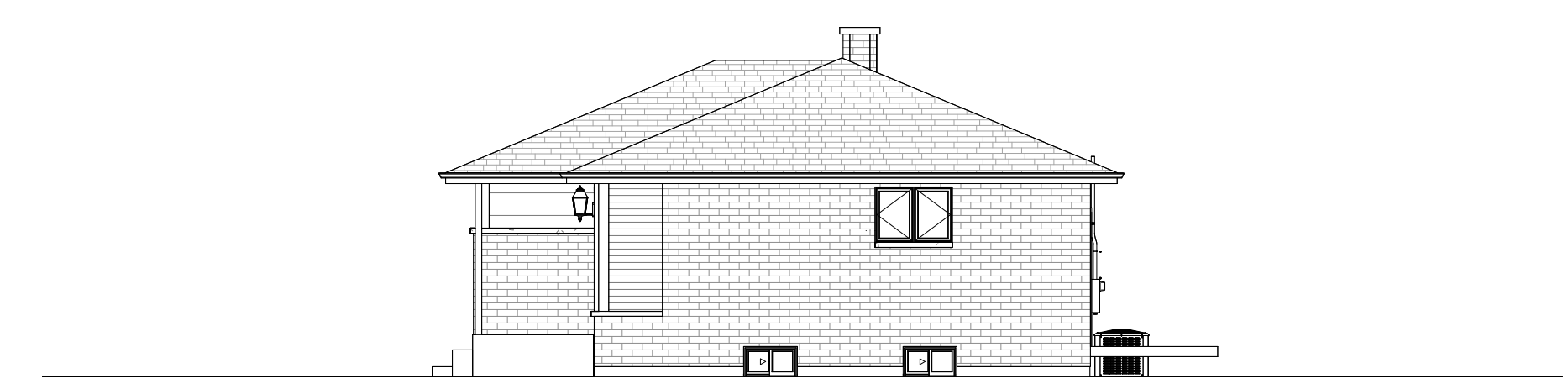
**1 WEST ELEVATION - EXISTING FRONT**  
 A1 1/8" = 1'-0"



**2 EAST ELEVATION - EXISTING REAR**  
 A1 1/8" = 1'-0"



**3 SOUTH ELEVATION - EXISTING SIDE**  
 A1 1/8" = 1'-0"



**4 NORTH ELEVATION - EXISTING SIDE**  
 A1 1/8" = 1'-0"



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**NEW HOUSE ON**

1161 N HICKORY AVENUE  
 ARLINGTON HEIGHTS, IL 60004

DATE

1-01/12/2026

ISSUE DATE

1-01/12/2026 1 - DESIGN REVIEW

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SHEET TITLE  
 EXISTING DRAWINGS

SHEET NUMBER

**A1**

**NEW HOUSE ON**

1161 N HICKORY AVENUE  
ARLINGTON HEIGHTS, IL 60004

DATE

1- 01/12/2026

ISSUE DATE

1- 01/12/2026 1 - DESIGN REVIEW



**PROPERTY TO ACROSS 1**  
1162 N HICKORY AVE



**PROPERTY TO ACROSS 2**  
1160 N HICKORY AVE



**PROPERTY TO ACROSS 3**  
1158 N HICKORY AVE

N HICKORY AVE

**PROPERTY TO LEFT 3**  
1201 N HICKORY AVE



**PROPERTY TO LEFT 2**  
1165 N HICKORY AVE



**PROPERTY TO LEFT 1**  
1163 N HICKORY AVE



**SUBJECT PROPERTY**  
1161 N HICKORY AVE



**PROPERTY TO RIGHT 1**  
1159 N HICKORY AVE



**PROPERTY TO RIGHT 2**  
1155 N HICKORY AVE



**PROPERTY TO RIGHT 3**  
1149 N HICKORY AVE



**NOT FOR CONSTRUCTION**

THESE DRAWINGS ARE NOT APPROVED OR STAMPED FOR CONSTRUCTION AND ARE FOR CONCEPT/DESIGN/BIDDING PURPOSES ONLY. DIMENSIONS, HEIGHTS, FINISHES, AND UTILITY LOCATIONS TO BE VERIFIED.

SHEET TITLE  
SURROUNDING PROPERTIES

SHEET NUMBER

**DR2**

**NEW HOUSE ON**

1161 N HICKORY AVENUE  
ARLINGTON HEIGHTS, IL 60004

DATE

1- 01/12/2026

ISSUE DATE

1- 01/12/2026 1 - DESIGN REVIEW



**NOT FOR  
CONSTRUCTION**

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SHEET TITLE  
ELEVATION STUDIES & NOTES

SHEET NUMBER

**DR1**

**1** CONTEXT ELEVATIONS - SOUTH ELEVATION  
**DR1** 3/16" = 1'-0"

**NEW HOUSE ON**

1161 N HICKORY AVENUE  
 ARLINGTON HEIGHTS, IL 60004

DATE

1- 01/12/2026

ISSUE DATE

1- 01/12/2026 1 - DESIGN REVIEW



**1 WEST ELEVATION - PROPOSED FRONT**  
 A6 1/4" = 1'-0"

**2 SOUTH ELEVATION - PROPOSED SIDE**  
 A6 1/4" = 1'-0"



**3 EAST ELEVATION - PROPOSED REAR**  
 A6 1/4" = 1'-0"

**4 NORTH ELEVATION - PROPOSED SIDE**  
 A6 1/4" = 1'-0"

**ELEVATION MATERIALS**

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.	LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)	[Diagonal Hatch]	DIAGONAL SIDING [IRON GRAY]	JAMES HARDIE BOARD	TRIM	[Solid Hatch]	BLACK WINDOWS - WHITE HOUSE CORNER BOARD, SEE ELEVATIONS	
SIDING (2)	[Vertical Board & Batten Hatch]	VERTICAL BOARD & BATTEN [WHITE]	JAMES HARDIE BOARD	FASCIA, SOFFITS	[Solid Hatch]	WHITE	
SIDING (3)	[Horizontal Siding Hatch]	HORIZONTAL SIDING [ARCTIC WHITE]	JAMES HARDIE BOARD	COLUMNS	[Solid Hatch]	CARPENTER BUILT, WHITE	
SIDING (4)	[Brick Hatch]	BRICK	EX TO BE STAINED WHITE	GUTTERS, DOWNSPOUTS	[Solid Hatch]	WHITE, ALUMINUM	
SIDING (5)	[Stone Hatch]	STONE	EX TO REMAIN				
ROOFING (1)	[Asphalt Shingles Hatch]	ASPHALT SHINGLES	GAF OR SIM. BLACK	WINDOWS	[Solid Hatch]	VINYL, WHITE INTERIOR- BLACK EXTERIOR	CLIMATEGUARD
ROOFING (2)	[Standing Seam Metal Hatch]	STANDING SEAM METAL ROOFING	BLACK	DOORS	[Solid Hatch]	STYLE TBD	

**WINDOW NOTES:**

- WINDOW SIZES : ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
- GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
- BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
- WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
- FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS EGRESS WINDOW REQUIREMENTS PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS. A MINIMUM CLEAR WIDTH OF 20" A MINIMUM CLEAR HEIGHT OF 24" A SILL HEIGHT OF LESS THAN 44" AFF
- ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.30
- ALL BATHROOM GLASS AND GLASS IN AREAS OF HAZARD SHALL BE SAFETY GLAZING, PERMANENTLY ETCHED, AND THE ETCHING SHALL BE VISIBLE AFTER INSTALLATION TO VERIFY COMPLIANCE. SECTION: IRC R308.4
- E = EGRESS F = FROSTED PRIVACY GLASS T= TEMPERED SAFETY GLASS EX = EXISTING WINDOW TO REMAIN

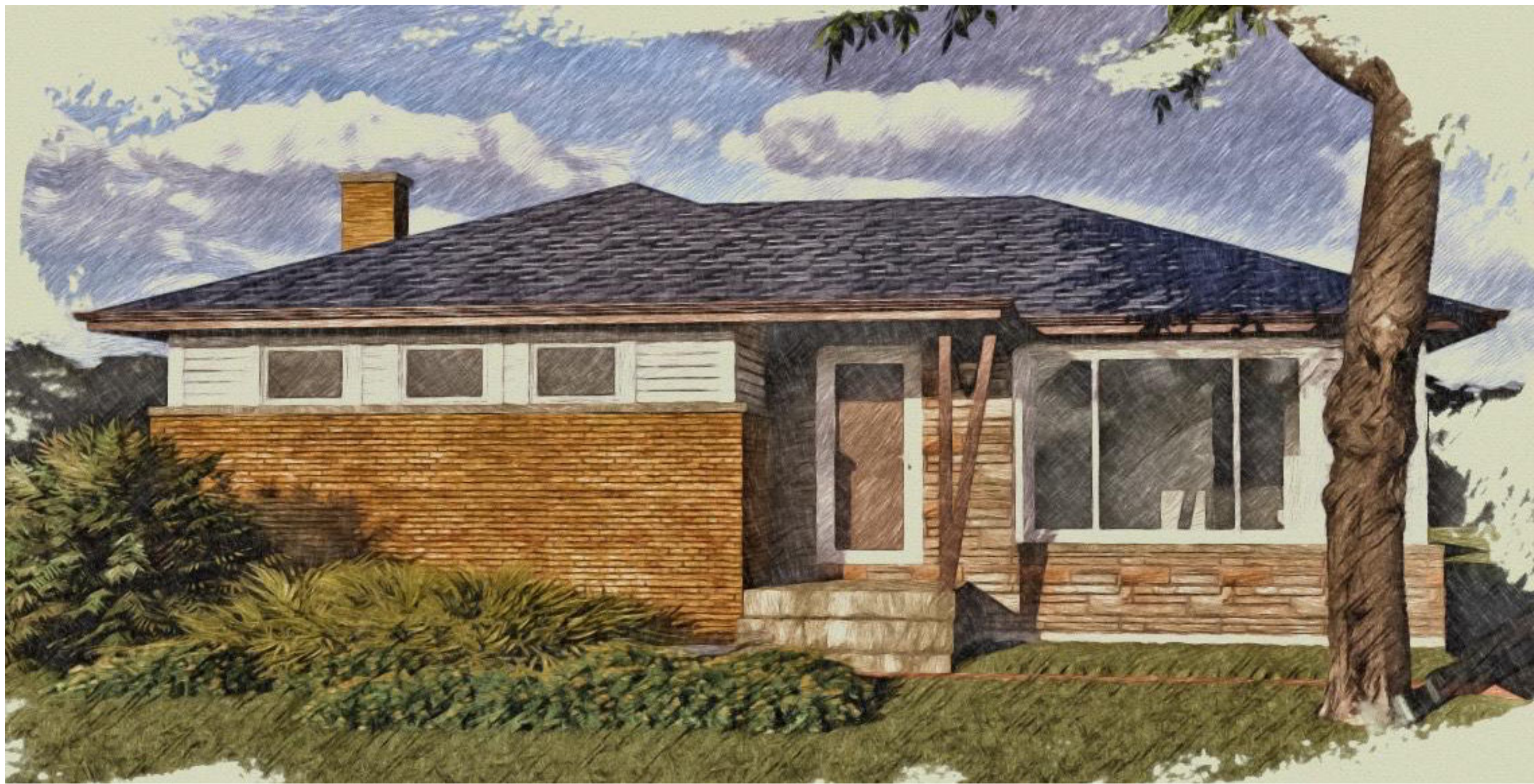
**NOT FOR CONSTRUCTION**

THESE DRAWINGS ARE NOT APPROVED OR STAMPED FOR CONSTRUCTION AND ARE FOR CONCEPT/DESIGN/BIDDING PURPOSES ONLY. DIMENSIONS, HEIGHTS, FINISHES, AND UTILITY LOCATIONS TO BE VERIFIED.

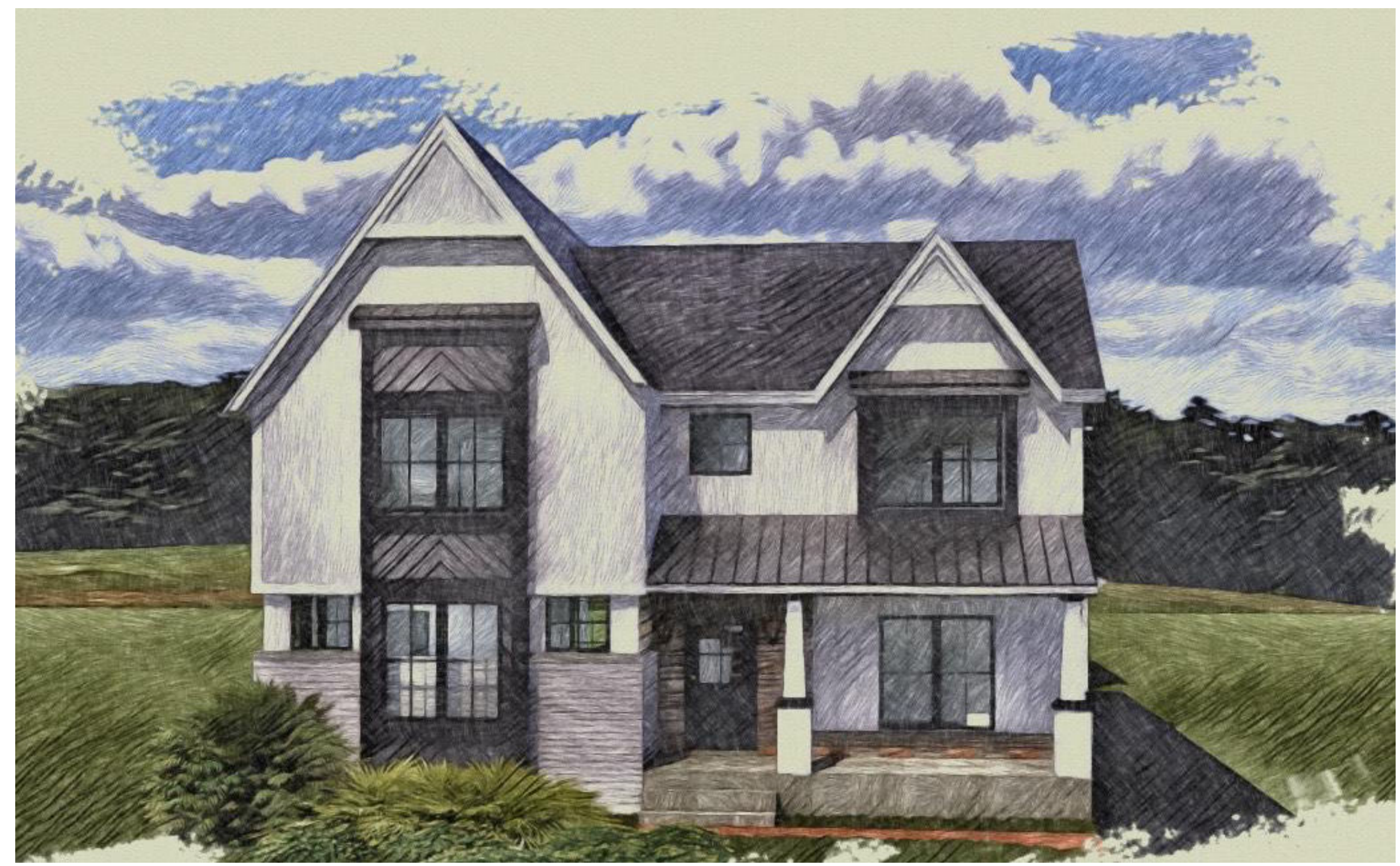
SHEET TITLE  
 ELEVATIONS

SHEET NUMBER

**A6**



**EXISTING RENDERING**



**PROPOSED RENDERING**

**NEW HOUSE ON**

1161 N HICKORY AVENUE  
ARLINGTON HEIGHTS, IL 60004

**DATE**

1- 01/12/2026

**ISSUE DATE**

1- 01/12/2026 1 - DESIGN REVIEW

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**SHEET TITLE**  
3D VIEWS

**SHEET NUMBER**

**3D**

PLEASE NOTE THESE ARE CONCEPTUAL DESIGN IMAGES AND NOT INDICATIVE OF THE EXACT LOOK AND MATERIALS TO BE INSTALLED. REFER TO PLANS, CONTRACT, AND THE PROPOSAL FOR EVERYTHING INCLUDED IN PROJECT SCOPE OF WORK



**SIDING 1 - DIAGONAL SIDING**  
JAMES HARDIE  
IRON GRAY

**SIDING 2 - BOARD AND BATTEN,**  
JAMES HARDIE  
ARCTIC WHITE



**SIDING 3 - HORIZONTAL SIDING**  
JAMES HARDIE  
ARCTIC WHITE



**ROOFING 1 - ASPHALT SHINGLES**  
BLACK OR SIM.



**ROOFING 2 - STANDING SEAM METAL ROOF**  
BLACK



**BRICK - EXISTING TO REMAIN**  
OPTION TO STAIN WHITE



VILLAGE OF  
ARLINGTON HEIGHTS  
— INC. 1887 —

**Design Commission**  
**1/27/2026**

**Item:** 1321 N. Mitchell Ave. - SF/Teardown - DC25-103

**Department:** Planning & Community Development

**Item Description:**

**Requested Action**

Approval of the proposed architectural design for a new (teardown) single-family residence.

**Recommendation**

It is recommended that the Design Commission evaluate the proposed design for a new (teardown) single-family residence to be located at 1321 N. Mitchell Avenue. This recommendation is based upon the architectural plans received on 12/19/25, and the following:

1. Evaluate the scale and character of the proposed new home against the surrounding context which is mostly smaller-scale homes.
2. A recommendation to change the roof design without the steep gables and a hipped main roof to better fit with the adjacent homes.
3. Evaluate the proposed color scheme, which has a relatively bold appearance due to the black trim. Consider a darker siding color to tone down the contrast with the black trim.
4. Revise the Site Plan to adjust the placement of the house with a 25-foot front setback to align with the other homes on the block, and coordinate the layout of the new driveway to maintain a minimum 8-feet of clearance from the existing parkway tree.
5. Change the garage door to a chevron style door to coordinate with the chevron pattern in the bay windows.
6. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is

the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

7. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

**ATTACHMENTS:**

1. Staff Report\_1321 N Mitchell Ave
2. Exhibits\_1321 N Mitchell Ave

## STAFF DESIGN COMMISSION REPORT

**PROJECT INFORMATION:**

**Project Name:** 1321 N. Mitchell Avenue  
**Project Address:** 1321 N. Mitchell Avenue

**Prepared By:** Steve Hautzinger  
**Date Prepared:** January 22, 2026

**PETITION INFORMATION:**

**DC Number:** 25-103  
**Petitioner Name:** John Haran  
**Petitioner Address:** E&J Builders  
346 Ferndale  
Elmhurst, IL 60126  
**Meeting Date:** January 27, 2026

**Requested Action(s):** Approval of the proposed architectural design for a new (teardown) single-family residence.

**ANALYSIS:**

**Summary**

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing single-story residence and detached garage to build a new two-story residence with an attached two-car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 7,920 square feet and the proposed residence will have 3,562 square feet. This project complies with the R-3 zoning requirements as summarized below.

	<b>ALLOWED</b>	<b>PROPOSED</b>
Setbacks	Front: 20 feet Side: 6 feet Side: 6 feet Rear: 30 feet	Front: 29 feet Side: 9.8 feet Side: 9.8 feet Rear: 36 feet
Building Height (to the midpoint)	25 feet	25 feet
FAR	3,564 SF	3,562 SF
Building Lot Coverage	2,772 SF	2,400 SF
Impervious Surface Coverage	3,960 SF	3,140 SF

The subject property is located on a street with a mix of single-story, split-level, and two-story houses. The existing homes have a mix of both attached and detached garages. The existing homes on the block are all relatively aligned with an approximate 25-foot front setback. The proposed new house is shown with a 29-foot front setback. It is recommended that the front setback be changed to 25-feet to align with the other homes on the block. Additionally, there is an existing parkway tree that is required to be protected and preserved. The parkway tree needs to be shown on the Site Plan and coordinated with the new driveway to maintain a minimum 8-foot of clearance.

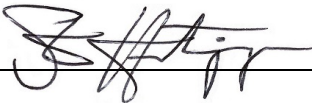
Overall, the proposed design looks nice, but the Design Commission should evaluate the scale and character against the surrounding context. Ideally, a different roof design without the steep gables and a hipped main roof would fit better with the adjacent homes. Also, the proposed exterior color scheme should be evaluated which includes a light "Cobblestone" siding paired with black trim that has a relatively bold appearance. A darker siding color, such as tan or brown, should be considered to tone down the contrast with the black trim.

Similar versions of this design have been previously reviewed by the Design Commission, at which time the style of the garage door was required to be changed to better fit with the architectural style of the house. A chevron style garage door is recommended to coordinate with the chevron pattern in the bay windows.

**RECOMMENDATION:**

It is recommended that the Design Commission **evaluate** the proposed design for a new (teardown) single-family residence to be located at 1321 N. Mitchell Avenue. This recommendation is based upon the architectural plans received on 12/19/25, and the following:

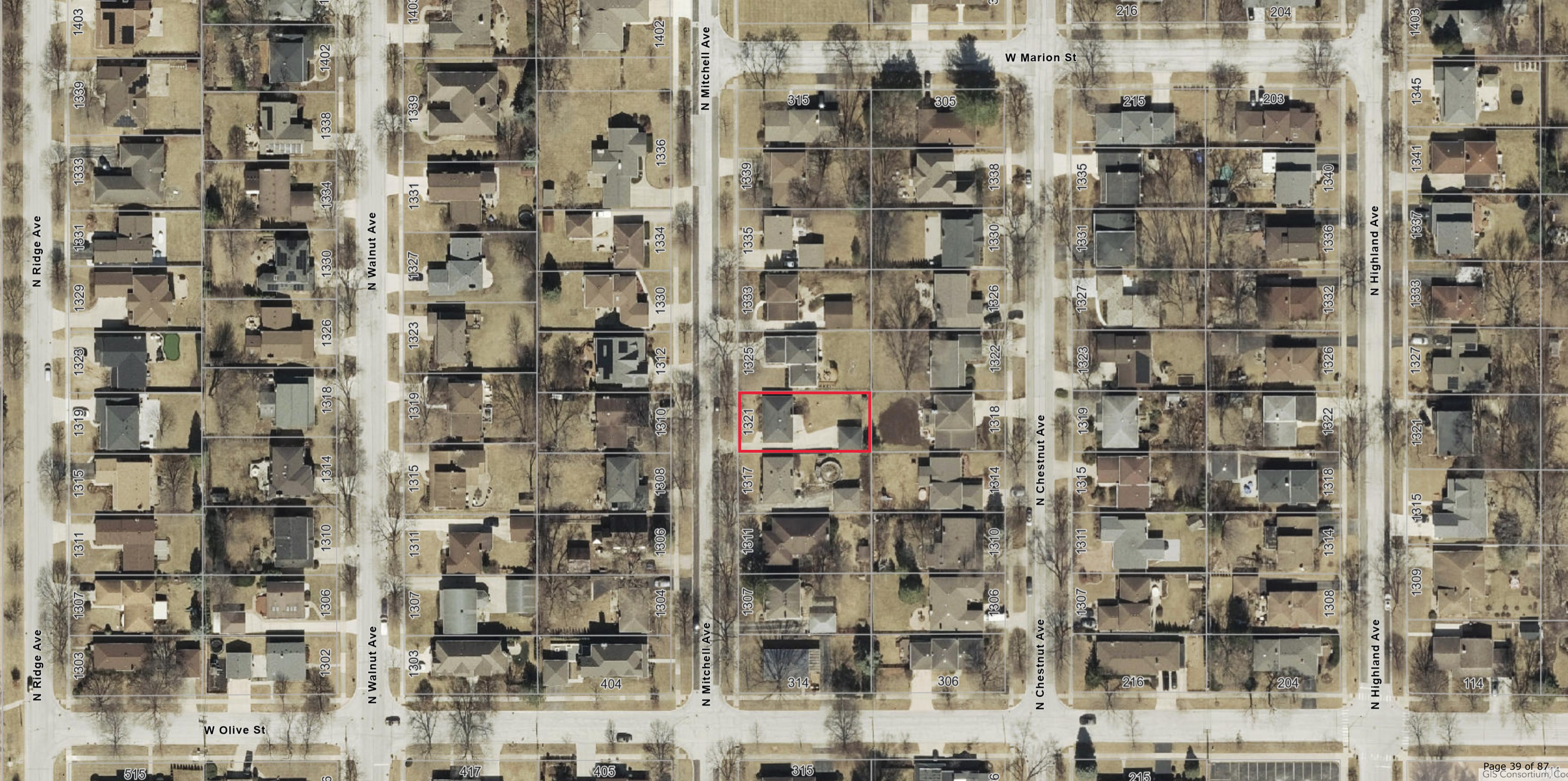
1. Evaluate the scale and character of the proposed new home against the surrounding context which is mostly smaller scale homes.
2. A recommendation to change the roof design without the steep gables and a hipped main roof to better fit with the adjacent homes
3. Evaluate the proposed color scheme which has a relatively bold appearance due to the black trim. Consider a darker siding color to tone down the contrast with the black trim.
4. Revise the Site Plan to adjust the placement of the house with a 25-foot front setback to align with the other homes on the block, and coordinate the layout of the new driveway to maintain a minimum 8-feet of clearance from the existing parkway tree.
5. Change the garage door to a chevron style door to coordinate with the chevron pattern in the bay windows.
6. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
7. Compliance with all applicable Federal, State, and Village codes, regulations and policies.



January 22, 2026

Steve Hautzinger AIA, Design Planner  
Department of Planning and Community Development

c: Petitioner, DC File 25-103



N Ridge Ave

N Ridge Ave

N Walnut Ave

N Walnut Ave

N Mitchell Ave

N Mitchell Ave

W Marion St

N Chestnut Ave

N Chestnut Ave

N Highland Ave

N Highland Ave

W Olive St

1303 1307 1311 1315 1319 1323 1329 1331 1333 1339 1403

1302 1306 1310 1314 1318 1326 1330 1334 1338 1402

1303 1307 1311 1315 1319 1323 1327 1331 1339 1403

1304 1306 1308 1310 1312 1334 1336 1402

1307 1311 1317 1321 1325 1333 1335 1339 315 305

1306 1310 1314 1318 1322 1326 1330 1338

1307 1311 1315 1319 1323 1327 1331 1335 215 203

1308 1314 1318 1322 1326 1332 1336 1340

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515

417

405

404

315

314

6

306

215

216

204

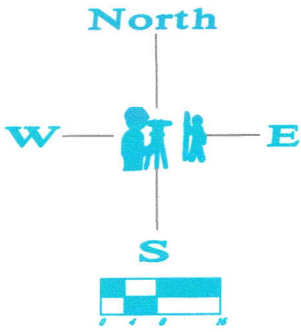
114

# PLAT OF SURVEY

by  
**Michael J. Emmert Surveys, Inc.**  
of

Property located at: 1321 N. MITCHELL AVENUE  
Legally described as:

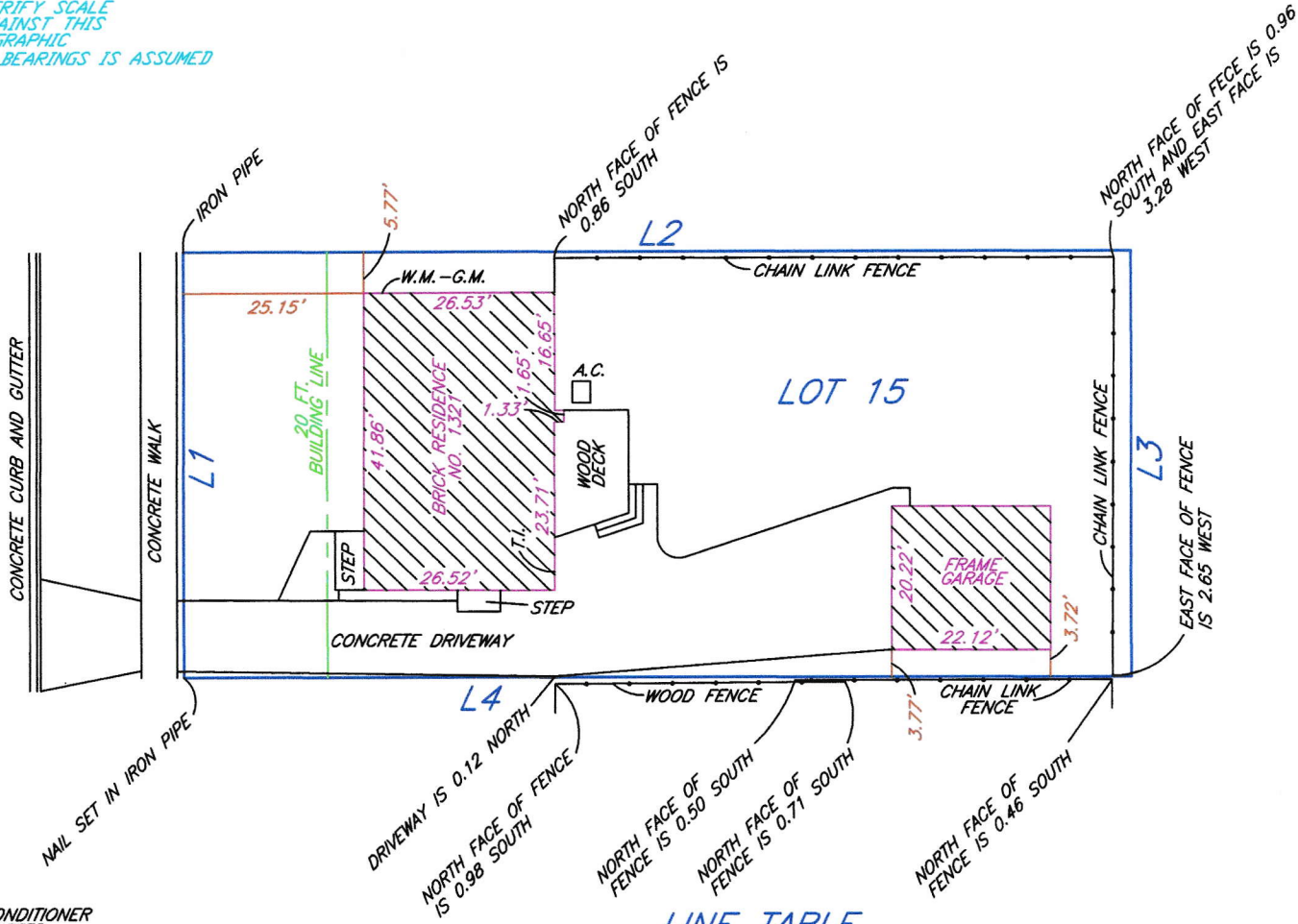
LOT 15 IN BLOCK 7 IN NORTHWEST HIGHLANDS, A SUBDIVISION OF THE EAST HALF OF THE SOUTHEAST QUARTER (EXCEPT 2 ACRES IN THE SOUTHEAST CORNER) OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



1 IN. = 16 FT.  
VERIFY SCALE  
AGAINST THIS  
GRAPHIC

BASIS OF BEARINGS IS ASSUMED

N. MITCHELL AVENUE




A.C. - AIR CONDITIONER  
W.M. - WATER METER  
G.M. - GAS METER  
T.I. - TELEPHONE INTERFACE  
C.S. - CABLE SERVICE  
E.M. - ELECTRIC METER

Survey ordered by: Law Office of Skoobis Mantas

State of Illinois)  
County of Du Page)

Michael J. Emmert Surveys, Inc. does hereby certify that we have surveyed the above described property and prepared the plat hereon drawn. The legal description shown hereon is provided by others. Refer to deed or title policy for building setbacks, easements or other restrictions which may exist. Dimensions not noted hereon shall not be assumed by scaling or otherwise. Compare all points before building and report any discrepancies. This professional service conforms to the current Illinois Minimum Standards for a Boundary Survey.  
Date of field survey: July 24, 2018

Dated this 24th. day of July, 2018

By:  President  
Professional Illinois Land Surveyor No. 2499  
License expires on November 30, 2018  
Professional Design Firm Land Surveyor Corporation No. 184.004811

Line	Bearing	Distance	Measure
L1	N.00°03'53"E.	60.00'	59.84'
L2	S.89°56'07"E.	-----	132.00'
L3	S.00°03'53"W.	60.00'	59.84'
L4	N.89°56'07"W.	-----	132.00'

	1/8	1/4	3/8	1/2	5/8	3/4	7/8	
0 AND	.01	.02	.03	.04	.05	.06	.07	.08 = 1 INCH
1 AND	.09	.10	.11	.125	.14	.15	.16	.17 = 2 INCHES
2 AND	.18	.19	.20	.21	.22	.23	.24	.25 = 3 INCHES
3 AND	.26	.27	.28	.29	.30	.31	.32	.33 = 4 INCHES
4 AND	.34	.35	.36	.375	.39	.40	.41	.42 = 5 INCHES
5 AND	.43	.44	.45	.46	.47	.48	.49	.50 = 6 INCHES
6 AND	.51	.52	.53	.54	.55	.56	.57	.58 = 7 INCHES
7 AND	.59	.60	.61	.625	.64	.65	.66	.67 = 8 INCHES
8 AND	.68	.69	.70	.71	.72	.73	.74	.75 = 9 INCHES
9 AND	.76	.77	.78	.79	.80	.81	.82	.83 = 10 INCHES
10 AND	.84	.85	.86	.875	.89	.90	.91	.92 = 11 INCHES
11 AND	.93	.94	.95	.96	.97	.98	.99	1.0 = 1 FOOT



[mike@mjesurveys.com](mailto:mike@mjesurveys.com)  
Michael J. Emmert Surveys, Inc  
185 East Vallette Street  
Elmhurst, Illinois 60126  
Office 630-516-0383  
Fax 630-516-0387



05634 Robbins St.  
Winfield, IL 60190  
630-969-9279  
www.SCDesignLLC.com

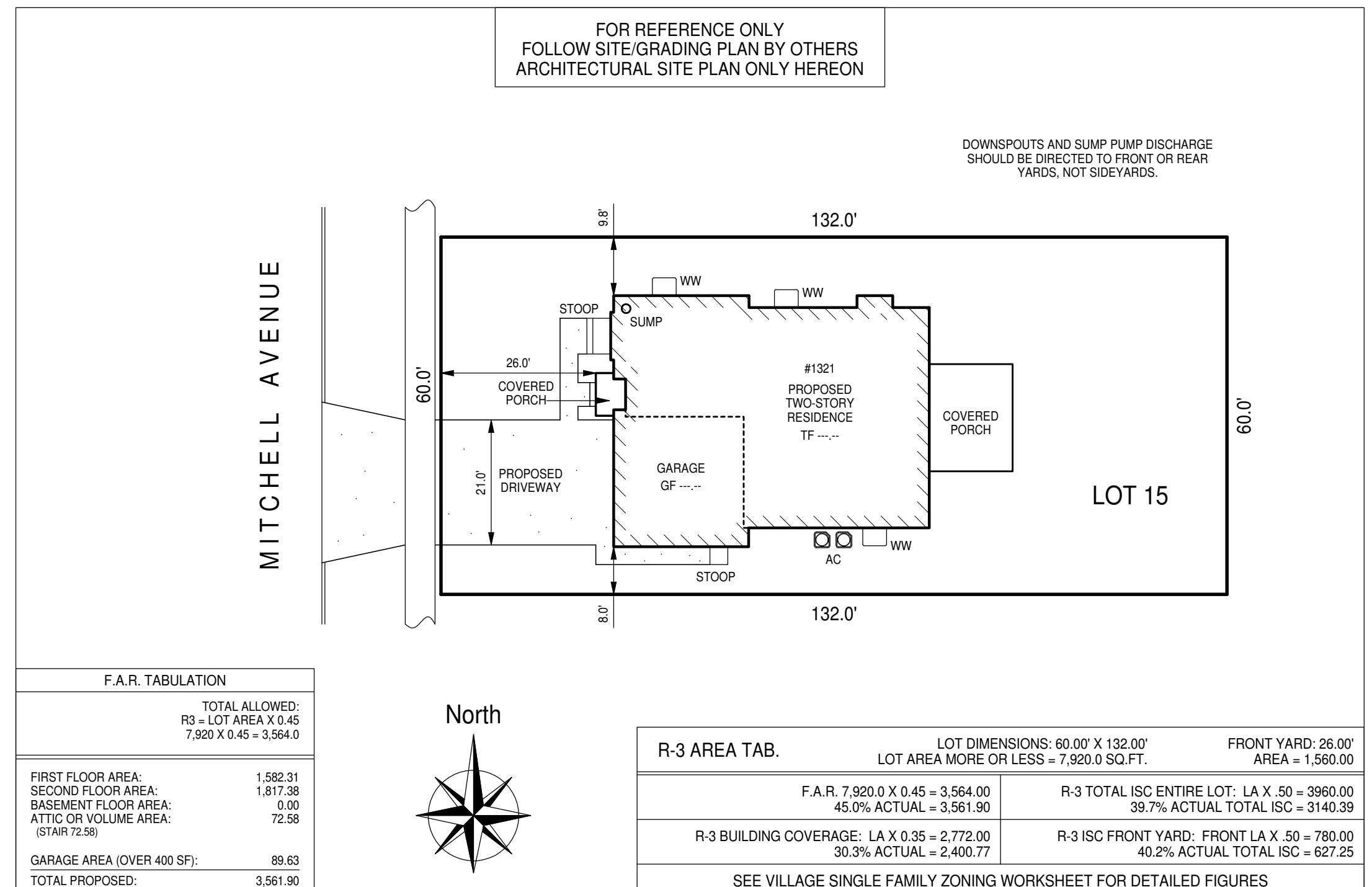
REVIEW PLANS

PROJECT:  
  
Custom  
Residence:  
1321 N Mitchell Ave.  
Arlington Heights, IL  
LOTS 15

BUILDER:  
  
E & J Builders, LLC  
Elmhurst, IL  
Ph. 630.479.4556

NO.	DATE:	BY:
	ISSUES AND REVISIONS:	
	11-21-25, 12-09-25	MDS
	CONCEPT REVIEW	
	12-16-25	MDS
	FINAL A.R.B. REVIEW	

JOB NO.	25040
DATE:	11-20-25
DRAWN BY:	MDS
SCALE:	AS NOTED
SHEET NO.	1
-SITE PLAN	
-STREET STUDY	
	OF 10



**2021 IECC - PERFORMANCE PATH METHOD**

PLANS SHALL COMPLY WITH THE:  
2021 ILLINOIS ENERGY CONSERVATION CODE  
WI STATE AMENDMENTS AND  
2018 INTERNATIONAL MECHANICAL CODE  
WI AMENDMENTS

PROJECT SHALL COMPLY WITH ALL INTERNATIONAL ENERGY CONSERVATION CODE (IECC) MANDATORY REQUIREMENTS AS AMENDED BY THE STATE OF ILLINOIS ADMINISTRATIVE CODE, TITLE 71, SECTION 600, APPENDIX A: SUPPLANTED AND ADDITIONAL INTERNATIONAL ENERGY CONSERVATION CODE SECTIONS, CHAPTER 4 (RES) RESIDENTIAL ENERGY EFFICIENCY.

FOLLOW THE INFORMATION IN THE ACCOMPANYING 'HERS' (HOME ENERGY RATING SYSTEM) PERFORMANCE COMPLIANCE CERTIFICATE PREPARED BY A 'HERS' CERTIFIED RATER AND PROVIDED BY THE PERMIT APPLICANT.

ADDITIONAL NOTES:  
R401.2 COMPLIANCE: PROJECTS SHALL COMPLY WITH ONE OF THE FOLLOWING  
1) SECTIONS R401 THROUGH R404  
2) SECTIONS R405 AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 LABELED "MANDATORY"  
3) WITH THE CONCURRENCE OF THE CODE OFFICIAL, AN ALTERNATIVE METHOD, AN ENERGY RATING INDEX (ERI) APPROACH IN SECTION R406 AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 LABELED "MANDATORY"

R401.3 CERTIFICATE (MANDATORY): A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BASEMENT WALL, CRAWLSPACE WALL AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES. IF FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING, WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. (CONT. SEE IECC)

**BUILDING DEPARTMENT NOTE:**

> THIS DRAWING HAS BEEN PREPARED FOR USE ON THE PROJECT NOTED AND REPRODUCTION IN PART OR WHOLE IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY S.G. ARCHITECTS, INC.

> OWNER/CONTRACTOR ASSUME ALL LIABILITY IN CONJUNCTION WITH THE USE OF THESE DOCUMENTS AND THE INFORMATION CONTAINED HEREON

> S.G. ARCHITECTS, INC. IS NOT RESPONSIBLE FOR METHODS OF CONSTRUCTION OR INADVERTENT ERRORS OR OMISSIONS.

> THIS DRAWING IS VALID FOR PERMIT ONLY WHEN SEAL IS AFFIXED AND IS INTENDED FOR CONSTRUCTION OF ONE BUILDING ONLY.

**GENERAL NOTE:**

> SUBSTITUTION FROM LUMBER GRADES DESIGNATED HEREON MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

> ARCHITECT FEES INCURRED DO TO FAILURE TO COMPLY WILL BE THE RESPONSIBILITY OF APPROPRIATE CONTRACTOR.

**RESIDENTIAL BUILDING CODES**

THE DRAWINGS AND SPECIFICATIONS HEREON HAVE BEEN PREPARED IN ACCORDANCE WITH THE VILLAGE OF ARLINGTON HEIGHTS, IL ADOPTED CODES, INCLUDING MUNICIPAL CODE WITH LOCAL AMENDMENTS AS LISTED BELOW:

ICC 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) WI AMENDMENTS  
NFPA 2017 NATIONAL ELECTRIC CODE (NEC) WI AMENDMENTS  
2017 ILLINOIS PLUMBING CODE, CURRENT EDITION  
2018 ILLINOIS ENERGY CONSERVATION CODE, CURRENT EDITION

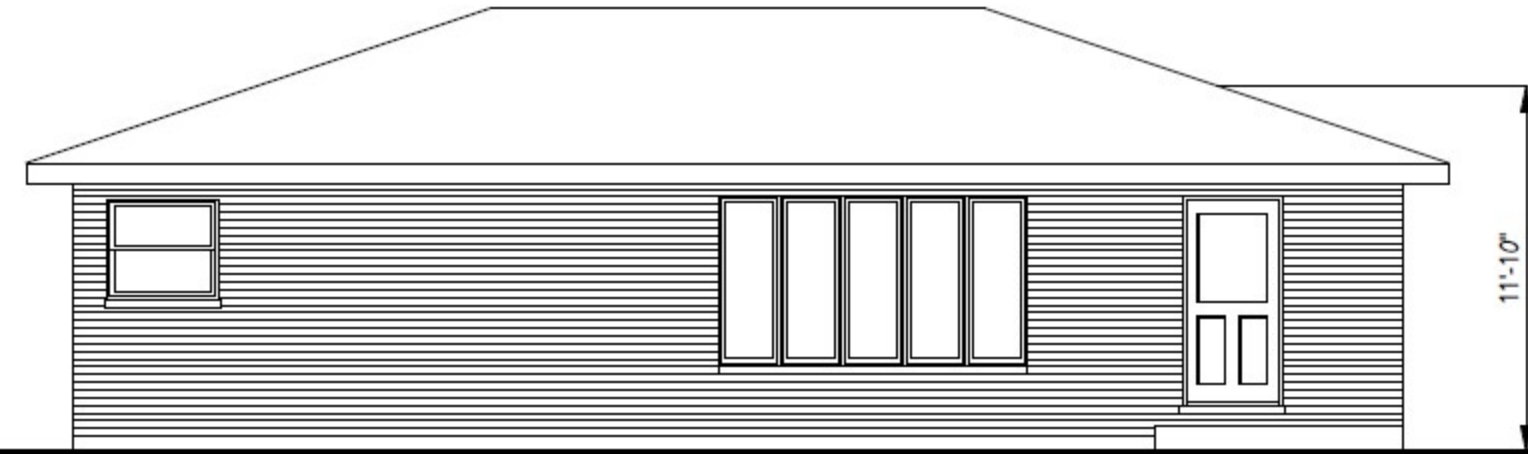
**SITE PLAN**  
SCALE: 1" = 20' 0"



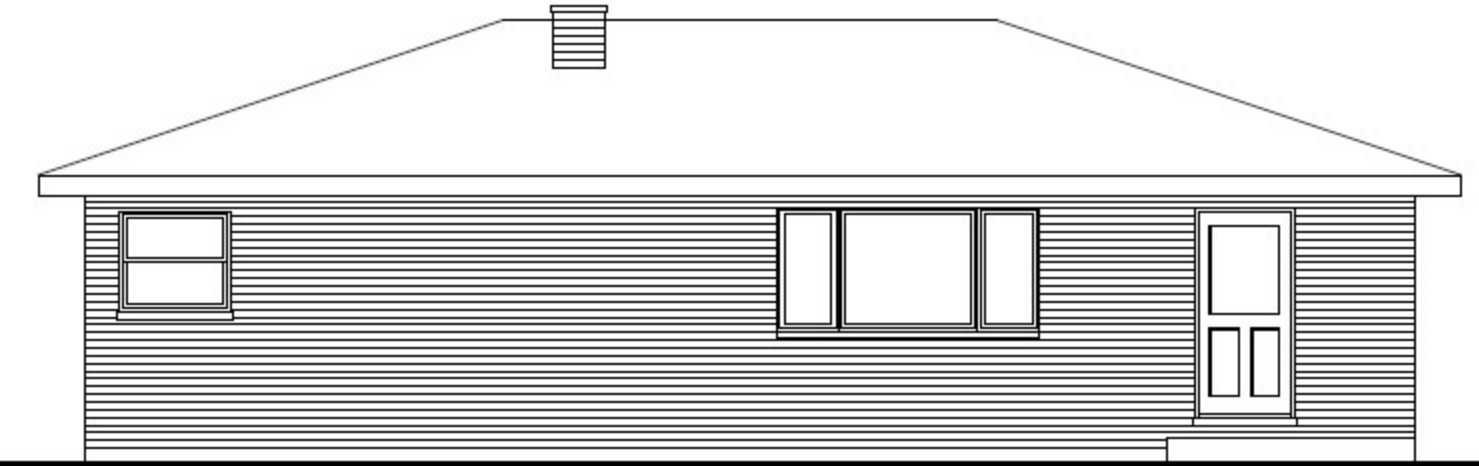
**FINAL REVIEW PLANS**



1325 N MITCHELL AVENUE



1312 N MITCHELL AVENUE



1317 N MITCHELL AVENUE

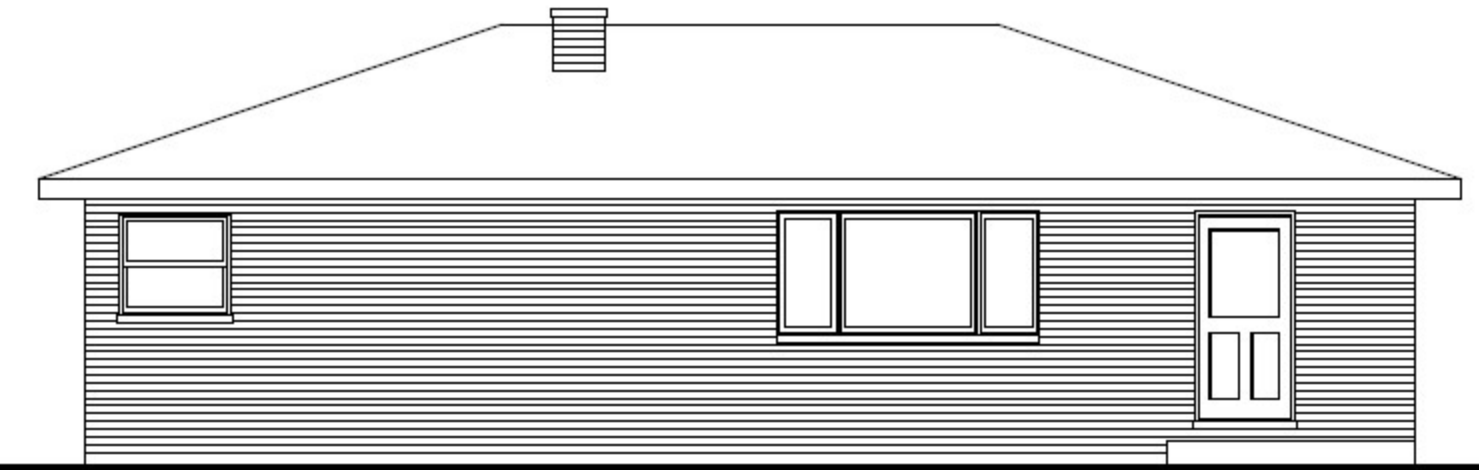
EXISTING



1325 N MITCHELL AVENUE



1312 N MITCHELL AVENUE

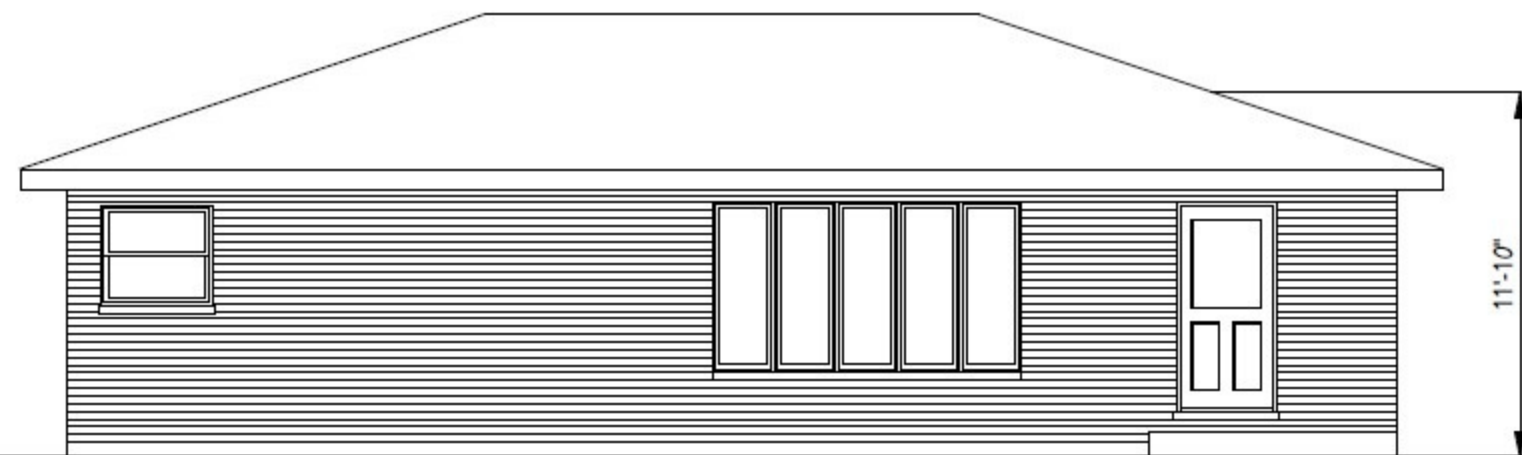


1317 N MITCHELL AVENUE

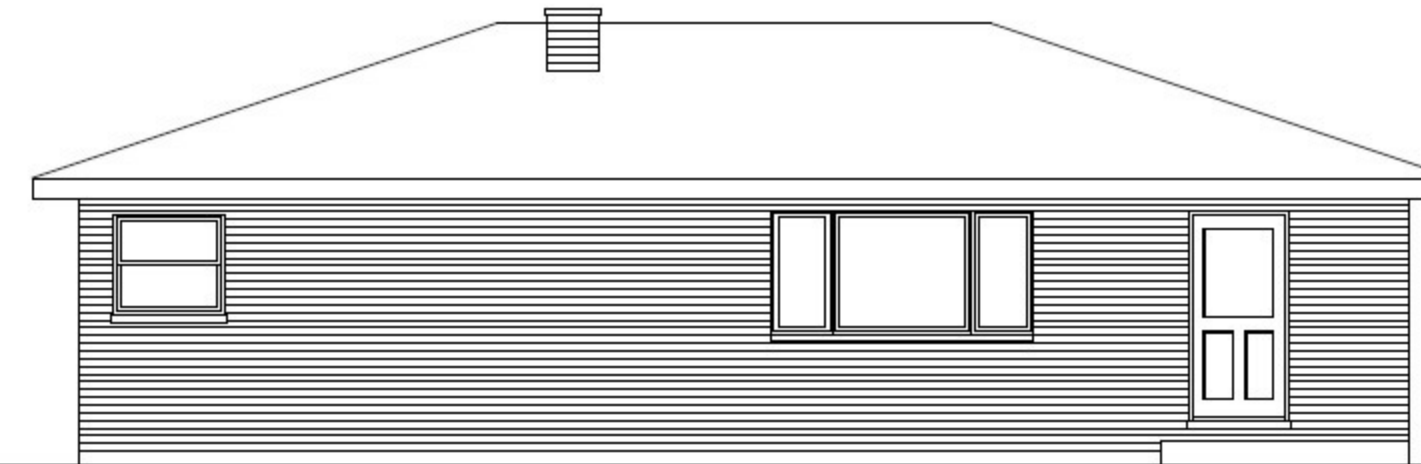
**ROOF DESIGN - AS SUBMITTED**



1325 N MITCHELL AVENUE



1312 N MITCHELL AVENUE



1317 N MITCHELL AVENUE

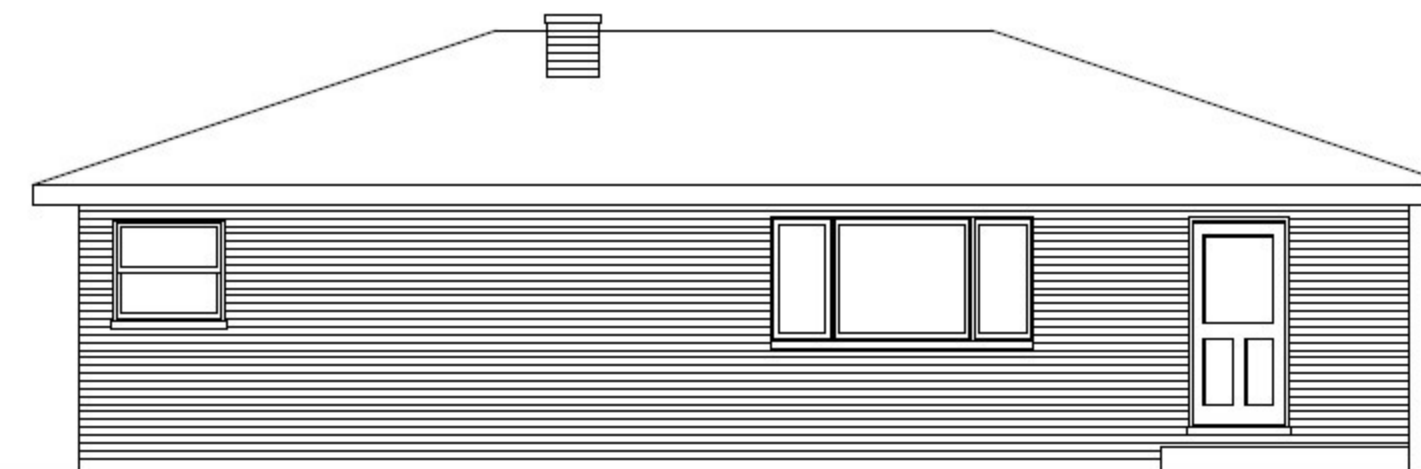
EXISTING



1325 N MITCHELL AVENUE



1312 N MITCHELL AVENUE



1317 N MITCHELL AVENUE

**ROOF DESIGN - STAFF SUGGESTED REVISION**

**1321 N Mitchell**



Left property 3.  
1335 N Mitchell



Left property 2.  
1333 N Mitchell



Left property 1.  
1325 N Mitchell



Subject property.  
1321 N Mitchell



Right property 1.  
1317 N Mitchell



Right property 2.  
1311 N Mitchell



Right property 3.  
1307 N Mitchell



Left property, front.  
1312 N Mitchell



Center Property, front.  
1310 N Mitchell



Right property, front.  
1308 N Mitchell



SG Design, LLC

05634 Robbins St.  
Winfield, IL 60190  
630-969-9279  
www.SCDesignLLC.com

REVIEW PLANS

PROJECT:

Custom  
Residence:  
1321 N Mitchell Ave.  
Arlington Heights, IL  
LOTS 15

BUILDER:

E & J Builders, LLC  
Elmhurst, IL  
Ph. 630.479.4556

NO.

NO.	DATE:	BY:
	ISSUES AND REVISIONS:	
	11-21-25, 12-09-25	MDS
	CONCEPT REVIEW	
	12-16-25	MDS
	FINAL A.R.B. REVIEW	

JOB NO.

25040

DATE:

11-20-25

DRAWN BY:

MDS

SCALE:

AS NOTED

SHEET NO.

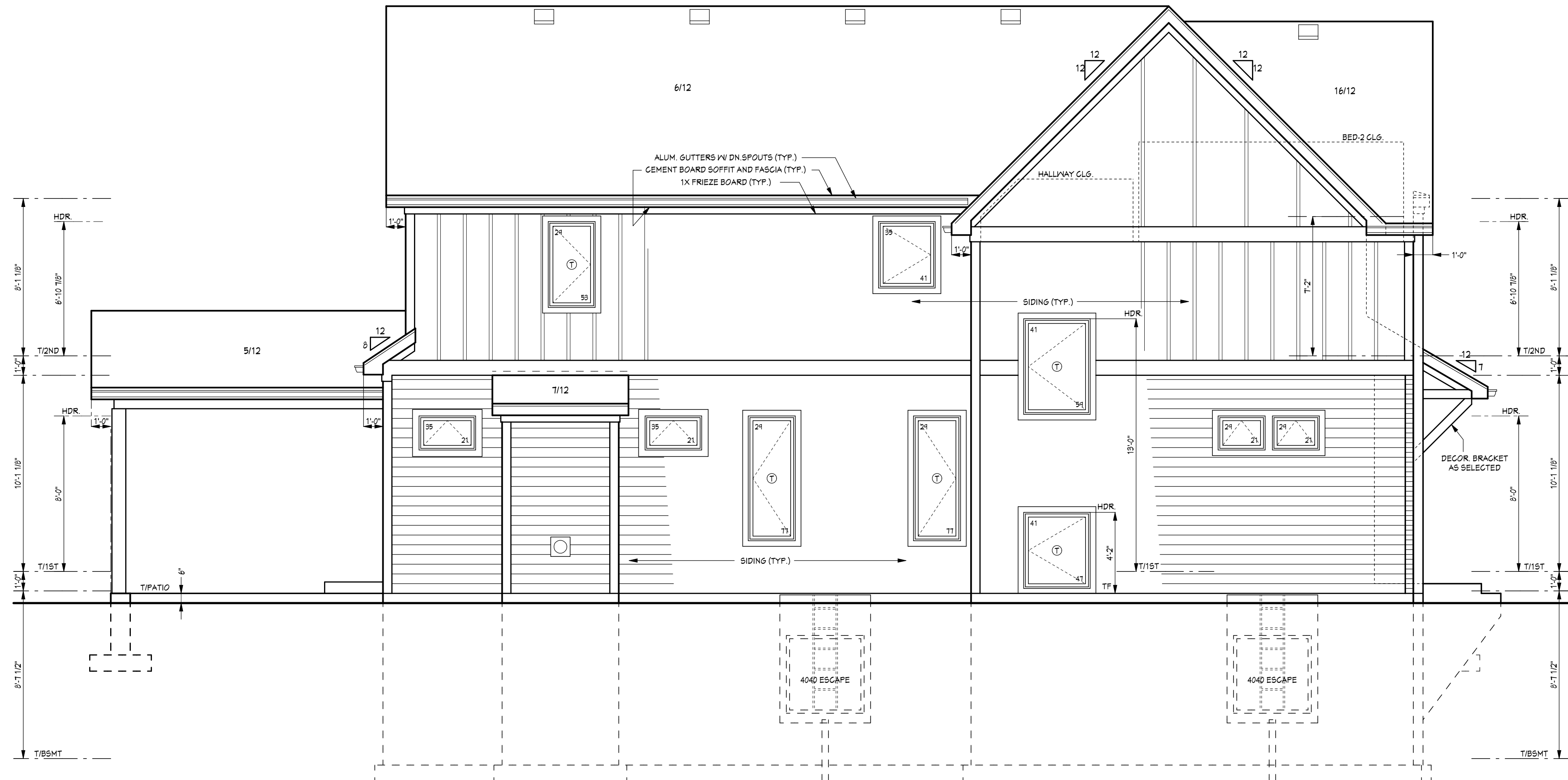
2

SITE PLAN

FRONT ELEVATION

LEFT SIDE ELEV.

OF 10

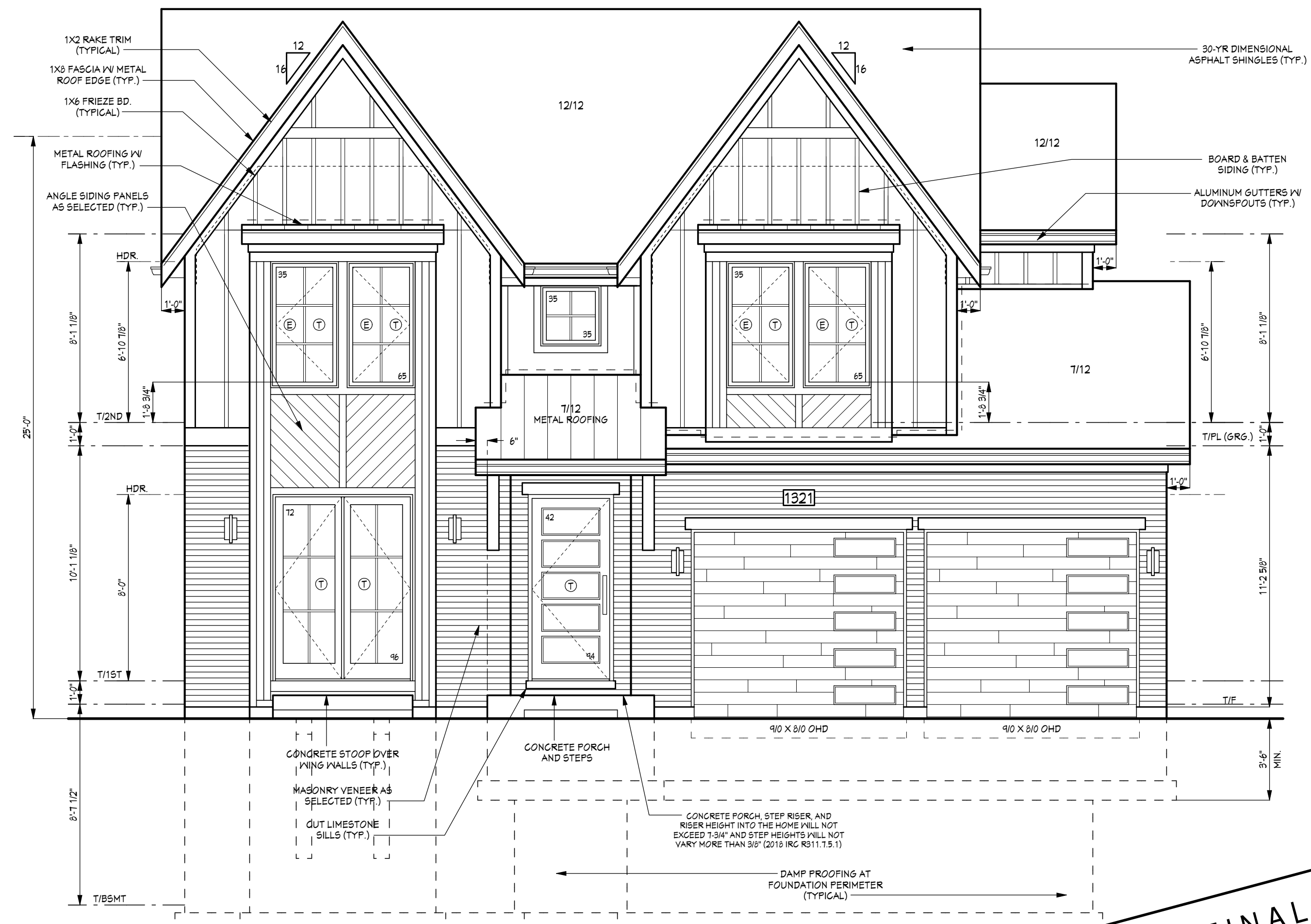


LEFT SIDE ELEVATION

SCALE: 1/4" = 1' 0"

GRADING / ENGINEERING NOTE

- FOUNDATION STEPS, DROP SIDING, ETC., AS REQUIRED BY SITE CONDITIONS.
- ALL STEP DOWN SIZES AND LOCATIONS ARE TO FOLLOW SITE ENGINEERING PLAN BY OTHERS.
- STEPPING SHOWN HEREON IS APPROXIMATE.



FRONT ELEVATION

SCALE: 1/4" = 1' 0"

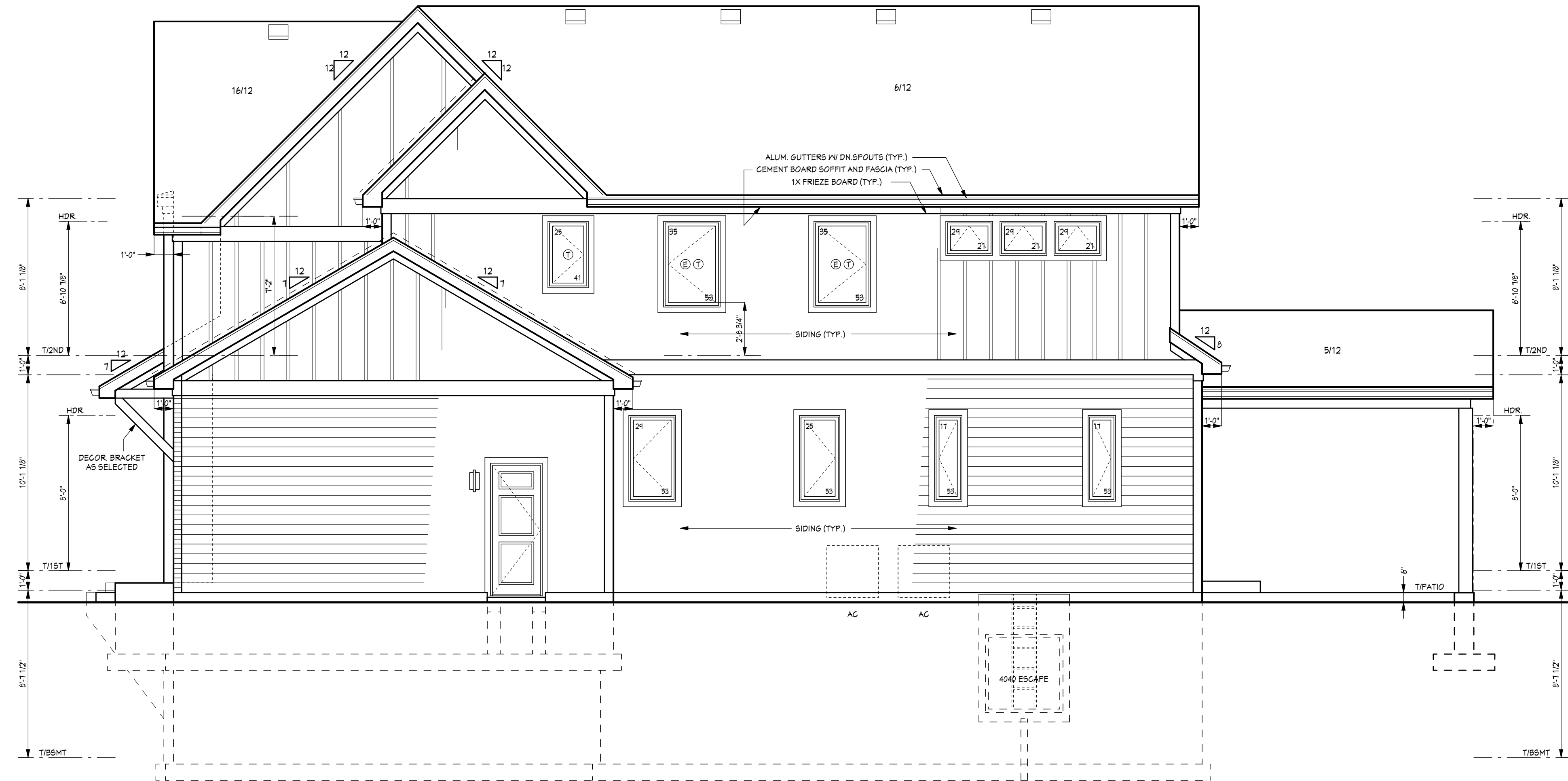
FINAL REVIEW PLANS



SG Design, LLC

05634 Robbins St.  
Winfield, IL 60190  
630-969-9279  
www.SCDesignLLC.com

REVIEW PLANS

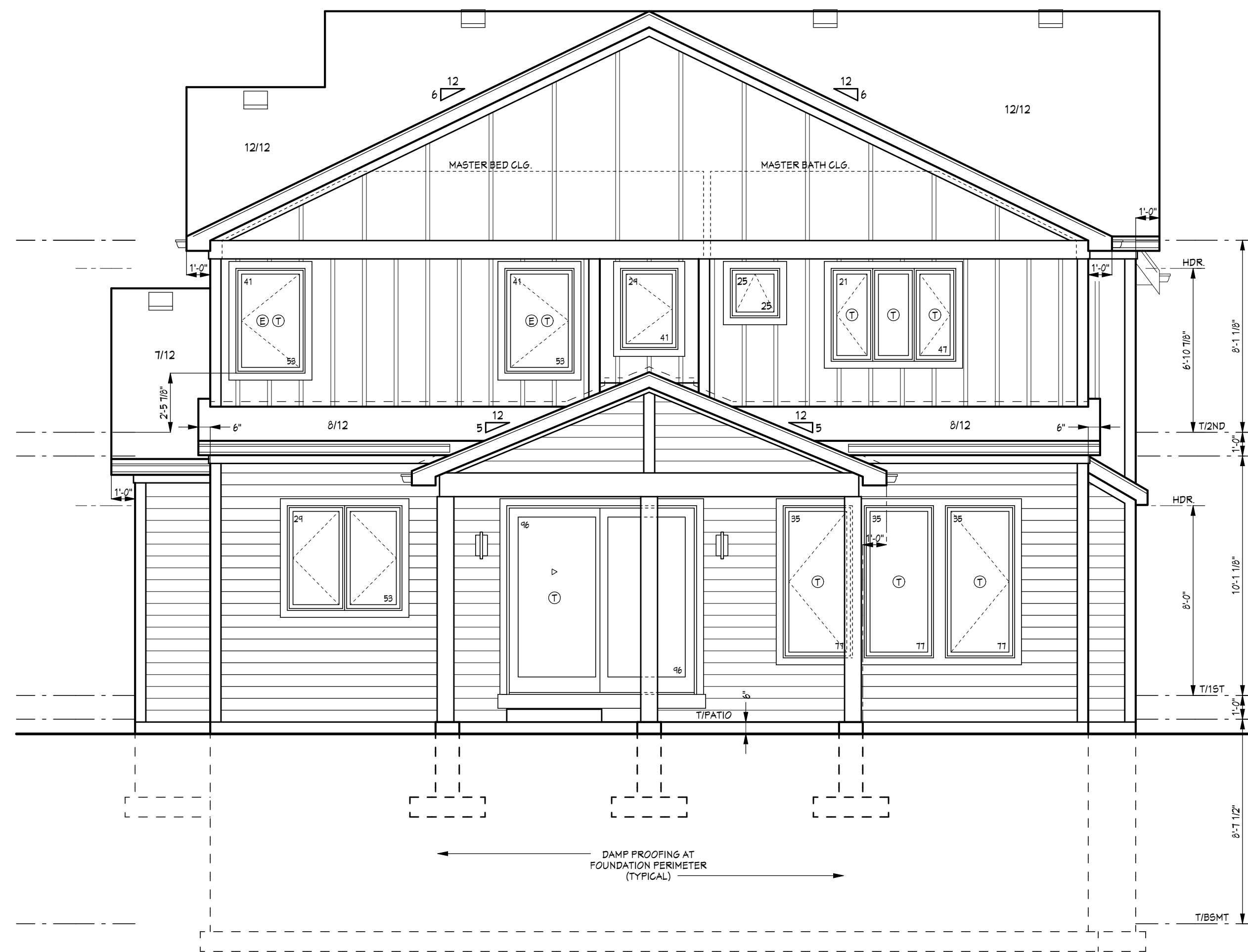


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' 0"

GRADING / ENGINEERING NOTE

- FOUNDATION STEPS, DROP SIDING, ETC., AS REQUIRED BY SITE CONDITIONS.
- ALL STEP DOWN SIZES AND LOCATIONS ARE TO FOLLOW SITE ENGINEERING PLAN BY OTHERS.
- STEPPING SHOWN HEREON IS APPROXIMATE.



REAR ELEVATION

SCALE: 1/4" = 1' 0"

FINAL REVIEW PLANS

PROJECT:

Custom Residence:  
1321 N Mitchell Ave.  
Arlington Heights, IL  
LOTS 15

BUILDER:

E & J Builders, LLC  
Elmhurst, IL  
Ph. 630.479.4556

NO.	DATE:	BY:
	ISSUES AND REVISIONS:	
	11-21-25, 12-09-25	MDS
	CONCEPT REVIEW	
	12-16-25	MDS
	FINAL A.R.B. REVIEW	

JOB NO.	25040
DATE:	11-20-25
DRAWN BY:	MDS
SCALE:	AS NOTED
SHEET NO.	3
REAR ELEVATION	
RIGHT SIDE ELEV.	
	OF 10

1321 n Mitchell.



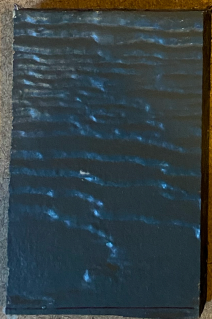
Windows



Siding



Brick



Siding Trim



Roof



Facade

**PROPOSED EXTERIOR COLOR SCHEME  
(SIMILAR HOME COMPLETED IN A DIFFERENT COMMUNITY)  
FOR REFERENCE ONLY**





**Design Commission  
1/27/2026**

**Item:** 7 W. Dundee Rd. - Popeye's - Sign Variation - DC25-091  
**Department:** Planning & Community Development

**Item Description:**  
**Requested Action**

1. A variation from Chapter 30, Section 30-208.b, to allow a 22.61 sf fully digital drive-through menu board, where fully electronic menu board signage is not allowed.
2. A variation from Chapter 30, Section 30-208.c, to allow a 7.64 sf fully digital drive-through pre-sell menu board, where fully electronic pre-sell menu board signage is not allowed.

**Recommendation**

It is recommended that the Design Commission recommend approval to the Village Board for the following sign variations for Popeye's at 7 W. Dundee Road:

1. A variation from Chapter 30, Section 30-208.b, to allow a 22.61 sf fully digital drive-through menu board, where fully electronic menu board signage is not allowed.
2. A variation from Chapter 30, Section 30-208.c, to allow a 7.64 sf fully digital drive-through pre-sell menu board, where fully electronic pre-sell menu board signage is not allowed.

This recommendation is subject to compliance with the site plan, electronic menu board drawings and manufacturer specifications received on 11/11/25, Federal, State, and Village Codes, regulations, and policies, and the issuance of all required permits, and the following conditions:

1. Use of the electronic displays shall comply with all operational standards for electronic signs as set forth in Chapter 30, Section 30-705.h, which includes static displays only (no scrolling, fading, flashing, animation, video, or sound), auto-dimming photocell technology to control brightness to .3 footcandles maximum above ambient lighting conditions, no off-premises advertising, and only permitted to be illuminated during the hours that the

business is open.

2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

**ATTACHMENTS:**

1. Staff Report\_7 W Dundee Rd\_Popeye's
2. Exhibits\_7 W Dundee Rd\_Popeye's
3. Photos\_7 W Dundee Rd\_Popeye's

## STAFF DESIGN COMMISSION REPORT

**PROJECT INFORMATION:**

**Project Name:** Popeye's - Sign Variation  
**Project Address:** 7 W. Dundee Road  
**Prepared By:** Steve Hautzinger

**PETITION INFORMATION:**

**DC Number:** 25-091  
**Petitioner Name:** David Mikel  
**Petitioner Address:** Site Enhancement Services  
6001 Nimitz Parkway  
South Bend, IN 46628  
**Meeting Date:** January 27, 2026

**Date Prepared:** January 21, 2026

**Requested Action(s):**

1. A variation from Chapter 30, Section 30-208.b, to allow a 22.61 sf fully digital drive-through menu board, where fully electronic menu board signage is not allowed.
2. A variation from Chapter 30, Section 30-208.c, to allow a 7.64 sf fully digital drive-through pre-sell menu board, where fully electronic pre-sell menu board signage is not allowed.

**ANALYSIS:**

**Summary:**

The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction and those improvements which affect the architectural design of the building, site improvements or signage to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Regulations."

The existing Popeye's restaurant located at 7 W. Dundee Road is proposing to replace their existing conventional printed drive-through menu boards with new fully electronic menu boards along their existing drive-through lane. There are two existing identical menu boards which are each 52.66 sf. The proposed new electronic menu boards will be installed in the same location as existing. The proposed electronic pre-sell menu board will be 7.64 sf, and the main electronic menu board will be 22.61 sf. One existing speaker bollard will remain.

**Table 1: Drive-Through Menu Boards Summary**

<b>SIGN</b>	<b>QUANTITY</b>	<b>SIZE</b>	<b>HEIGHT (7' MAX. PER CODE)</b>	<b>REMARKS</b>
<b>Existing</b> Conventional Printed Menu Board	2	52.66 sf	7' (approx.)	To be removed.
<b>Proposed</b> Fully Electronic Pre-Sell Menu Board	1	7.64 sf	5'-2"	Variation required for fully digital display.
<b>Proposed</b> Fully Electronic Menu Board	1	22.61 sf	5'-2"	Variation required for fully digital display.

**Sign Variation Criteria:**

The Village Sign Code, Chapter 30, Section 30-901 sets out the criteria for granting a sign variation.

- a. *That the particular difficulty or peculiar hardship is not self-created by the Petitioner.*
- b. *That the granting of said variation will not create a traffic hazard, a depreciation of nearby property values or otherwise be detrimental to the public health, safety, morals and welfare;*
- c. *That the variation will serve to relieve the Petitioner from a difficulty attributable to the location, topography, circumstances on nearby properties or other peculiar hardship, and will not merely serve to provide the Petitioner with a competitive advantage over similar businesses;*
- d. *That the variation will not alter the essential character of the locality;*
- e. *That the Petitioner's business cannot reasonably function under the standards of this chapter.*

The petitioner has submitted a letter addressing the sign variation criteria, which in summary outlines the need for fully electronic menu boards for efficiency, safety, order accuracy, and to improve communication with their customers. They feel that the electronic menu boards will be easier to read, and they are becoming the new industry standard.

**Staff Comments:**

Overall, Staff does not object to the use of fully electronic menu boards since they allow for easier menu updates and they are generally smaller than conventional menu boards. Similar fully electronic menu board sign variations have been previously approved in Arlington Heights for McDonald's, Burger King, and Dunkin.

The electronic menu boards are required to comply with the operational standards set forth in Chapter 30, Section 30-705(h), which states that the electronic signs will display static images only (without scrolling, fading, flashing, animation, video, or sound), auto-dimming photocell technology to control brightness to .3 footcandles maximum above ambient lighting conditions, no off-premises advertising, and only permitted to be illuminated during the hours that the business is open.

The petitioner has provided manufacturer documentation confirming auto-dimming functionality to control the brightness, and they have stated that there will be no animation or motion on the displays.

**RECOMMENDATION**

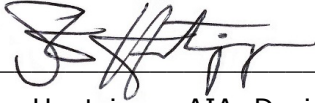
It is recommended that the Design Commission recommend **approval** to the Village Board for the following sign variations for *Popeye's* at 7 W. Dundee Road:

- 1. A variation from Chapter 30, Section 30-208.b, to allow a 22.61 sf fully digital drive-through menu board, where fully electronic menu board signage is not allowed.
- 2. A variation from Chapter 30, Section 30-208.c, to allow a 7.64 sf fully digital drive-through pre-sell menu board, where fully electronic pre-sell menu board signage is not allowed.

This recommendation is subject to compliance with the site plan, electronic menu board drawings and manufacturer specifications received on 11/11/25, Federal, State, and Village Codes, regulations, and policies, and the issuance of all required permits, and the following conditions:

- 1. Use of the electronic displays shall comply with all operational standards for electronic signs as set forth in Chapter 30, Section 30-705.h, which includes static displays only (no scrolling, fading, flashing, animation, video, or sound), auto-dimming photocell technology to control brightness to .3 footcandles maximum above ambient lighting conditions, no off-premises advertising, and only permitted to be illuminated during the hours that the business is open.

2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.



January 21, 2026

Steve Hautzinger AIA, Design Planner  
Department of Planning & Community Development

c: Emily Rodman, Director of Planning and Community Development, Petitioner, DC File 25-091

**a. The particular difficulty or peculiar hardship is not self-created by the petitioner**

The need for a digital menu board arises from advancements in technology and industry standards across the quick-service restaurant sector, not from any self-created condition. The existing manual board was compliant when originally installed; however, the drive-thru operation now requires digital display capabilities for efficiency, safety, and accuracy. The property's current configuration, including the drive-thru lane layout and equipment placement, limits the ability to improve communication with customers without upgrading to digital equipment. The hardship stems from technological and operational evolution rather than any action by the applicant.

**b. The granting of the variation shall not create a traffic hazard, a depreciation of nearby property values, or otherwise be detrimental to the public health, safety, morals, and welfare**

The replacement of the manual menu board with a digital one will not increase traffic or impact surrounding properties. The digital board will occupy the same general location, height, and area as the existing board, ensuring no additional visual obstruction. The display will feature automatic brightness controls that adjust based on ambient light levels, preventing glare or distraction to motorists. The modernized equipment will improve order accuracy, reduce wait times, and enhance customer flow through the drive-thru, which in turn contributes positively to public safety and site functionality.

**c. The variation will serve to relieve the applicant from a difficulty attributable to the location, topography, circumstances on nearby properties, or other peculiar hardship; and not merely serve to provide the applicant with a competitive advantage over similar businesses**

The site's drive-thru configuration presents certain spatial limitations that make operational efficiency dependent on clear and legible communication. The existing manual board can be difficult to read under varying lighting conditions, especially at night or in inclement weather. The proposed digital board relieves this operational hardship by providing illuminated, high-contrast text that adjusts automatically for visibility and accessibility. The request is not intended to provide an unfair competitive advantage but to maintain functionality consistent with other nearby restaurants that already utilize similar digital technology.

**d. The variation will not alter the essential character of the locality**

The proposed digital menu board is consistent with the commercial character of the surrounding area, which contains several modernized retail and restaurant operations along commercial corridors. The digital board's design, size, and placement will remain in

harmony with existing site aesthetics and surrounding development. It will not introduce excessive brightness, animation, or motion that could alter the visual environment. The result will be an updated, well-maintained appearance that complements the overall visual quality of the district.

**e. The applicant's business cannot reasonably function under the standards of this Chapter**

In today's quick-service restaurant operations, digital drive-thru displays have become essential for accuracy, efficiency, and safety. Manual menu boards no longer support real-time menu changes, promotional updates, or order confirmation systems that are standard across the industry. Without the ability to upgrade to digital equipment, this Popeyes location would face ongoing operational inefficiencies and reduced service quality compared to other similarly situated restaurants. The requested variation is therefore necessary for the restaurant to function in a modern and compliant manner under current operational expectations.



1100

Buffalo  
Grove  
High  
School

1200

Dundee Rd

68

115

105

15

7

9

15

Arlington-Heights Rd

Arlington-Heights Rd

1211-1205

3441

3431

Private

Ventura  
Condos

110

120

1031-1041

Ventura  
Condos

3430-3438

3424-3426

W Boeger Dr

E Boeger Dr

125

121

13

Ventura  
Condos

**GENERAL NOTES**

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BID TO DETERMINE THE EXTENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BIDDING.
- ALL EXISTING MATERIALS TO REMAIN WHICH ARE DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE PATCHED OR REPAIRED TO MATCH THE EXISTING ADJACENT MATERIALS, SO THAT THE REPAIR IS IMPERCEPTIBLE.
- DURING THE COURSE OF CONSTRUCTION, IF THE CONTRACTOR UNCOVERS ANY CODE VIOLATION KNOWN TO HIM OR ANY DISCREPANCY WITH THE DESIGN, CONTRACTOR SHALL NOTIFY THE ARCHITECT OF SUCH IMMEDIATELY.
- CONTRACTOR SHALL ASSEMBLE AND INSTALL MATERIALS/ PRODUCTS IN STRICT ACCORDANCE WITH THE MANUF'S RECOMMENDATIONS AND INDUSTRIAL/ASSOCIATION STANDARDS.
- CONTACT ARCHITECT AND COORDINATE WITH TENANT ANY ADDITIONAL SPECIFICATIONS NOT SPECIFIED HEREIN AND/OR CLARIFICATIONS REGARDING THE CONTRACT DOCUMENTS.
- NO CURRENT SURVEY WAS PERFORMED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IN WRITING IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IN WRITING IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM THE CONTRACTOR'S FAILURE TO NOTIFY THE ENGINEER AND OWNER.
- IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENT OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

**BUILDING CODE SUMMARY**

APPLICABLE BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE  
 APPLICABLE ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE  
 USE GROUP: A2 - ASSEMBLY  
 BUILDING DEPARTMENT PHONE NO: 847-368-5560  
 EXISTING SIGNAGE AREA TO BE REMOVED: 52.66 SQ FT  
 NEW SIGNAGE AREA TO BE ADDED: 30.25 SQ FT  
 PROJECT ADDRESS: 7 W DUNDEE RD  
 ARLINGTON HEIGHTS, IL 60004

**VICINITY MAP (NTS)**



**SITE NOTES**

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL SIGNS ARE BY THE GENERAL CONTRACTOR.
- EXISTING MENU BOARDS AND PRE-SALE BOARDS TO BE REMOVED FROM BASES, REMOVED FROM SITE, AND DISPOSED UNLESS DIRECTED BY BAILLIWICK. CONDUITS TO BE CAPPED TO PREVENT MOISTURE ENTRANCE.

**UTILITY NOTES**

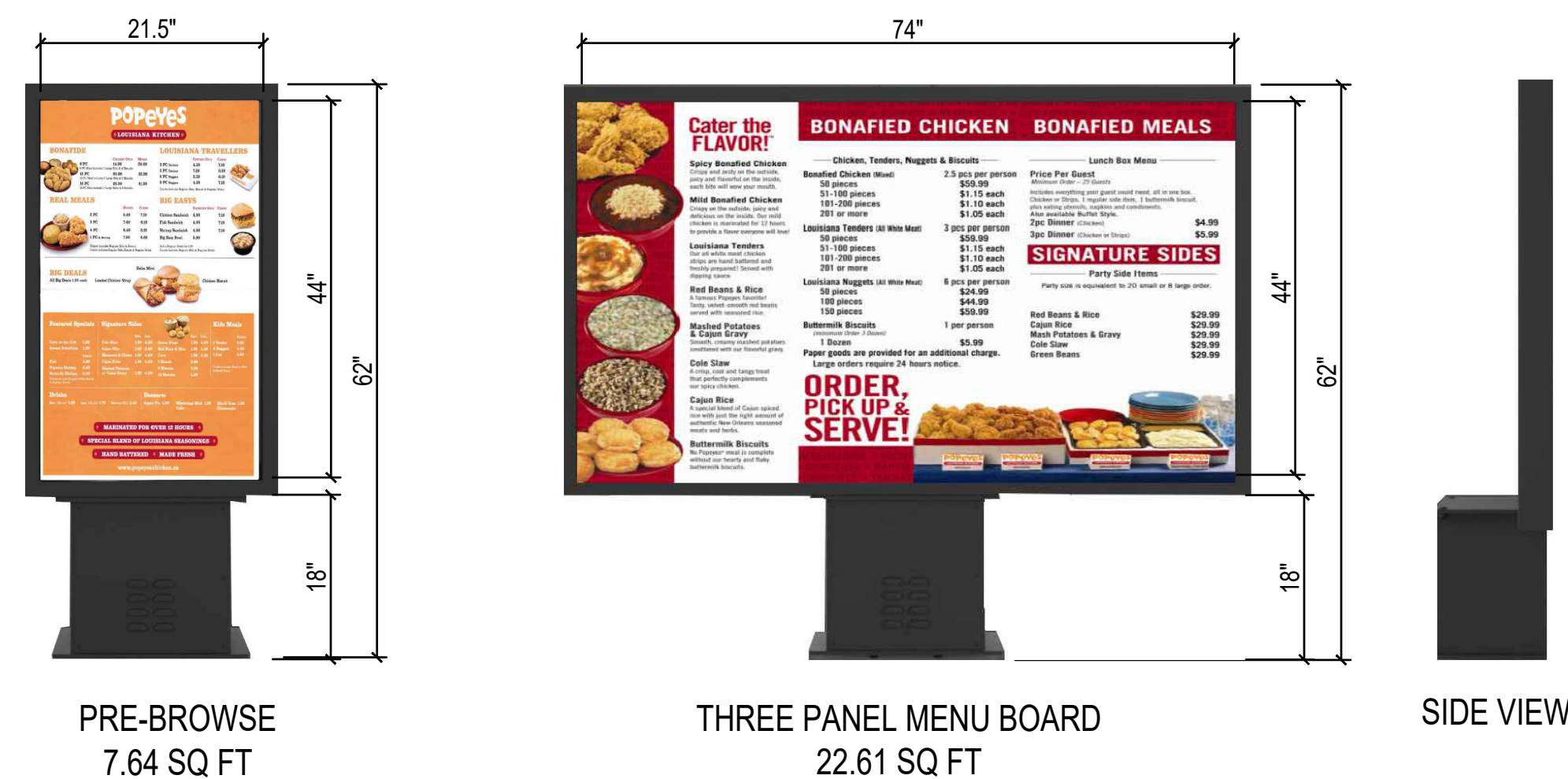
- ALL ELECTRICAL/CONDUIT RUNS ARE SCHEMATIC ONLY. CONDUIT SIZES AND ROUTING PROVIDED BY BAILLIWICK.
- IT SHALL BE THE SIGN INSTALLER'S RESPONSIBILITY TO ENSURE THE PROPOSED SIGN LOCATION DOES NOT INTERFERE WITH ANY UTILITIES AND COMPLIES WITH ALL APPLICABLE CITY CODES. SIGN INSTALLER SHALL ALSO OBTAIN APPROVAL FROM THE APPROPRIATE ENTITIES PRIOR TO INSTALLING THE SIGN OVER ANY EXISTING EASEMENTS.
- REFER TO THE BUILDING ELECTRICAL DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

**DEMOLITION NOTES**

- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, OR OTHER MEANS OF PROTECTION, INCLUDING BUT IS NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

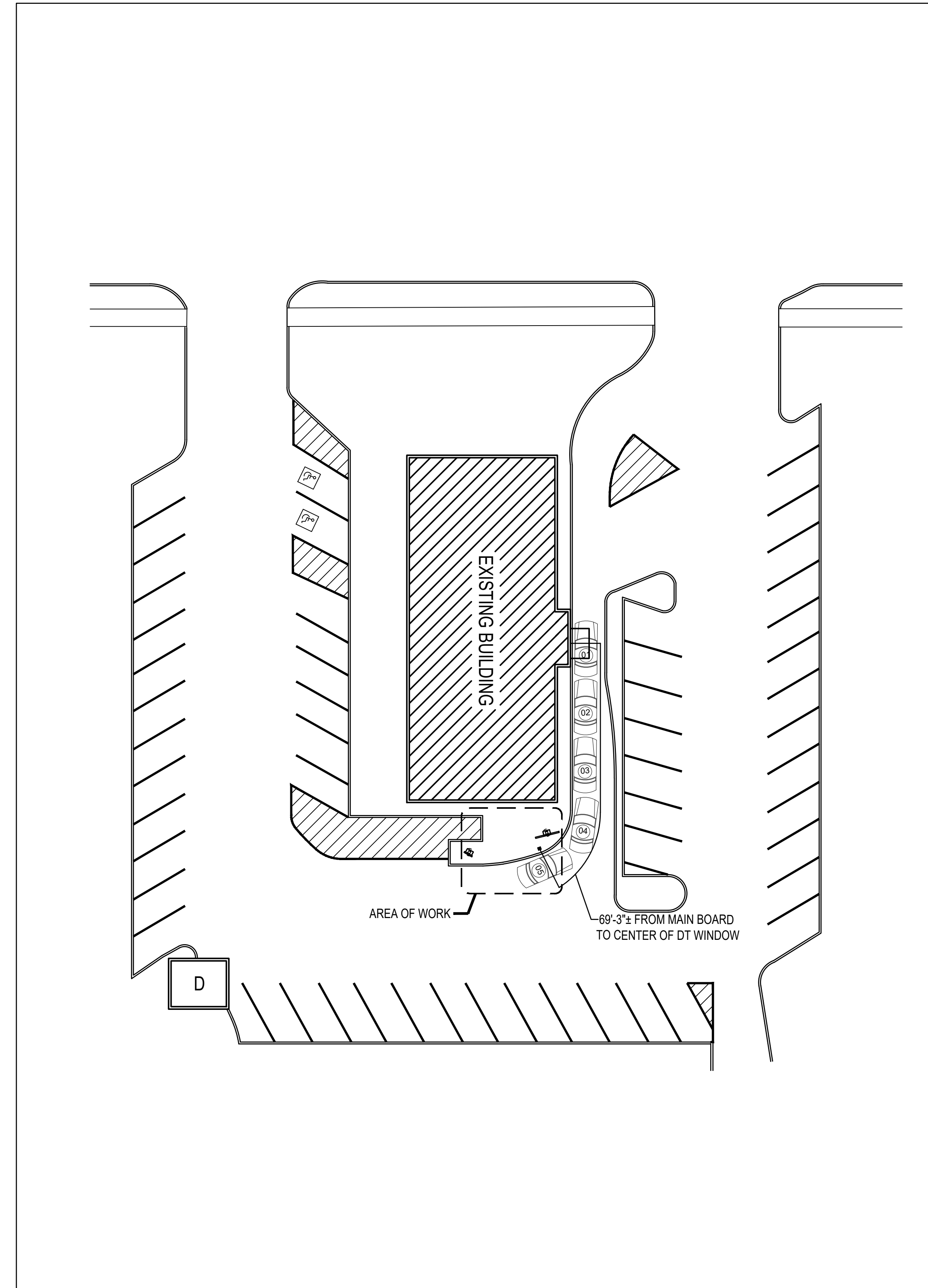
**SCOPE OF WORK**

REMOVE EXISTING MENU BOARDS AND CAP CONDUIT PER SITE NOTES. INSTALL NEW MENU BOARDS AND ALL REQUIRED CONDUIT AND WIRING. REFER TO MANUFACTURERS BOARD PUBLISHED INSTALLATION INSTRUCTIONS.



**NEW MENU BOARDS AND PRE-BROWSE BOARDS**

NOT TO SCALE



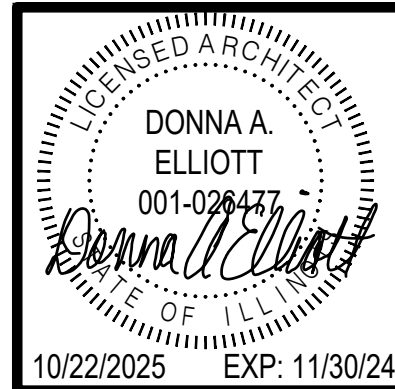
**EXISTING OVERALL SITE PLAN**

SCALE: 1" = 20'-0"



REV	DATE	BY	DESCRIPTION
1	10/21/2025	SFE	UPDATED DIMENSIONS ON EXISTING SIGNAGE BOARD, C.1.0

**Donna A Elliott Architect**  
 1317 Executive Blvd, Suite 200  
 Chicago, IL 60604  
 TEL: (773) 622-2826  
 FAX: (773) 622-6883



**POPEYES**  
 #LOUISIANA.KITCHEN  
 PLK 2119  
 SITE ADDRESS: 7 W DUNDEE RD  
 ARLINGTON HEIGHTS, IL 60004

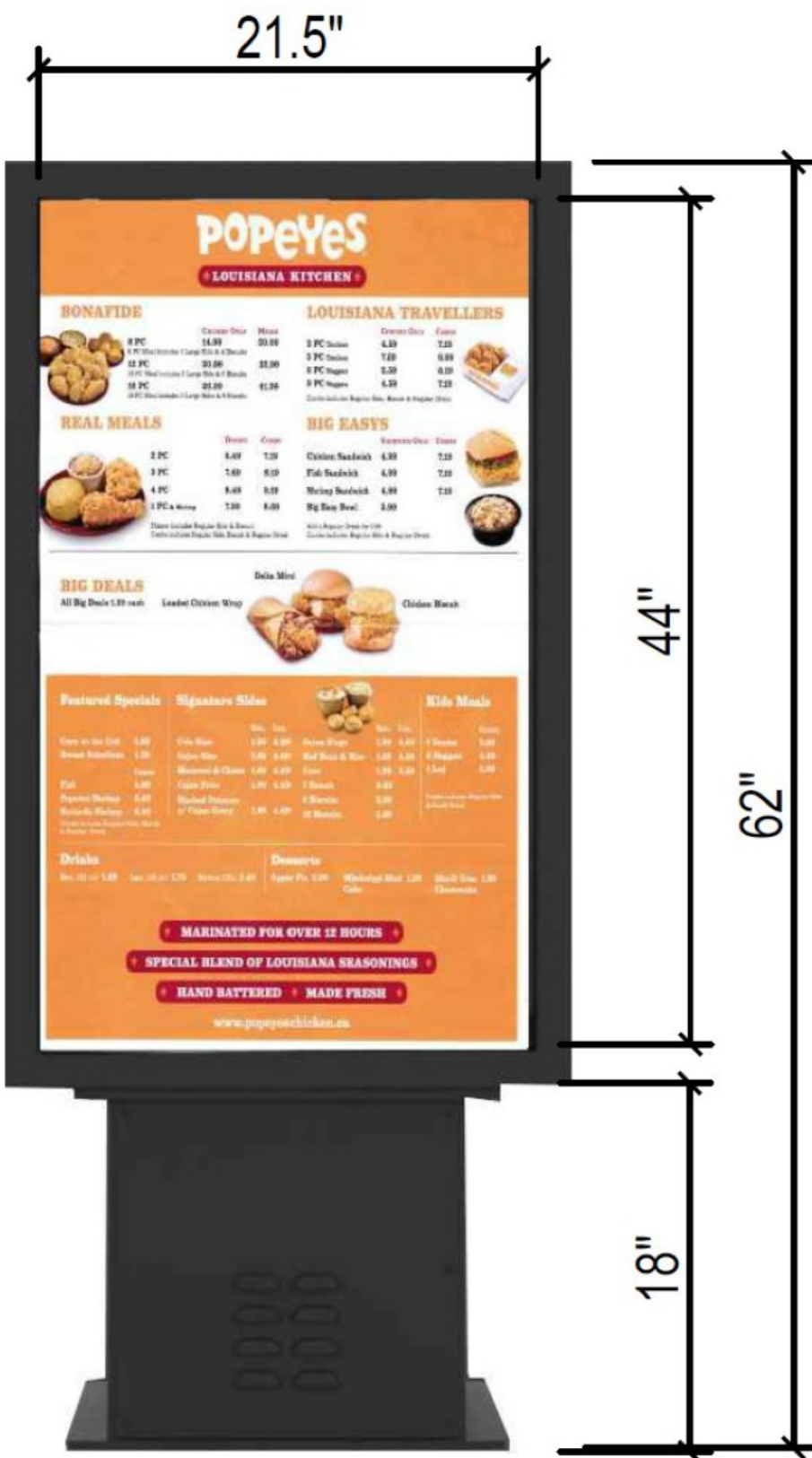
DATE	7/16/2021
PROJECT	21450-84
DESIGNED	BNS
DRAWN	BNS
CHECKED	DFM

**SITE PLAN AND NOTES**

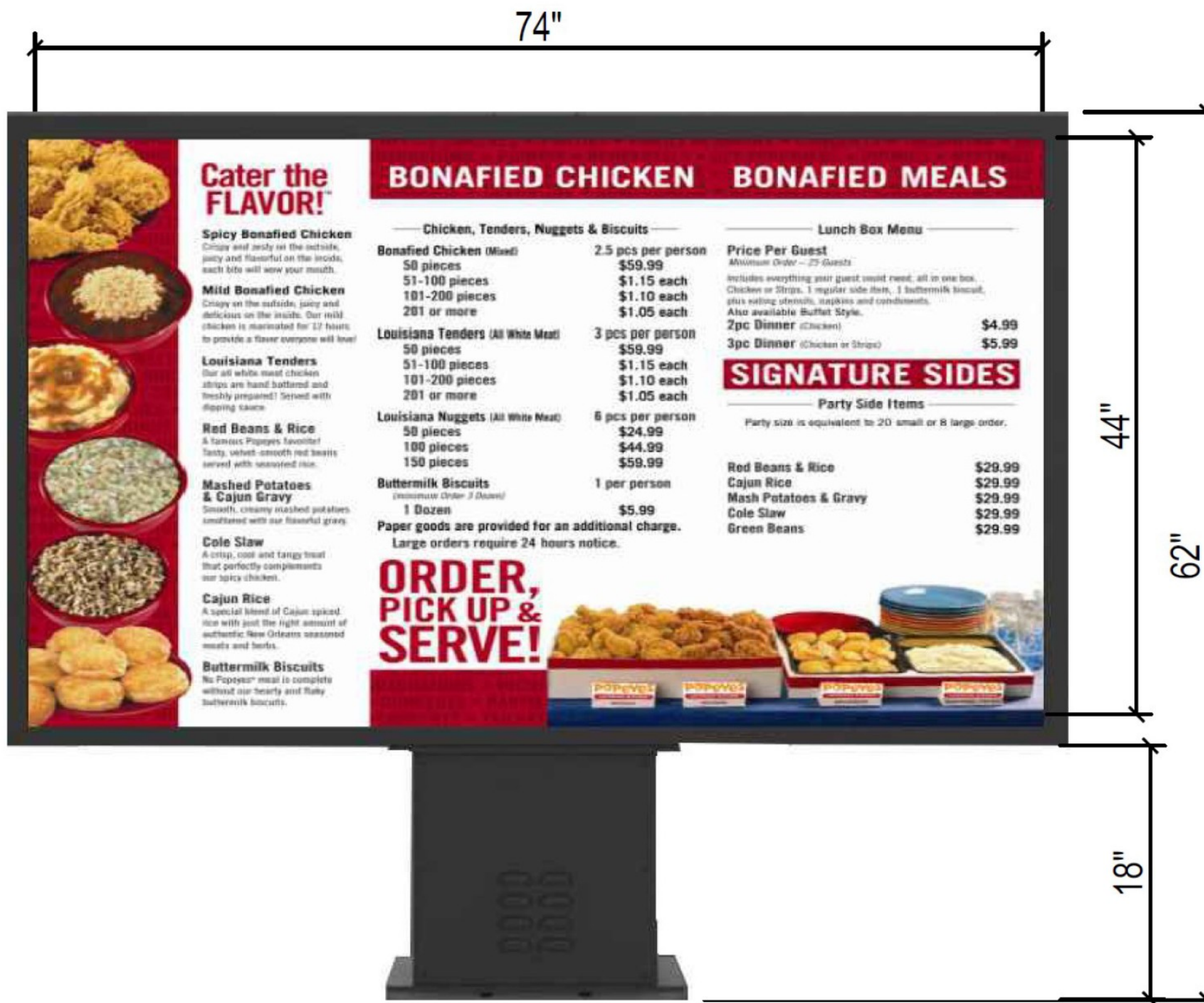
**C1.0**



**EXISTING DRIVE-THROUGH MENU  
BOARDS TO BE REMOVED**



PRE-BROWSE  
7.64 SQ FT



THREE PANEL MENU BOARD  
22.61 SQ FT



SIDE VIEW

# NEW MENU BOARDS AND PRE-BROWSE BOARDS

FILE NAME: C:\Users\sevens\AppData\Local\Temp\AcPublish\_2024\45098A\_C1\_1.dwg LAYOUT NAME: Work PLOTTED: Wednesday, October 23, 2025 - 8:20am

SITE PLAN KEY NOTES	
1	EXISTING SIGNAGE TO BE REMOVED. SEE SITE NOTE #3.
2	EXISTING SPEAKER TO REMAIN
3	TRIPLE PANEL MENU BOARD. REFER TO STRUCTURAL SHEET FOR FOOTING INFORMATION.
4	SINGLE PANEL MENU BOARD. REFER TO STRUCTURAL SHEET FOR FOOTING INFORMATION.

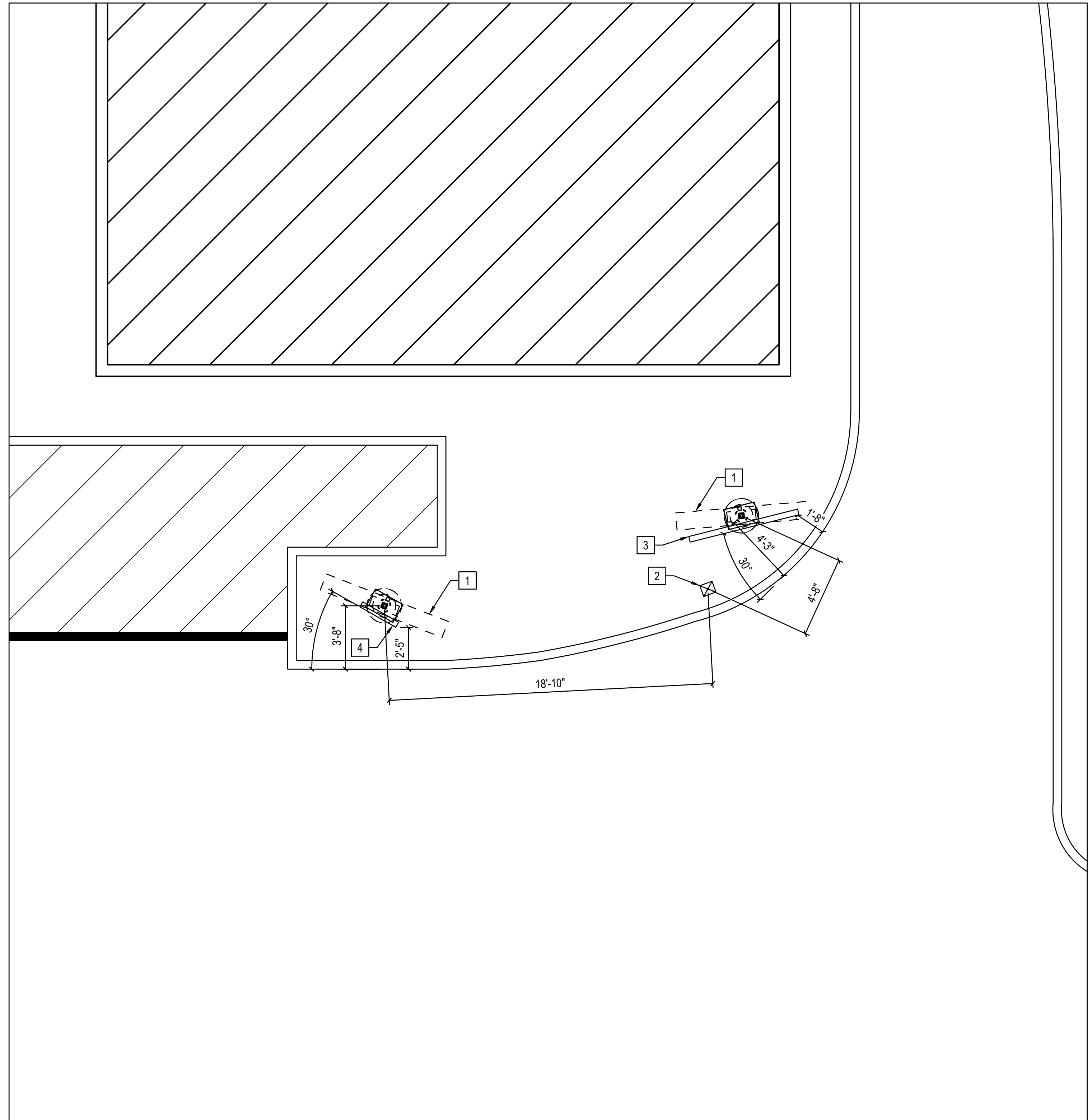
SITE PLAN LEGEND	
EXISTING ORDER POINT/SPEAKER POST TO REMAIN	
NEW TRIPLE PANEL OUTDOOR DIGITAL MENU BOARD	
NEW SINGLE PANEL OUTDOOR DIGITAL PRE-SALE BOARD	
EXISTING MENU BOARDS TO BE REMOVED	
	MAIN BOARD PB BOARD

ELECTRICAL PLAN NOTES	
1.	INTENT OF DESIGN: DISCONNECT POWER AND DATA FEEDS FROM EXISTING MENU BARDS AND PRE-SALE BOARDS. REMOVE AND DISPOSE.
2.	CONTRACTORS ARE TO INSTALL NEW CONDUIT, ELECTRICAL WIRE AND DATA CABLE.
3.	NOTED CIRCUIT NUMBERS DERIVED FROM EXISTING PANEL DIRECTORY INSERTS. CONTRACTOR TO FIELD VERIFY AND UTILIZE EXISTING BRANCH CIRCUITS FEEDING THE PRIMARY (BRANCH CIRCUIT 1) AND SECONDARY (BRANCH CIRCUIT 2) MENU BOARDS AND PRE-BROWSE BOARDS.
4.	COORDINATE ALL CONDUIT AND CIRCUITING SIZE REQUIREMENTS WITH MANUFACTURERS INSTALL REQUIREMENTS
5.	ALL NEW PULLBOXES / HANDHOLDS SHALL BE A MINIMUM OF TIER 8 QUAZITES BOX OR APPROVED EQUAL.
6.	PROVIDE DEDICATED NEUTRAL FOR ALL CIRCUITS, NO SHARED NEUTRALS ALLOWED.

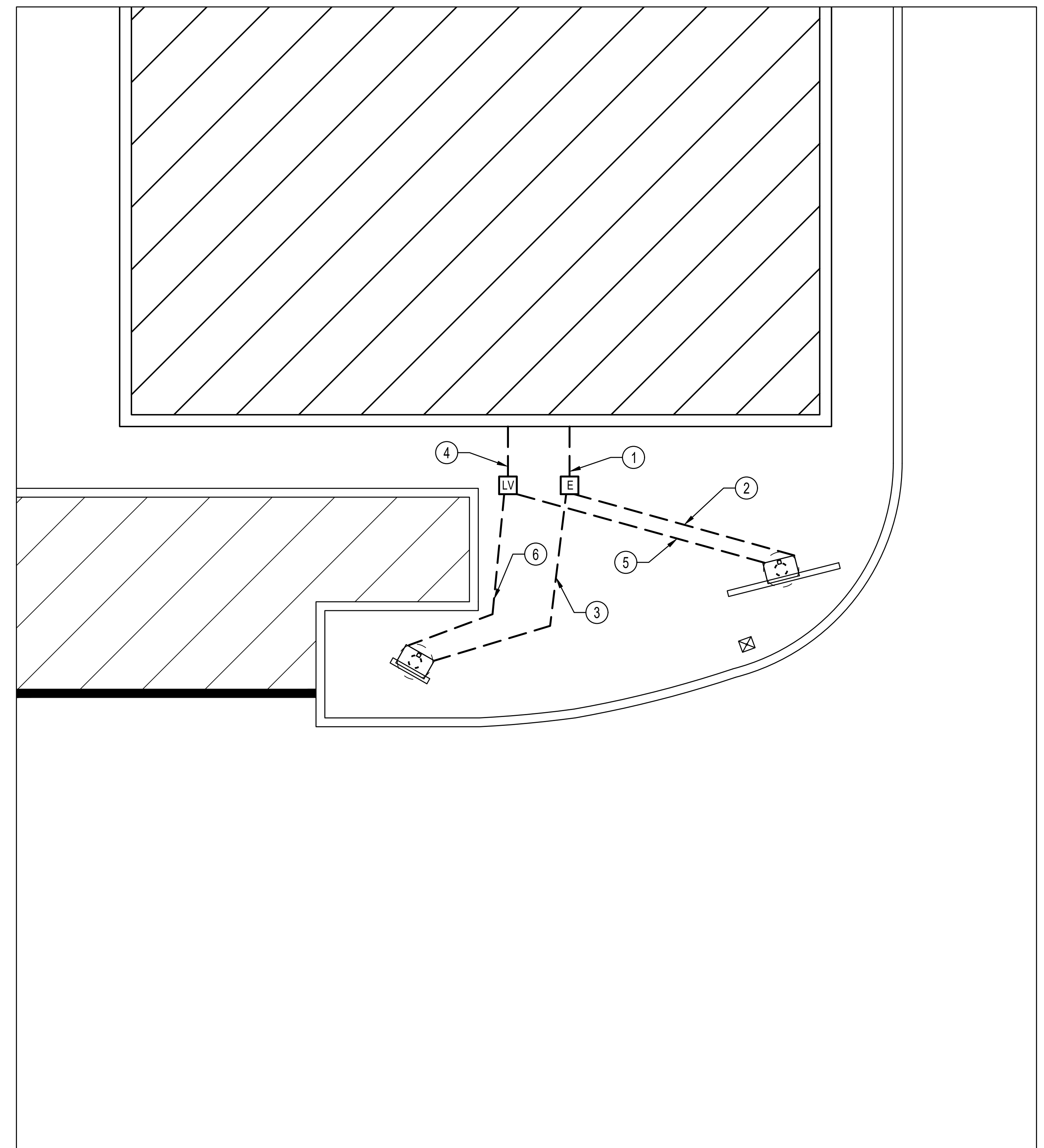
CONDUIT PLAN KEY NOTES	
1	ONE 3/4" PVC CONDUIT (4-#12, 1-#12 GRD, 1-#12 IG) FROM PANEL CP TO J-BOX
2	ONE 3/4" PVC CONDUIT (2-#12, 1-#12 GRD, 1-#12 IG) FROM J-BOX TO NEW MAIN MENU BOARD
3	ONE 3/4" PVC CONDUIT (2-#12, 1-#12 GRD, 1-#12 IG) FROM J-BOX TO NEW PRE-SALE BOARD
4	ONE 2" PVC CONDUIT (CAT6 DATA CABLES) FROM BUILDING TO J-BOX
5	ONE 2" PVC CONDUIT (CAT6 DATA CABLES) FROM J-BOX TO MENU BOARD
6	ONE 2" PVC CONDUIT (CAT6 DATA CABLES) FROM J-BOX TO PRE-SALE BOARD

REV	DATE	BY	DESCRIPTION
1	10/21/2025	SFE	UPDATED DIMENSIONS ON *EXISTING SIGNAGE BOARD, C1.0

**Donna A Elliott Architect**  
 1317 Executive Blvd, Suite 200  
 Chesapeake, VA 23020  
 TEL (757) 622-2828  
 FAX (757) 622-6883



**ENLARGED SITE PLAN**  
 SCALE: 1/4" = 1'-0"



**ENLARGED CONDUIT PLAN**  
 SCALE: 1/4" = 1'-0"



**POPEYES**  
 #LOUISIANA KITCHEN  
 PLK 2119  
 SITE ADDRESS: 7 W DUNDEE RD  
 ARLINGTON HEIGHTS, IL 60004

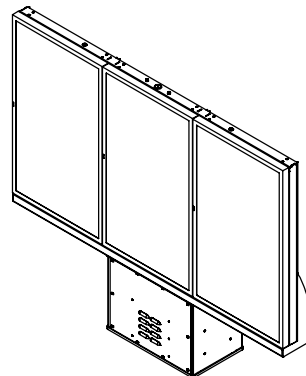
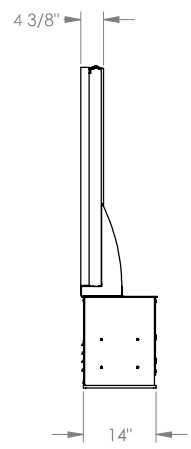
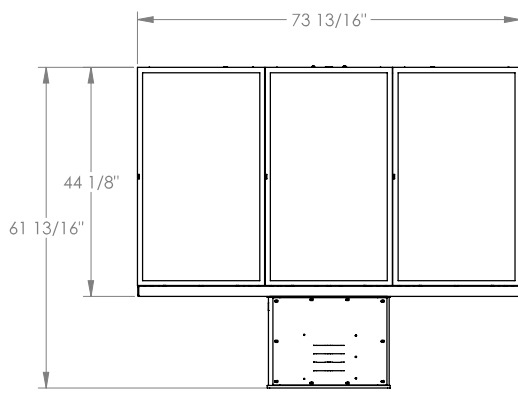
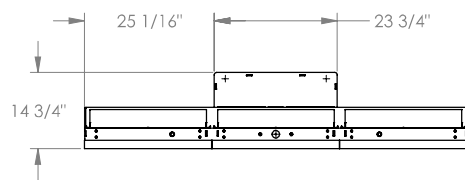
DATE	7/16/2021
PROJECT	21450-84
DESIGNED	BNS
DRAWN	BNS
CHECKED	DFM

**ENLARGED UTILITY PLANS**  
**C1.1**

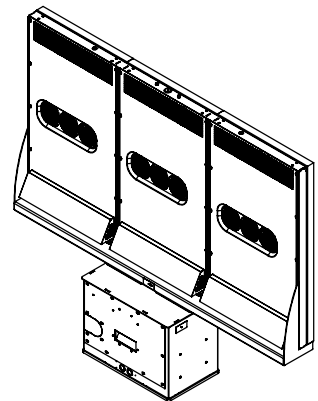
8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

REVISIONS					
REV	ZONE	DESCRIPTION	DATE	CHGD	CHKD

D  
C  
B  
A



FRONT SIDE



REAR SIDE

**MATERIALS OF CONSTRUCTION:**

- PEDESTAL: 1/2" HRPO PLATE, .179" HRPO PLATE, .105" CRS PLATE
- CABINET FRAME: 2" X 8" .188 WALL A 513 TUBE, .250" HRPO PLATE, .179" HRPO PLATE, .064" GALVANNEALED STEEL
- BACK COVERS: .050" ALUMINUM

**SYSTEM WEIGHTS:**

- WITH DISPLAYS: 615 LBS
- WITHOUT DISPLAYS: 330 LBS

**SYSTEM CERTIFICATIONS:**

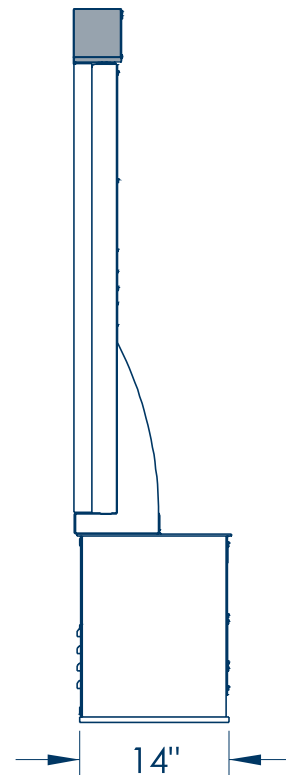
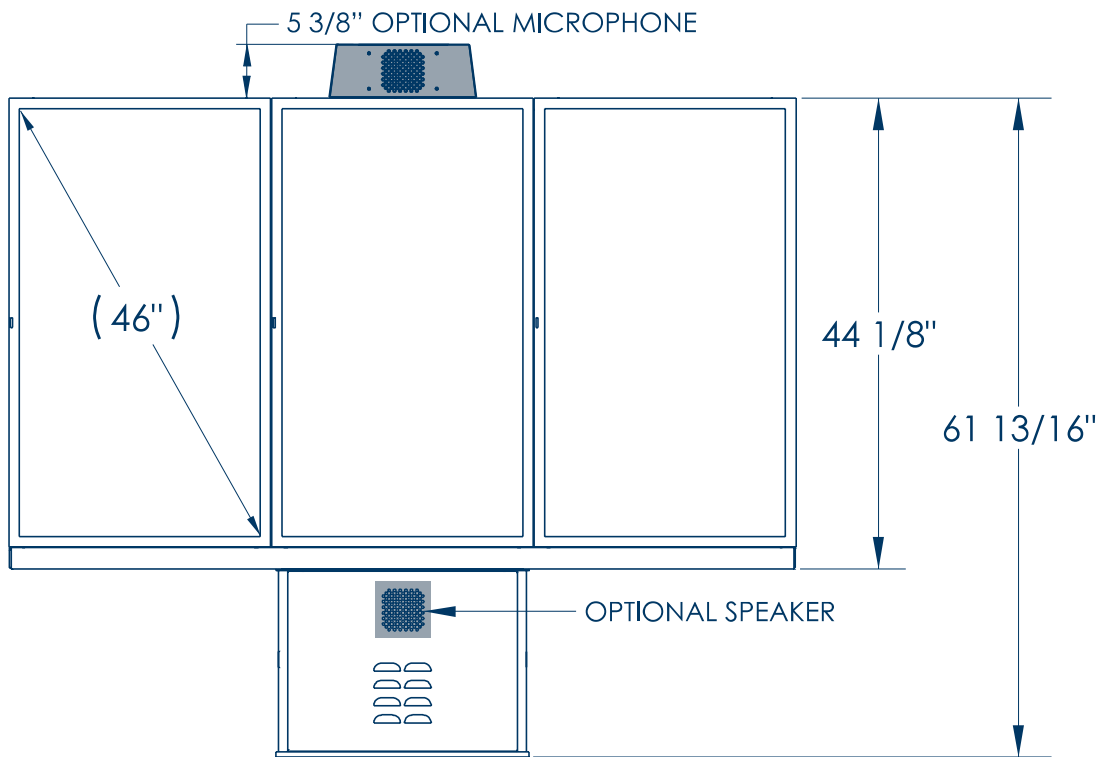
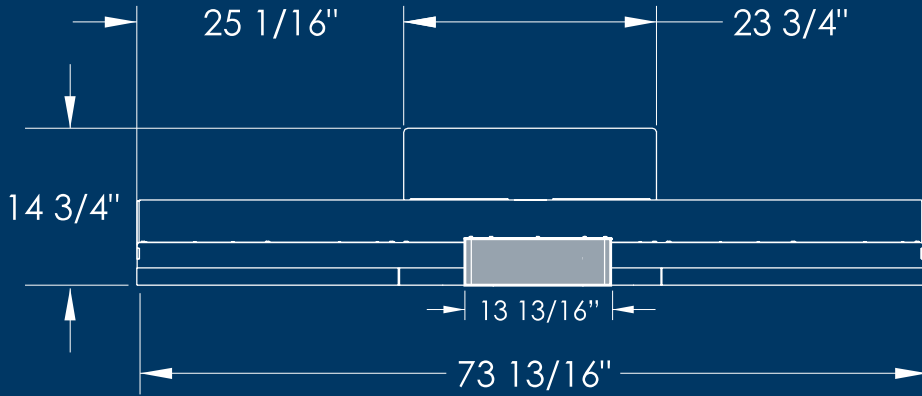
- UL LISTING# E495423
- CONFORMS TO UL 60950-1 and CAN/CSA C22.2 No. 60950-1-07



NU-WAY

UNLESS OTHERWISE SPECIFIED TOLERANCE ON FRACTIONS ARE ± 1/32 TWO PLACE DECIMALS ARE ± .020 THREE PLACE DECIMALS ARE ± .010 ANGLES ARE ± 1/2°	MATERIAL	APPROVALS	DATE	DESCRIPTION <b>TRIPLE 46" SAMSUNG SLIM OMB</b>	
		DRAWN: JAS	4/29/20		
		CHECKED:			
 THIRD ANGLE PROJECTION	FINISH	SIZE	DWG NO.	PART NO.	REV
		<b>B</b>	NW463500	NW463500	0
		DO NOT SCALE DRAWING	SCALE = 1:24	SHEET 1 OF 7	

# TRIPLE 46" DIMENSIONAL DRAWING



OPTIONAL ADD-ONS

\*DIMENSIONS ARE APPROXIMATE

# SAMSUNG

# USER MANUAL

---

OH46F | OH55F

The color and the appearance may differ depending on the product, and the specifications are subject to change without prior notice to improve the performance.

The contents of this manual are subject to change without notice to improve quality.

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## Eco Solution

MENU  → System → Eco Solution → ENTER 

### Eco Solution

Power Saving Mode	Off
Eco Sensor	Off
· Minimum Backlight	0
Screen Lamp Schedule	Off
No Signal Power Off	15 minutes
Auto Power Off	Off (Recommended)

— The displayed image may differ depending on the model.

## Power Saving Mode

Reduce the power consumption by adjusting the screen brightness.

- Off / Low / Medium / High

### Eco Sensor

Automatically adjust the picture brightness based on the ambient light level.

- Off / On

— If the screen contrast is not sufficient, set the **Eco Sensor** to **Off**. If the **Eco Sensor** is **Off**, it may not comply with energy standards.

### Minimum Backlight

Set the minimum brightness for the signage screen. This function only works if its value is lower than the value set in the **Picture** menu's **Backlight** setting.

- If **Eco Sensor** is **On**, the display brightness may change (become slightly darker or brighter) depending on the surrounding light intensity.
- Available only when **Eco Sensor** is set to **On**.



BUFFALO GROVE  
ANIMAL HOSPITAL

POPEYES  
LOUISIANA KITCHEN

POPEYES  
LOUISIANA KITCHEN

DUNKIN'

ONE WAY  
10  
Big  
Box

9497



POPEYES

LOUISIANA KITCHEN

POPEYES

LOUISIANA KITCHEN

\$6  
Big  
Box  
2

ONE  
WAY  
→

P  
ENTY





POPEYES

LOUISIANA KITCHEN

POPEYES

LOUISIANA KITCHEN

\$6  
Big  
Box

P

EXIT

ONE  
WAY



**POPEYES**  
LOUISIANA KITCHEN

\$6  
Big  
Box

**POPEYES**  
LOUISIANA KITCHEN





**POPEYES**  
LOUISIANA KITCHEN

6  
Big  
Box

P  
ENTER

**POPEYES**  
LOUISIANA KITCHEN



**POPEYES**  
LOUISIANA KITCHEN

6  
Big  
Box

POPEYES











**Add Sizzlin' Sriracha Dippers!**

**POPEYES**  
CRISPY CHICKEN

**Kids Meals**  
Includes: 1/2 Chicken Sandwich, 1/2 Biscuit, 1/2 Drink, 1/2 Side

**Low Fat Lemonade**  
\$3.99

**POPEYES**  
CRISPY CHICKEN

**Combo Meals**  
Includes: 1/2 Chicken Sandwich, 1/2 Biscuit, 1/2 Drink, 1/2 Side

**Family Meals**  
Includes: 1/2 Chicken Sandwich, 1/2 Biscuit, 1/2 Drink, 1/2 Side

**Sides**  
Includes: 1/2 Chicken Sandwich, 1/2 Biscuit, 1/2 Drink, 1/2 Side

**Drinks**  
Includes: 1/2 Chicken Sandwich, 1/2 Biscuit, 1/2 Drink, 1/2 Side

**Dessert**  
Includes: 1/2 Chicken Sandwich, 1/2 Biscuit, 1/2 Drink, 1/2 Side

**Wings**  
Includes: 1/2 Chicken Sandwich, 1/2 Biscuit, 1/2 Drink, 1/2 Side

**POPEYES**  
CRISPY CHICKEN





**POPEYES | HOT ONES**

Startin' Sizzlin' **Hot Ones** \$5.99

Smokin' Sizzlin' **Hot Ones** \$5.49

Darin' Dab **Hot Ones** \$6.99

**Waffle Time**

**Kids Meals**

Love That Lemonade \$3.29

Hot Cinnamon Apple Pie \$1.99

Add a Premium Lemonade \$1.99

**Add Sizzlin' Sriracha Dippers!**

**POPEYES HOT ONES \$5.99**

**Combo Meals**

1 The Sandwich

2 Ghost Pepper Sandwich

3 Bacon & Cheese Sandwich

4 Signature Chicken

5 Tenderloin

6 Wings

7 Seafood

**Family Meals**

8 Pc

12 Pc

16 Pc

**Wings**

6 Pc

12 Pc

24 Pc

**Mix & Match**

Classic

Classic

**Sides**

Honesty's Mac & Cheese

Reg 12pc 280 Cal

Reg 16pc 350 Cal

Reg 20pc 420 Cal

Reg 24pc 490 Cal

Reg 28pc 560 Cal

Reg 32pc 630 Cal

Reg 36pc 700 Cal

Reg 40pc 770 Cal

Reg 44pc 840 Cal

Reg 48pc 910 Cal

Reg 52pc 980 Cal

Reg 56pc 1050 Cal

Reg 60pc 1120 Cal

Reg 64pc 1190 Cal

Reg 68pc 1260 Cal

Reg 72pc 1330 Cal

Reg 76pc 1400 Cal

Reg 80pc 1470 Cal

Reg 84pc 1540 Cal

Reg 88pc 1610 Cal

Reg 92pc 1680 Cal

Reg 96pc 1750 Cal

Reg 100pc 1820 Cal

Reg 104pc 1890 Cal

Reg 108pc 1960 Cal

Reg 112pc 2030 Cal

Reg 116pc 2100 Cal

Reg 120pc 2170 Cal

Reg 124pc 2240 Cal

Reg 128pc 2310 Cal

Reg 132pc 2380 Cal

Reg 136pc 2450 Cal

Reg 140pc 2520 Cal

Reg 144pc 2590 Cal

Reg 148pc 2660 Cal

Reg 152pc 2730 Cal

Reg 156pc 2800 Cal

Reg 160pc 2870 Cal

Reg 164pc 2940 Cal

Reg 168pc 3010 Cal

Reg 172pc 3080 Cal

Reg 176pc 3150 Cal

Reg 180pc 3220 Cal

Reg 184pc 3290 Cal

Reg 188pc 3360 Cal

Reg 192pc 3430 Cal

Reg 196pc 3500 Cal

Reg 200pc 3570 Cal

Reg 204pc 3640 Cal

Reg 208pc 3710 Cal

Reg 212pc 3780 Cal

Reg 216pc 3850 Cal

Reg 220pc 3920 Cal

Reg 224pc 3990 Cal

Reg 228pc 4060 Cal

Reg 232pc 4130 Cal

Reg 236pc 4200 Cal

Reg 240pc 4270 Cal

Reg 244pc 4340 Cal

Reg 248pc 4410 Cal

Reg 252pc 4480 Cal

Reg 256pc 4550 Cal

Reg 260pc 4620 Cal

Reg 264pc 4690 Cal

Reg 268pc 4760 Cal

Reg 272pc 4830 Cal

Reg 276pc 4900 Cal

Reg 280pc 4970 Cal

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Reg 2416pc 42350 Cal

Reg 2420pc 42420 Cal

Reg 2424pc 42490 Cal

Reg 2428pc 42560 Cal

Reg 2432pc 42630 Cal

Reg 2436pc 42700 Cal

**POPEYES | HOT ONES**

Smokin' Biscuits & Dipper \$5.99  
Smokin' Biscuits Sandwich \$5.49  
Smokin' Biscuits Sandwich & Dipper \$6.99

**Kids Meals**

MEALS INCLUDE Soft Drink, Applesauce & Kids Pot  
 NUGGETS 340 Cal 440 Cal  
 HONEYSTYLE MAC & CHEESE 4.89 400 Cal  
 MILD TENDER 4.89 300 Cal  
 MILD LEG 4.89 300 Cal

**Strawberry Cream Cheese Pie**

\$1.99

**Hot Cinnamon Apple Pie**

\$1.99  
\$2.99

**Caramel Apple Cheesecake**

\$3.79

**Combo Meals**

COMBO MEALS INCLUDE Reg Soft Drink, Biscuits & Hot Sauce  
 LARGE COMBO MEALS INCLUDE 2 Reg Soft Drinks, Biscuits & Hot Sauce

- The Sandwich**  
 Combo \$9.99 Lg Combo \$12.99  
 850-1260 Cal 930-1800 Cal  
 Sandwich Only \$5.99 700 Cal  
 ALSO AVAILABLE IN GUEST MEALS
- Ghost Pepper Sandwich**  
 with Bacon & Cheese  
 Combo \$11.99 Lg Combo \$12.99  
 870-1320 Cal 980-1950 Cal  
 Sandwich Only \$7.99 700 Cal
- Bacon & Cheese Sandwich**  
 Combo \$11.99 Lg Combo \$12.99  
 840-1290 Cal 920-1800 Cal  
 Sandwich Only \$7.99 530 Cal
- Signature Chicken™**  
 2Pc Combo \$9.99 Lg Combo \$12.99  
 830-1230 Cal 940-1910 Cal  
 3Pc Combo \$12.99 Lg Combo \$14.99  
 1090-1540 Cal 1200-2170 Cal  
 4Pc Combo \$14.99 Lg Combo \$17.99  
 1350-1800 Cal 1480-2420 Cal
- Tenders**  
 3Pc Combo \$12.99 Lg Combo \$14.99  
 490-1230 Cal 600-1800 Cal  
 5Pc Combo \$14.99 Lg Combo \$17.99  
 630-1540 Cal 710-2360 Cal
- Wings**  
 6Pc Combo \$11.99 Lg Combo \$14.99  
 590-1780 Cal 700-2380 Cal  
 12Pc Combo \$17.99 Lg Combo \$18.99  
 1070-2300 Cal 1180-3190 Cal
- Seafood**  
 1/4 lb. Premium Shrimp  
 Combo \$12.99 Lg Combo \$14.99  
 770-1800 Cal 820-1780 Cal  
 1/4 lb. Premium Shrimp & 2Pc Tenders  
 Combo \$14.99 Lg Combo \$15.99  
 820-1470 Cal 930-2050 Cal

**Family Meals**

SIGNATURE CHICKEN™ OR TENDERS  
 Classic or Mild

8Pc 12Pc 16Pc  
 1 Lg Side 2 Lg Sides 3 Lg Sides  
 4 Biscuits 8 Biscuits 8 Biscuits  
 Bundle \$28.99 Bundle \$29.99 Bundle \$48.99  
 1800-2140 Cal 2390-3000 Cal 3590-4530 Cal  
 Chicken Only \$28.99 Chicken Only \$35.99 Chicken Only \$45.99  
 480-2000 Cal 680-3000 Cal 940-4500 Cal

**Wings**

1. Pick your Size  
 6Pc 12Pc 24Pc  
 Combo \$11.99 Combo \$17.99 Wings Only \$27.99  
 Wings Only \$6.99 Wings Only \$13.99

**Mix & Match**

2. Choose your Wing  
 Classic Boneless  
 Classic Bone-in

3. Add your Flavor  
 Mild Original  
 Hot Original  
 Hot Honey  
 Hot Lemon  
 Hot Teriyaki  
 Hot Buffalo  
 Hot Spicy

2,000 calories a day is used for general nutrition advice, but calorie needs vary. Additional nutrition information is available upon request.

**Sides**

Homestyle Mac & Cheese  
 Reg \$3.99 280 Cal 1 \$6.99 300 Cal  
 Lg \$4.99 450 Cal 6 \$16.99 1,460 Cal  
 11 \$10.99 480 Cal

Reg \$3.99 Lg \$5.99  
 Red Beans & Rice 250/800 Cal  
 Cole Slaw 160/420 Cal  
 Cajun Fries 270/800 Cal  
 Mashed Potatoes 10/530 Cal

**Dessert**

Cinnamon Apple Pie  
 1 \$3.99 240 Cal  
 2 \$7.99 480 Cal

**Drinks**

Bottled Water 12oz 0 Cal

Soft Drinks  
 Reg \$2.99 280 Cal 12oz 1 \$1.99 280 Cal  
 Lg \$3.99 380 Cal 2 \$4.99 380 Cal  
 Lg \$3.99 380 Cal 2 \$4.99 380 Cal

Signature Soft Tea  
 12oz 0 Cal 0.70/0.40 Cal  
 16oz 0 Cal 0.70/0.40 Cal

Premium Lemonades  
 Classic 1.39 300/430 Cal  
 Strawberry 1.39 300/430 Cal  
 Orange 1.39 250/480 Cal

**Add Sizzlin' Sriracha Dippers!**

Wings Time

POPEYES HOT ONES \$5.99

**Dip into the bold, zesty Signature Sauce!**

Buttermilk Ranch sauce is out of stock. Apologies for any inconvenience.

425081K4  
103120 103121





BUFFALO GROVE  
ANIMAL HOSPITAL

POPEYES  
LOUISIANA KITCHEN



NO THROUGH TRAFFIC

OBERWEIS DAIRY

ICE CREAM & DAIRY STORE

OBERWEIS  
ICE CREAM & DAIRY STORE  
THIS SEASON FOR EGG NOG  
AND HOLIDAY FROSTITES

ENTER

EXIT

POPEYES  
LOUISIANA CHICKEN

DUNKIN'



McDonald's

RESTAURANT







DUNKIN'  
baskin BR robbins

BR



**DUNKIN'**  
baskinBR robbins

**DRIVE  
THRU**

**DONATION**  
PULL  
FRAGILE DO NOT PLACE  
ANYTHING OUTSIDE THE BOX  
THE ROAD DEPARTMENT  
LITTON VARIO  
GREEN WORLD ACTION  
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MARATHON

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