



AGENDA
ZONING BOARD OF APPEALS
Buechner Room, 1st Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
Arlington Heights IL 60005
February 9, 2026
7:00 PM

- I. CALL TO ORDER
- II. ROLL CALL OF MEMBERS
- III. APPROVAL OF MINUTES
 - A. Minutes 12/8/25
 - B. 1128 N. Kennicott Blvd. - Findings 12/8/25
- IV. OLD BUSINESS
- V. NEW BUSINESS
 - A. 1119 S. Salem Ln. - ZBA25-034
 - B. 2414 E. Kensington Rd. - ZBA25-047
 - C. 1211 S. New Wilke Rd. - ZBA25-048
 - D. 421 S. Bristol Ln. - ZBA25-049
 - E. 611 E. Fairview St. - ZBA25-050
 - F. 907 W. Braeside Dr. - ZBA25-052
- VI. OTHER BUSINESS
- VII. PUBLIC COMMENT

Anyone wishing to speak on a subject not on the Agenda may speak at this time. Please limit your comments to three minutes.

- VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact the Health & Human Services Department, at 33 S. Arlington Heights Road, Arlington Heights, IL 60005, healthmail@vah.com or 847/368-5760.

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 1128 NORTH KENNICOTT BOULEVARD - ZBA #25-045

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 8th day of December, 2025 at the hour of
7:00 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairman
FRANK PORTERA
PETER SIAVELIS
JEFF LANAGHAN
TOM DRAKE

ALSO PRESENT:

DAN OSOBA, Planner II

CHAIRPERSON JAFFE: Let's call this month's meeting, the Zoning Board of Appeal's meeting to order.

Roll call.

MR. OSOBA: Mr. Selbka.

(No response.)

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

(No response.)

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Here.

MR. OSOBA: Mr. Siavelis.

(No response.)

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Here.

Okay, next, please join me in reciting the Pledge of Allegiance. If you could stand and face the rear of the room?

(Pledge of Allegiance recited.)

CHAIRPERSON JAFFE: Let the record show that Mr. Siavelis has arrived.

Approval of minutes.

Did everyone have a chance to review last month's minutes? Any errors, edits?

(No response.)

CHAIRPERSON JAFFE: Is there a motion to approve?

COMMISSIONER DRAKE: Move to approve.

COMMISSIONER LANAGHAN: Second.

CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: Okay, let's briefly go over the hearing procedures.

First, I had mentioned earlier the quorum. So, if less than six members are present, there is an option to the petitioner to continue the meeting as it takes four affirmative votes to approve a variance regardless of the number of Board members in attendance. If denied, a petitioner cannot reapply for a whole year. So, tonight, you have five, so you have that option if you so choose.

Again, you need to state the four elements necessary to establish order for this Board to be able to grant a variation. Those are the four elements that you completed in the form that you submitted which we reviewed in the packet online. Those are, as a reminder:

1. That the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances which may include the length of time the subject property has been vacant as zoned;

- 3. That the proposed variation is in harmony with the spirit and intent of this Chapter; and
- 4. That the variation request is the minimum variation necessary to allow reasonable use of the property.

A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated. As a reminder, our expectation is that you are proactive in explaining all four of these elements. You are effectively asking for an exception to Village Code, so please keep that in mind.

The agenda item of order. The Chairperson will open the agenda item and provide any introductory remarks, which will be followed by the Staff presentation, including a brief overview of the project and the requested variance.

The applicant presentation. The applicant will present its case here in favor of zoning relief. The applicant and any witnesses testifying must be sworn under oath and must state and spell their respective names for the record.

Public comment. Members of the public may speak on the application. Speakers must be sworn under oath and state and spell their name clearly.

Do we have any objectors tonight?

MR. OSOBA: We do not.

CHAIRPERSON JAFFE: Any person who is not formally registered as an objector may speak at the hearing but must limit their comments to three minutes. The Chair may, in his discretion, alter the maximum time provided to public commenters provided that the maximum time is applied to all speakers.

We will then close it down for Board deliberation. The Board will make a motion to close public testimony. The Board will deliberate and vote on the matter.

All ZBA final decisions must be in writing. If the agenda packet does not include a draft final order that is acceptable to the ZBA, the substantive motion should be to direct Staff to prepare an appropriate final order for approval at a subsequent meeting, at which point there will be public comments and then this meeting will adjourn.

So, with that being said, we will move on from, without any old business, we will move directly to new business which is 1128 North Kennicott Avenue, ZBA Case #25-045.

Good evening.

MR. PURDOM: Hello. I'm Kevin Purdom with JRC Design Build.

CHAIRPERSON JAFFE: State your address.

MR. PURDOM: 1128 Kennicott.

CHAIRPERSON JAFFE: Raise your right hand.

(Witness sworn.)

MR. OSOBA: The project is at 1128 North Kennicott and is zoned R-3 Residential Single-Family District.

The Petitioner is proposing an unenclosed, covered porch addition in the rear yard. The existing single-family home is located 33.67 feet from the rear property line, and the existing patio is located 19.33 feet from the rear property line. The existing at-grade porch is to be demolished and a new two-foot raised deck is proposed in level with the first floor of the home. The one-story roof is proposed to be extended westward towards the rear of the property to cover this proposed deck. This proposed addition is centrally located on the property approximately 40 feet from either side of the property line.

This addition will encroach 11 feet into the required 30-foot rear yard setback.

Therefore, the Petitioner is requesting the following variation:

- An 11-foot variation from Chapter 28, Section 5.1-1.3(d), *Required Minimum Yards; Rear Yard*, to allow a building addition set back 19 feet from the rear property line where 30 feet is required.

MR. PURDOM: All right. So, our homeowners are a couple who are looking to enjoy some outdoor space that's covered. Jim is here, he has MS and he really has trouble going up and down the stairs. So, they have an existing patio but he never gets to use it. So, we're proposing to raise up a deck that's in line with the first floor of the house and then have a covering over.

It will be the same area that the patio is now. It's going to be open so it won't be too massive in the backyard. We're not trying to expand to either way; we're just trying to stay inline with that patio.

The design is matching all existing materials so that it flows with the rest of the houses in the neighborhood. But basically, we're just trying to give him some outdoor space where he can enjoy because he has a big backyard but it is rather a shallow lot that actually the existing house is just barely at the setback. So, in order to raise where that patio is, we'll have to ask for this variation.

The couple has lived there for 10 years. It's just the two that live in the house right now. They've talked to their rear neighbor and the two side yard neighbors, and all the talk has been positive and there's no objections. We've sent out all the letters and haven't heard from anyone else.

CHAIRPERSON JAFFE: So, I get the footprint is the same which means that the existing patio is encroaching into the rear yard setback.

MR. PURDOM: Yes, because patios are allowed to be in the rear yard setback, but because it's now going to be covered, that's why we're asking for the variance.

CHAIRPERSON JAFFE: Okay.

COMMISSIONER SIAVELIS: I'm sorry, Kevin, did you say you have received neighbor feedback or have not?

MR. PURDOM: They have talked to the two neighbors directly on left and right, and the one directly behind them, and it's all been positive feedback.

COMMISSIONER SIAVELIS: Okay, so, no negative feedback.

MR. PURDOM: No negative feedback.

CHAIRPERSON JAFFE: To clarify, north and south and to their west?

MR. PURDOM: So, if you're looking at the house from the front yard, the neighboring left and right, and then the house directly behind them. So, the one sharing the backyard property line.

CHAIRPERSON JAFFE: So, to their west.

MR. PURDOM: Correct.

CHAIRPERSON JAFFE: Okay, thank you.

COMMISSIONER LANAGHAN: So, the patio area is the same and then you have a couple of steps down in which you need to access it for anyone else?

MR. PURDOM: Yes.

COMMISSIONER LANAGHAN: Got it, okay.

COMMISSIONER SIAVELIS: And when you say covered, you just mean

the roof, not enclosed?

MR. PURDOM: It's just the roof, yes.
COMMISSIONER LANAGHAN: Not enclosed.
CHAIRPERSON JAFFE: Frank?
COMMISSIONER PORTERA: No.
CHAIRPERSON JAFFE: Tom?
COMMISSIONER DRAKE: No.
CHAIRPERSON JAFFE: Okay, thank you.
MR. PURDOM: Thank you.

CHAIRPERSON JAFFE: Anybody present who wishes to comment on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, none being heard, we'll close it down for Board deliberation.

I mean, I think it's a simple, straightforward request. I wasn't aware of the distinction between a patio and an enclosure, that's why I asked the question I did about its current proximity to the rear yard setback. So, seeing how that's moot, I don't have any concerns or issues.

COMMISSIONER SIAVELIS: Yes, I agree with you, and I think it's worth noting, too, that we have a demonstrated need here. We also have seen in the Village a significant uptick, anecdotally an uptick in the number of covered patios in backyards and even maybe in the side yards depending on lot orientation. This looks to be very well done so I think it fits with the character of the neighborhood to satisfy that problem there as well.

So, I would be in support of it, Ben, or Mr. Chairman.

CHAIRPERSON JAFFE: Ben is fine.

Any other comments?

COMMISSIONER DRAKE: I agree. No pushback from any neighbors, no comments from the Staff people of three departments. So, I'm in favor of it as well.

CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER SIAVELIS: I move to approve.

COMMISSIONER LANAGHAN: Second.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. OSOBA: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations, your variance has been approved.

MR. PURDOM: Thank you.

CHAIRPERSON JAFFE: Merry Christmas, Happy Holidays. Good luck to the project.

COMMISSIONER LANAGHAN: Good luck on the project, yes.

CHAIRPERSON JAFFE: Do we have other business this evening?

MR. OSOBA: We do not.

CHAIRPERSON JAFFE: Is there anybody present who wishes to comment publicly about anything?

(No response.)

CHAIRPERSON JAFFE: Is there a motion to adjourn?

COMMISSIONER SIAVELIS: I move to adjourn.

COMMISSIONER LANAGHAN: Second.

CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: Hearing none, I think we're done. We are adjourned.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:11 p.m.)

STATE OF ILLINOIS)
) SS.
COUNTY OF KANE)

I, RONALD LeGRAND, JR., depose and say that
I am a digital court reporter doing business in the State of
Illinois; that I reported verbatim the foregoing proceedings and
that the foregoing is a true and correct transcript to the best of
my knowledge and ability.

RONALD LeGRAND, JR.

SUBSCRIBED AND SWORN TO
BEFORE ME THIS _____ DAY OF
_____, A.D. 2025.

NOTARY PUBLIC

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

DECEMBER 8, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 1128 N. Kennicott Blvd. – Bintz Residence

Applicant: Kevin Purdom – JRC Design Build

Zoning Relief Requested:

- **A 11-foot variation from Chapter 28, Section 5.1-1.3(d) (Required Minimum Yards; Rear Yard) to allow a building addition setback 19-feet from the rear property line where 30-feet is required.**

Date of Publication: 11/22/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Jaffe, Siavelis, Drake, Lanaghan, Portera

Having heard and considered the testimony and evidence at the public hearing of December 8, 2025, the ZBA makes the following **findings of fact**:

The petitioner is proposing an unenclosed, covered porch addition in the rear yard. The existing single-family home is located 33.67-feet from the rear property line and the existing patio is located 19.33-feet from the rear property line. The existing, at-grade porch is to be demolished and a new 2-foot raised deck is proposed level with the first floor of the home. The 1-story roof is proposed to be extended westward into the rear yard to cover this proposed deck. This proposed addition is centrally located on the property approximately 40-feet from either side property line. This addition will encroach 11-feet into the required 30-foot required rear yard.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- **A 11-foot variation from Chapter 28, Section 5.1-1.3(d) (Required Minimum Yards; Rear Yard) to allow a building addition setback 19-feet from the rear property line where 30-feet is required.**

Reason for Determination:

The petitioner testified as to the hardship indicating that the square shape of the lot, shallow rear yard, and location of the existing home nearly at the rear yard setback requirement requires this variance request. Additionally, the petitioner indicated the need for the variance request for the owner to utilize the backyard in a shaded area due to a medical condition. The Zoning Board commented that the variance was a minimal request to utilize the property and that no neighborhood opposition was received during application review or at the public hearing. Additionally, the existing patio already encroaches, which it is permitted to by code, and the proposed un-enclosed covered deck will maintain this existing condition.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

Ayes 5 Nays 0 Absent 2 Abstain 0

Date: December 8, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
2/9/2026**

Item: 1119 S. Salem Ln. - ZBA25-034
Department: Planning & Community Development

Item Description:

REQUEST

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) to allow a driveway width of 29-feet where 22-feet is the maximum.

ATTACHMENTS:

1. 1119 S Salem Ln_2-9-26

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: February 9, 2026
Date Prepared: January 7, 2026
Project Title: Shaw Residence
Address: 1119 S. Salem Ln.

Background Information

Petition Number: ZBA #25-034
Petitioner: Ryan Shaw
Address: 1119 S. Salem Ln.
Arlington Heights IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

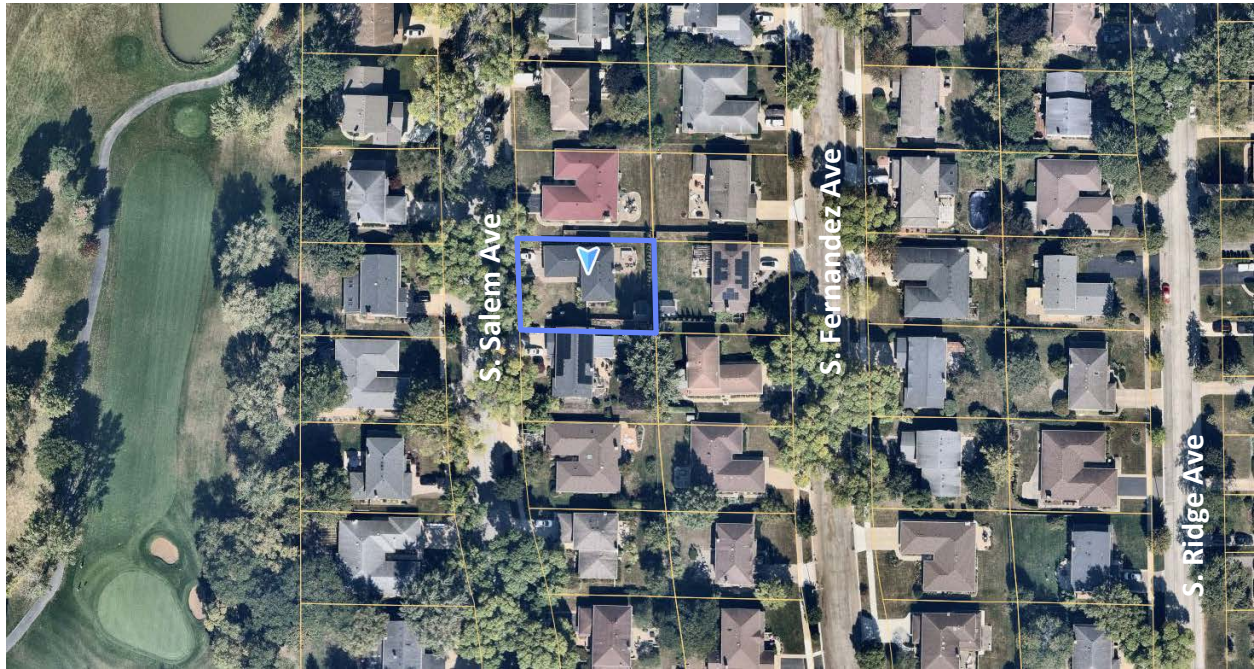
The petitioner is proposing to expand an existing 22-foot-wide asphalt driveway on the property to a maximum width of 29-feet in order to park an additional vehicle in the driveway. The driveway is proposed to be tapered with the width remaining 22-feet at the sidewalk and expanding to 29-feet as it gets closer to the two-car garage. The maximum driveway width is 22-feet-wide for two-car garages. Therefore, the petitioner is requesting the following variation:

- A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) to allow a driveway width of 29-feet where 22-feet is the maximum.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

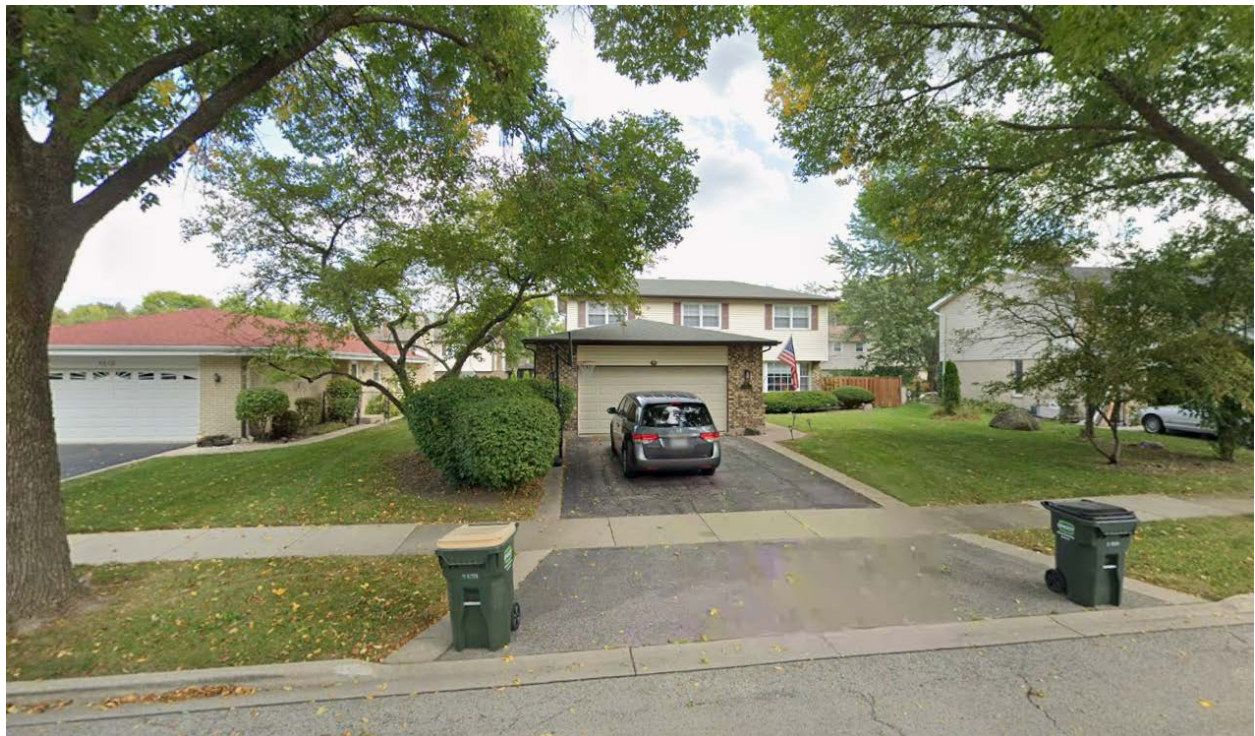
Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/23/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/23/25	
3. Letter that was Mailed	✓	12/23/25	
4. Photographs of Sign on Property	✓	12/23/25	

Photographs of Existing Structure



Village of Arlington Heights



To: Ryan Shaw
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-034
Project: 1119 S. Salem Ln
Date: December 11, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) to allow a driveway width of 29-feet where 22-feet is the maximum.

If you have any questions, please contact dosoba@vah.com:

Planning and Community Development – Steve Hautzinger

1. The neighborhood is predominantly homes with two-car garages and two-car wide driveways. The proposed oversized driveway will have a negative appearance and may set a precedent for others to make this same request.

Building and Life Safety – Alex Kang

1. No comments.

Engineering – Joe Munno

1. No comments.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, February 9, 2026, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] in Yards) to allow a driveway width of 29-feet where 22-feet is the maximum.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planningmail@vah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT 15 IN DEUTCH'S CHANTILLY SUBDIVISION, BEING A SUBDIVISION IN THE NORTHWEST ¼ OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Commonly known as: 1119 S. Salem Lane, Arlington Heights IL 60005

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals

Published in Daily Herald January 24, 2026 (319536)

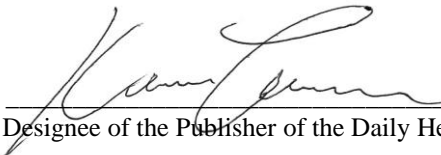
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 01/24/2026 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY  _____
Designee of the Publisher of the Daily Herald

Control # 319536



PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Ryan Shaw

being the owner of the property commonly know as: 1119 S Salem Lane, Arlington Heights

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a

Variation from Section _____

Chapter 28, of the Arlington Heights Municipal Code, in order to: _____

install new concrete driveway with a 3rd parking space, maximum width would be 29 feet which exceeds the maximum of 22 feet allowed per code

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): the driveway expansion is a matter of function and need for our family given space constraints. This expansion will not alter the essential character of the home or the the neighborhood.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): besides being an item of function, the expanded driveway will be safer as it will allow us to reduce need to park vehicles on the street and the need to constantly be moving vehicles in and out of the driveway, knowing that our sidewalks are frequented by children, including ours

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): I hereby state that the proposed variation is in harmony with the spirit and intent of this chapter

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): the additional 7 foot in width of driveway is the minimum variance that allows reasonable use of the property

Signed: Ryan Shaw

Petitioner

Date: 8/12/2025

PLAT OF SURVEY

OF

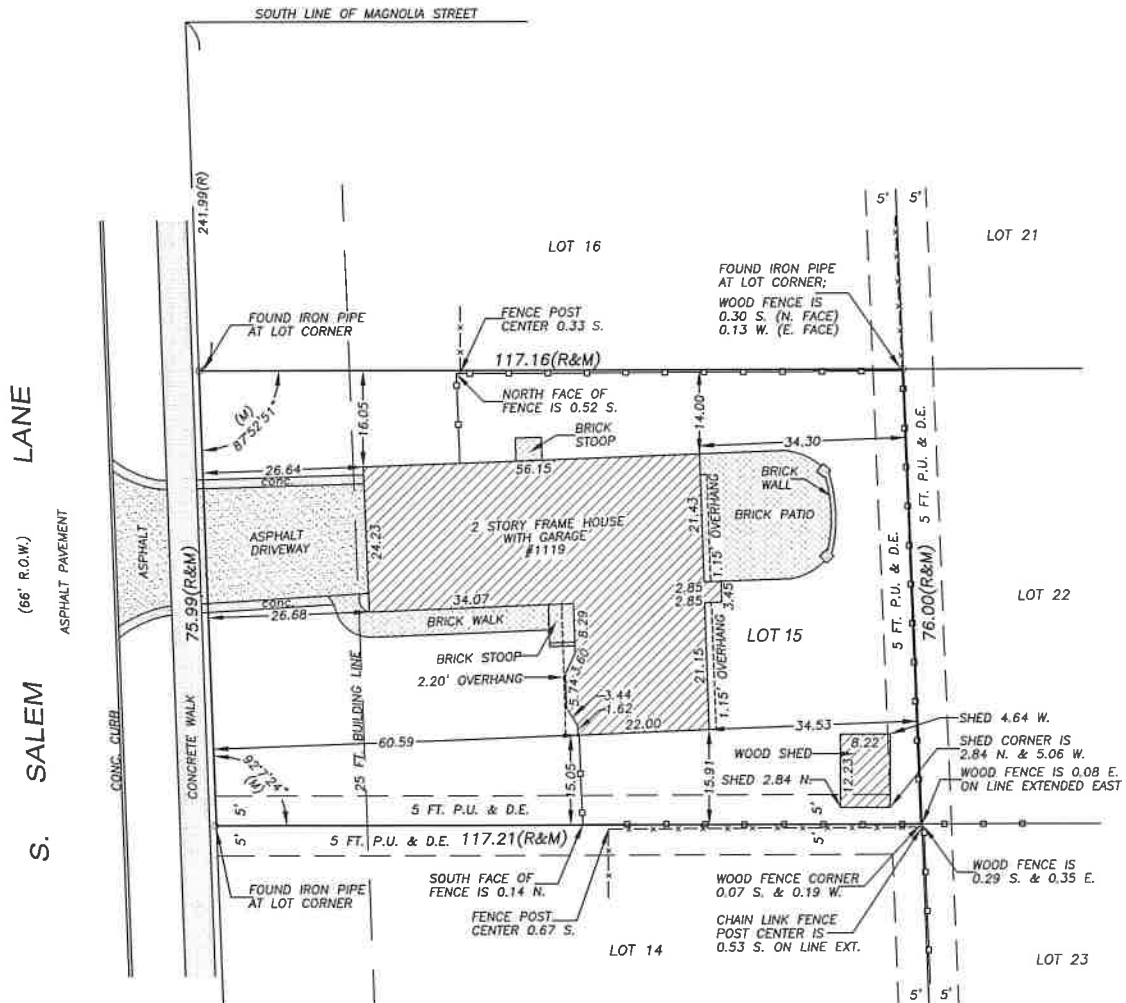
LOT 15 IN DEUTCH'S CHANTILLY SUBDIVISION, BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 08-09-103-021-0000 TOTAL LAND AREA: 8,899 SQ.FT.

COMMONLY KNOWN AS: 1119 S. SALEM LANE, ARLINGTON HEIGHTS, ILLINOIS 60005



SCALE: 1 INCH = 20 FEET



LEGEND:

- (R) = Subdivision Record
- (M) = Measured
- (D) = Deed
- N. = North
- S. = South
- W. = West
- E. = East
- NW'ly = Northwesterly
- NE'ly = Northeasterly
- SW'ly = Southwesterly
- SE'ly = Southeasterly
- Conc. = Concrete
- Wood Fence — □ — □ —
- Chain Link Fence — x — x —
- Iron Fence — ○ — ○ —
- P.U. & D.E. = Public Utility & Drainage Easement

ORDER NO.: 20-204
 ORDERED BY: **DADKHAH LAW GROUP, LLC**
 ATTORNEYS AT LAW

PREPARED BY:
GEODETIC SURVEY, LTD.
 PROFESSIONAL DESIGN FIRM NO. 184-004394
 CONSTRUCTION & LAND SURVEYORS
 200 WAUKEGAN ROAD, GLENVIEW, IL 60025
 TEL. (847) 904-7690; FAX (847) 904-7691
 info@gsurvey.net www.gslandsurveying.com

GENERAL NOTES:

- ACAD FILE WILL NOT BE RELEASED UNDER THIS CONTRACT.
- FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THE PLAT OF SURVEY REFER TO YOUR ABSTRACT, DEED, TITLE POLICY, CONTRACT AND LOCAL BUILDING LINE/SETBACK REGULATIONS.
- COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DISCREPANCIES, WHICH YOU MAY HAVE FOUND, TO THIS OFFICE, BEFORE DAMAGE IS DONE.
- DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE NOT TO BE ASSUMED FROM SCALING.
- BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.
- THE LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND FOR ACCURACY SHOULD BE COMPARED WITH DEED AND/OR TITLE INSURANCE POLICY.

STATE OF ILLINOIS
 COUNTY OF COOK SS

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

FIELD WORK COMPLETED: AUGUST 6, 2020
 DATED THIS 12th DAY OF AUGUST, 2020.

BY: *Thomas R. Krohn*
 PROFESSIONAL ILLINOIS LAND SURVEYOR NO.3000
 LICENSE EXPIRES 11/30/2020





1218 S Salem Ln



1222 S Salem Ln



1109 S Salem Ln

PROPOSAL



www.fortispaving.com
fortisgw@yahoo.com

24w733 Lake Street ♦ Roselle, IL 60172
Phone: (630) 213-9540 ♦ Fax: (630) 213-9570

Name: Shaw, Ryan
 Address: 1119 S. Salem Ln
 City: Arlington Heights
 [Redacted]
 Date: 7-23-25 Representative: 610 630 945 4848

We propose to provide the labor and material to complete the following project to city codes:

ITEMS	REMOVAL / HAUL AWAY ITEMS (OFFICE USE ONLY)			
	Concrete	Asphalt	Dirt	Other
<input checked="" type="checkbox"/> Driveway <u>27.5 x 22</u>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/> Drive Ext. <u>27.5 x 7</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/> Apron <u>8.5 x 24.5</u>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Apron Ext.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Front Walk	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Side Walk	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Back Walk	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/> Public Walk <u>5</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Patio	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Patio Ext.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Patio Borders	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Garage Floor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Front Stoop	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Side Stoop	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Back Stoop	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Steps	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Curbs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Footings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Foundation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Other				

Concrete Specs:
 Install: 4000 PSI Cement Mix
 Thickness 4" Control Joints
 5" Expansion Joints
 6" Stone Base
 Vapor Barriers
Reinforcement
 Fiber Mesh Wire Mesh
 Dowels Rebar
Finish Type:
 California Regular Brush
 Exposed Aggregate
 Stamp with Color
 Pattern _____
 Color _____
 Release _____

Asphalt Specs:
 Prepare Stone Base & Compact with Vibratory Roller
 Install New Stone Base
 Add Stone as Needed for Proper Base
 Install Asphalt & Compact with Vibratory Roller
 Thickness of Asphalt 3"
 Surface Asphalt
 Binder Asphalt

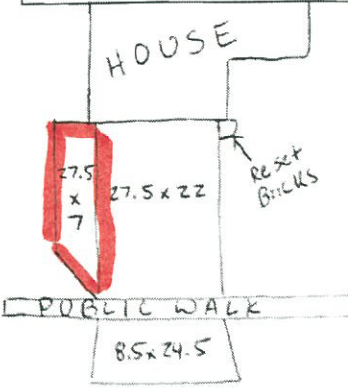
Permits
 Homeowner to Apply
 Fortis to apply, homeowner to reimburse all fees. Permit fee plus \$150 Fortis service Fee

Machine Accessible:
 Yes No

1. Driveway & Apron w/ Extension
 D: 27.5 x 22
 A: 8.5 x 24.5
 Ext: 27.5 x 7
 Concrete - \$10,250.00
 Asphalt - \$4,600.00

2. Reset Bricks that are touching - \$350.00
 Driveway (FW)

3. Public walk squares - \$1,250
 or \$2,700 w/ Asphalt Drive



WE PROPOSE: hereby to finish materials and labor-complete accordance with the above specifications, for the sum of _____ dollars (\$ _____)

ALL PAYMENTS TO BE MADE ON DAY OF POUR UNLESS OTHERWISE STATED.
 2% CREDIT CARD SERVICE FEE IF CREDIT CARD USED FOR PAYMENT.

All material is guaranteed to be as specified. Any alteration or deviation from the above specification involving extra costs will be executed only upon written orders and will become an extra charge over and above the proposed price. All agreements contingent upon strikes, weather or delays beyond our control. Due to the nature of material and their reaction to uncontrollable variables, such as climate or site conditions, any popping, spalling, heaving, cracking, or discoloration are beyond the contractors' control and no guarantees verbal, written or implied can be assumed. Gas/Electric/Water/Sprinkler lines. Any underground wiring, gas, water or sprinkler lines are the responsibility of the homeowner. Any damage caused to the lines will not be the responsibility of Fortis Paving and will not affect our payout. This proposal is valid for only 90 days.

ACCEPTANCE OF PROPOSAL. The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as stated above. If payment amount is not received as specified above, I understand and agree to pay all reasonable attorney's fees and costs incurred in the collection of the above stated contract amount. I (We) understand that there is a fee equal to 20% of the proposed price for the cancellation of this contract after 3 day grace period. (See reverse side)

Signature _____ Date of acceptance _____

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, Harry Bovis, am the owner/occupant of the property located at: 1115 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw’s request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw’s application for a zoning variance as described.

Waiver of Objection

I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee’s concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: *Harry Bovis*
 Printed Name: HARRY BOVIS
 Date: 1-8-26

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at [REDACTED]

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, John & Kelly Holm, am the owner/occupant of the property located at: 1125 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw’s request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw’s application for a zoning variance as described.

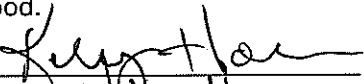
Waiver of Objection


I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee’s concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: 
 Printed Name: Kelly Holm
 Date: 1/8/20

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at 

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, John & Nicole Anderson, am the owner/occupant of the property located at: 1108 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw's request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw's application for a zoning variance as described.

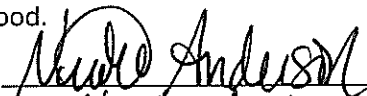
Waiver of Objection

I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee's concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: 
 Printed Name: Nicole Anderson
 Date: 1/8/2026

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at [REDACTED]

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, David Lewin & Vickie Verveniotis, am the owner/occupant of the property located at: 1112 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw’s request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw’s application for a zoning variance as described.

Waiver of Objection

I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee’s concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: *Vickie Verveniotis*
 Printed Name: Vickie Verveniotis
 Date: 1/8/2026

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at [REDACTED]

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, Paul & Popie Paraskevopoulos, am the owner/occupant of the property located at: 1105 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw’s request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw’s application for a zoning variance as described.


Waiver of Objection


I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee’s concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: 
 Printed Name: Paul Paraskevopoulos
 Date: 1-8-26

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at 

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, Mark & Debra Linton, am the owner/occupant of the property located at: 1140 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw’s request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw’s application for a zoning variance as described.

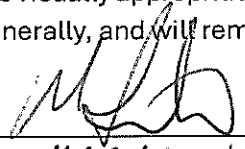
Waiver of Objection


I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee’s concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: 
 Printed Name: MARK LINTON
 Date: 1-8-2026

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at 

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, Mark & Diane Wnek, am the owner/occupant of the property located at: 1136 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw’s request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw’s application for a zoning variance as described.

Waiver of Objection

I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee’s concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: Mark Wnek
 Printed Name: MARK WNEK
 Date: 01/08/2026

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at [REDACTED]

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, Daniel & Lara O'Grady, am the owner/occupant of the property located at: 1139 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw's request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw's application for a zoning variance as described.

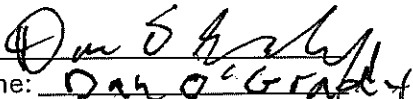
Waiver of Objection

I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee's concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: 
 Printed Name: Dan O'Grady
 Date: 1/4/20

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at [REDACTED]

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, Brad & Jennifer Cummings, am the owner/occupant of the property located at: 1130 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw’s request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw’s application for a zoning variance as described.


Waiver of Objection

I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee’s concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: 
 Printed Name: Brad Cummings
 Date: 1/8/26

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at [REDACTED]

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, Ryan & Jennifer Justice, am the owner/occupant of the property located at: 1104 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw’s request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw’s application for a zoning variance as described.

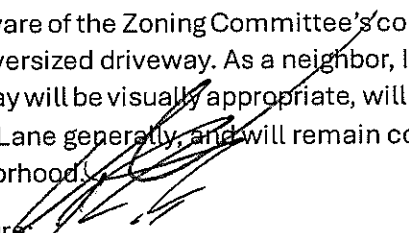
Waiver of Objection


I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee’s concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: 
 Printed Name: Nyla A Justice
 Date: 01/18/2020

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at 

Neighbor Consent and Waiver for Zoning Variation

Property Address:

1119 S. Salem Lane, Arlington Heights, IL

Petitioner: Ryan Shaw, Legal Owner

Requested Variation:

A 7.0-foot variance from Chapter 28, Section 10-2-11.1(b) ([Parking] In Yards) of the Arlington Heights Municipal Code to allow a driveway width of 29 feet, where 22 feet is the maximum permitted for a two-car garage.

Neighbor Consent

I, Robert Smith, am the owner/occupant of the property located at: 1133 S. Salem Lane, Arlington Heights, IL.

I have been informed of Ryan Shaw’s request for a zoning variation as described above. I have had the opportunity to review the plans and ask questions regarding the proposed variation.

By signing below, I hereby consent to the requested variation and acknowledge that I have no objection to Ryan Shaw’s application for a zoning variance as described.

Waiver of Objection

I further waive any right to object to the granting of the requested variance by the Village of Arlington Heights Zoning Board of Appeals, and agree to the following:

- The proposed use will not alter the essential character of the locality.
- The proposed use will be compatible with existing uses and zoning of nearby property.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.
- The plight of the owner is due to unique circumstances.

Affirmative Statement of Support

I am aware of the Zoning Committee’s concerns regarding the appearance and potential precedent of an oversized driveway. As a neighbor, I do not share these concerns. I believe the proposed driveway will be visually appropriate, will enhance the value and curb appeal of the property and S. Salem Lane generally, and will remain consistent with the established character of our neighborhood.

Signature: Theresa Smith
 Printed Name: Theresa Smith
 Date: 1-7-26

Please return this signed form to Ryan Shaw at 1119 S. Salem Ln, Arlington Heights, IL, or contact him at [REDACTED]



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
2/9/2026**

Item: 2414 E. Kensington Rd. - ZBA25-047

Department: Planning & Community Development

Item Description:

REQUEST

A 6.5-foot variation from Chapter 28, Section 10.2-11.1(b) (Additional Regulations – Parking) to allow a driveway 28.5 feet in width where driveways may not exceed 22 feet in width.

ATTACHMENTS:

1. 2414 E Kensington Rd_2-9-26

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Darko Bojin, Planner
Hearing Date: February 9, 2026
Date Prepared: January 7, 2026
Project Title: Gorrie Residence
Address: 2414 E. Kensington Rd.

Background Information

Petition Number: ZBA #25-047
Petitioner: Hollis Gorrie
Address: 2414 E. Kensington Rd.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

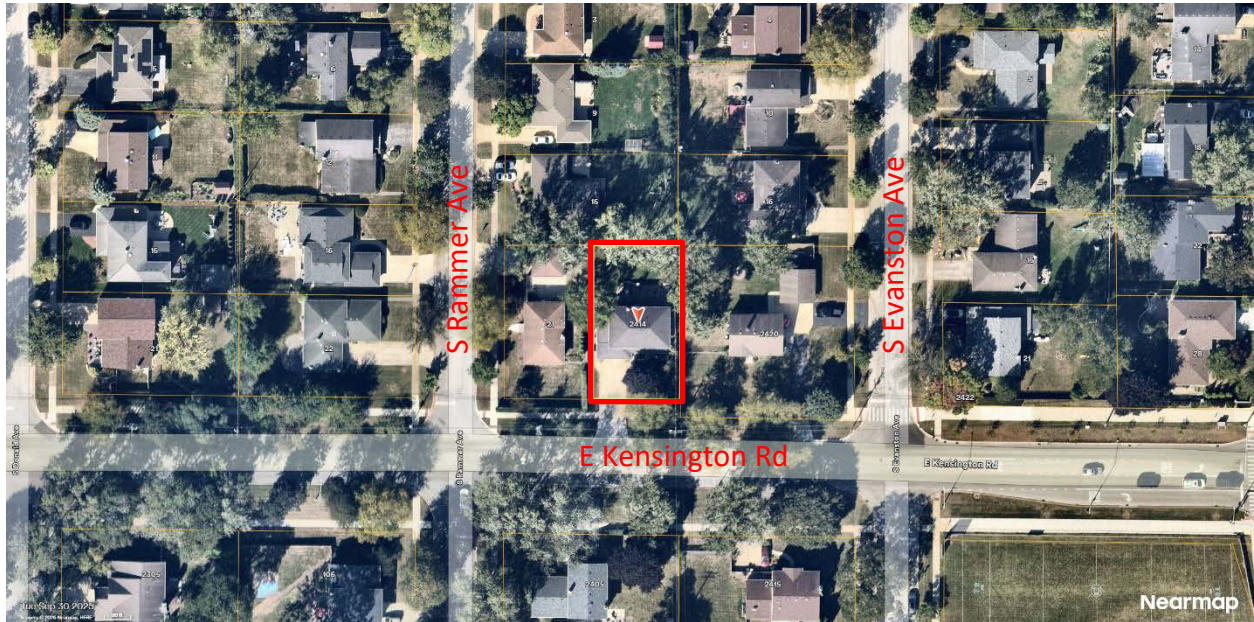
The property is zoned R-3 and has a total land area of approximately 7,578.5 square feet. The petitioner is proposing to construct a new driveway. This proposed driveway is 28.5 feet in width where driveways may be no wider than 22 feet. Therefore, the petitioner is requesting the following variations:

- A 6.5-foot variation from Chapter 28, Section 10.2-11.1(b) (Additional Regulations – Parking) to allow a driveway 28.5 feet in width where driveways may not exceed 22 feet in width.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12.19.25	
2. List of Property Owners Within 250 feet of Subject Property	✓	12.19.25	
3. Letter that was Mailed	✓	12.19.25	
4. Photographs of Sign on Property	✓	12.19.25	

Photographs of Existing Structure



Village of Arlington Heights



To: Hollis Gorrie (Owner)
From: Darko Bojin
Department: Department of Planning and Community Development
File Number: ZBA 25-047
Project: 2414 E Kensington Rd
Date: January 5, 2026

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 6.5-foot variation from Chapter 28, Section 10.2-11.1(b) (Additional Regulations – Parking) to allow a driveway 28.5 feet in width where driveways may not exceed 22 feet in width.

If you have any questions, please contact dbojin@vah.com:

Planning and Community Development

1. Oversized driveways have a negative appearance. The existing driveway is long enough to accommodate four cars in addition to the two car attached garage.

Building and Life Safety

1. No comments.

Engineering

1. No comments.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, February 9, 2026, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 6.5-foot variation from Chapter 28, Section 10.2-11.1(b) (Additional Regulations – Parking) to allow a driveway 28.5 feet in width where driveways may not exceed 22 feet in width.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planningmail@yah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

The East 65.90 feet of the West 1/2 of the South 165 feet of the East 10 acres of the West 30 acres of the South 1/2 of the South East 1/4 of Section 28, Township 42 North, Range 11 East of the Third Principal Meridian, in Cook County, Illinois.

Commonly known as: 2414 E. Kensington Road, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@yah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals

Published in Daily Herald January 24, 2026 (319541)

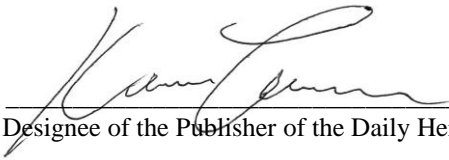
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 01/24/2026 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 319541



Zoning Variance Request - Village of Arlington Heights

Now comes the Petitioner, Anthony & Hollis Gorrie being the owner of the property commonly known as: **2414 E Kensington Road Arlington Heights, IL 60004**

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Chapter 28, Section of the Arlington Heights Municipal Code, in order to:

Extend the driveway beyond the currently approved 22 feet to accommodate an additional vehicle and relocate the downspout to the proposed extension area.

1. I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted:

The proposed extension does not alter the essential character of the property—it remains a driveway serving its original purpose. The design is consistent with other residential properties in the area and will not disrupt the surrounding neighborhood. The relocation of the downspout to the grassy area adjacent to the proposed extension ensures proper water flow and drainage, maintaining the integrity of the property and surrounding landscape.

2. I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned:

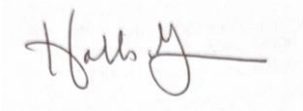
Our property is located on a busy street where street parking is not permitted. This creates a unique hardship, as we are unable to park additional vehicles safely or conveniently. The lack of street parking significantly impacts our daily access and use of the property. Additionally, the current downspout location does not allow for proper drainage, and relocating it to the grassy area near the proposed extension is necessary to prevent water pooling and erosion.

3. I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter:

We believe the proposed extension aligns with the spirit and intent of Chapter 28 by promoting safe and functional residential use. It does not conflict with zoning principles and supports the practical needs of homeowners. Relocating the downspout to a grassy area ensures responsible water management and supports the long-term maintenance of the property, which is consistent with the chapter's goals.

4. I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property:

We are requesting only the minimum extension needed to accommodate one additional car. This modest change will meet our basic parking needs without overextending the property or affecting neighboring lots. The downspout relocation is also minimal and necessary to ensure proper drainage. If this cannot be approved, we will leave the downspout unburied, though this is not ideal for water flow or property upkeep.

Signature  _____

Date ____11/8/2025____

FENCE 5
0'-1 1/2" WEST
& ON LINE

65.90

FENCE POST IS AT
LOT CORNER

1 inch = 15 FT

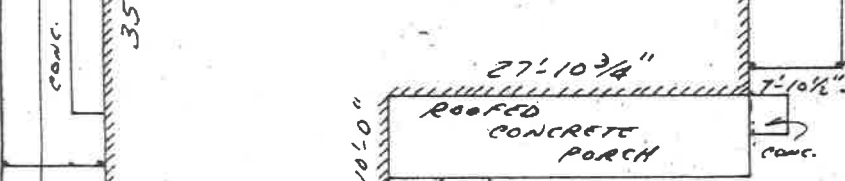
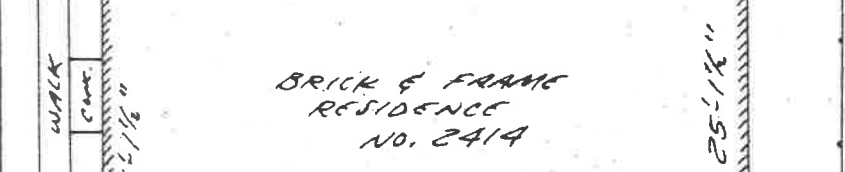
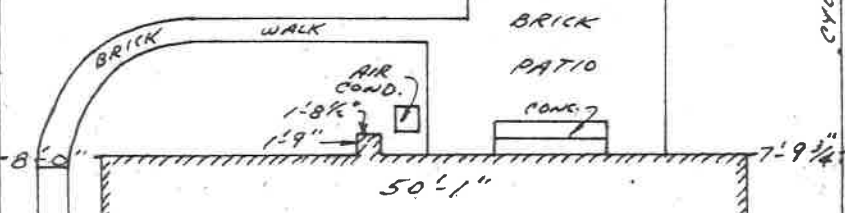
115.0

115.0

FENCE

CYCLONE FENCE

CYCLONE FENCE



FENCE 0'-1 1/2" WEST

FENCE ON LINE

FENCE ON LINE

FENCE 1'-3 1/2" WEST

65.90

65.90

IRON PIPE

IRON PIPE

FENCE 0-1 1/2" WEST & ON LINE

65.90

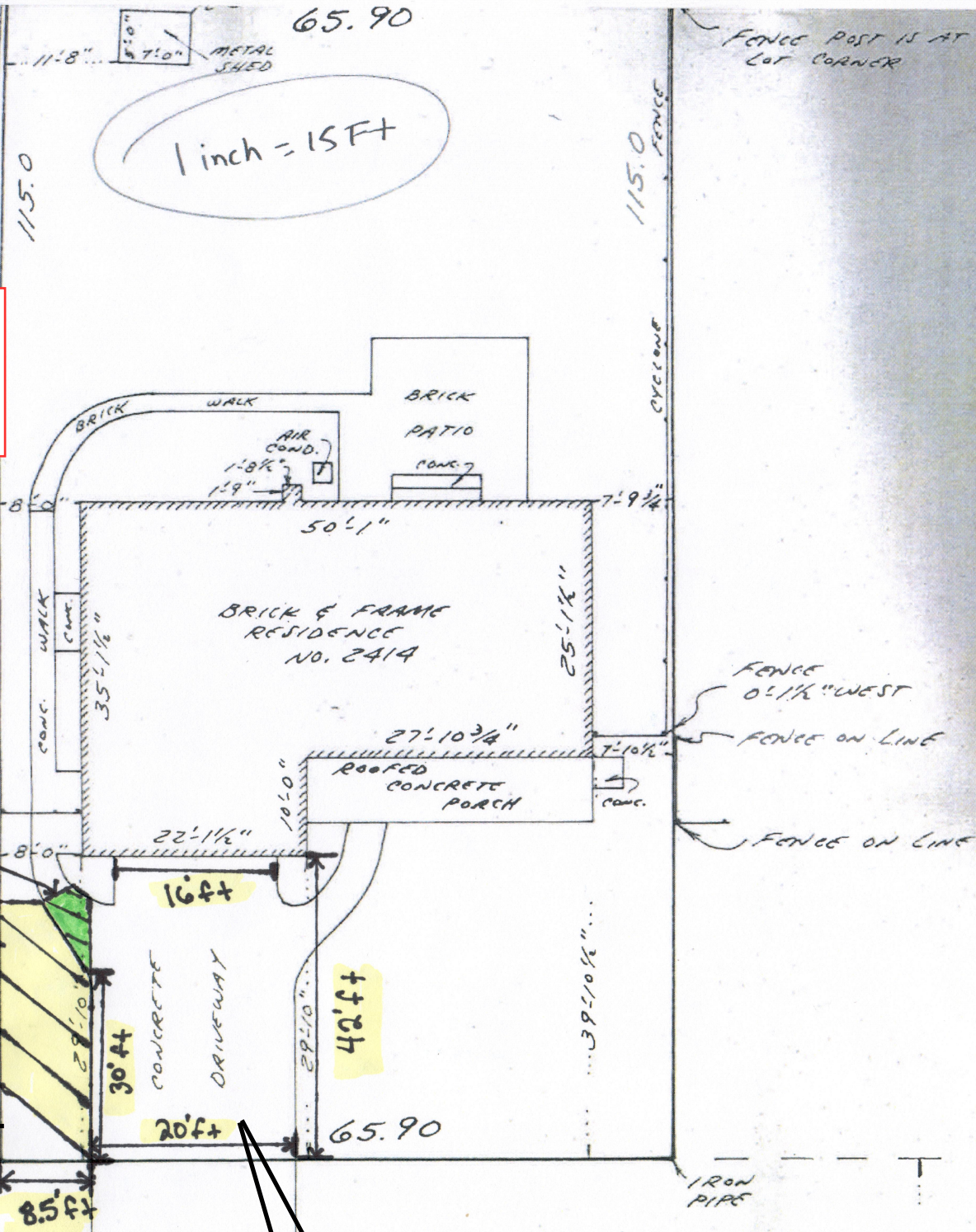
1 inch = 15 FT

FENCE POST IS AT LOT CORNER

Existing buried downspout is labeled red. The downspout runs approx 15' in ft from the foundation to a pop-up cap in the yard.

The proposed extension of the downspout is labeled in neon green, to get under the proposed concrete driveway extension, highlighted in yellow. This would be 36' in ft from the foundation.

Concrete driveway extension
28' 10"
20' 4"
30' 4"
20' 4"
8.5' ft
IRON PIPE





VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
2/9/2026

Item: 1211 S. New Wilke Rd. - ZBA25-048
Department: Planning & Community Development

Item Description:

REQUEST

A 1-foot variance to allow a 4-foot, open style fence to be located in the required front yard where the maximum fence height is 3-feet in the required front yard.

ATTACHMENTS:

1. 1211 S New Wilke Rd_2-9-26

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: February 9, 2026
Date Prepared: January 7, 2026
Project Title: AH Park District – Arlington Lakes Golf Club
Address: 1211 S. New Wilke Rd. & 1625 W. Central Rd.

Background Information

Petition Number: ZBA #25-048
Petitioner: Chance Andell – AH Park District
Address: 1440 E. Davis St.
Arlington Heights IL 60005

Existing Zoning: P-L – Public Land District

Requested Action/Background Information

The petitioner, the Arlington Heights Park District, is proposing to remove an existing three-foot-tall, open style fence along S. New Wilke Road and replace it with a four-foot-tall, open style fence. The proposed fence is black powder-coated aluminum and will be located along Wilke Road from the Arlington Lakes Golf Club entrance to the intersection of New Wilke Road and Central Road. This portion of the property is considered the front yard by the definitions of Village Code. Fences have a maximum height of 3-feet in all required front yards. Therefore, the petitioner is requesting the following variance:

- A 1-foot variance to allow a 4-foot, open style fence to be located in the required front yard where the maximum fence height is 3-feet in the required front yard.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/15/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/15/25	
3. Letter that was Mailed	✓	12/15/25	
4. Photographs of Sign on Property	✓	12/15/25	

Photographs of Existing Structure



NOTICE OF PUBLIC HEARING
Notice is hereby given that a public hearing will be held on Monday, February 9, 2026, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 1-foot variance to allow a 4-foot, open style fence to be located in the required front yard where the maximum fence height is 3-feet in the required front yard.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning@villageofah.com. At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variances or other special approvals on the property legally described as:

PARCEL A: BEGINNING AT A POINT ON THE NORTH LINE OF LOT 1 IN THE COUNTY CLERK'S DIVISION OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, THAT IS EAST 1926.75 FEET OF THE WEST LINE OF SAID SECTION; THENCE NORTHERLY TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL AVENUE IN THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 4; THENCE WESTERLY ALONG SAID RIGHT OF WAY 950 FEET; THENCE SOUTH 225 FEET; THENCE EAST 700 FEET; THENCE SOUTH TO A POINT ON THE NORTH LINE OF SAID LOT 1; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING.

PARCEL B: BEGINNING ON THE NORTH LINE OF FRACTIONAL SECTION 5, TOWNSHIP 41 NORTH RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AT A POINT 470.15 FEET WEST OF THE NORTHEAST CORNER OF SAID FRACTIONAL SECTION AS MEASURED ALONG SAID NORTH LINE, SAID POINT BEING IN THE CENTERLINE OF CENTRAL ROAD; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST ALONG THE NORTH LINE OF FRACTIONAL SECTION 5 738.58 FEET TO A POINT 3 LOCATED 1208.73 FEET WEST OF THE SAID NORTHEAST CORNER; THENCE SOUTH 00 DEGREES 11 MINUTE 00 SECONDS EAST ALONG A LINE PARALLEL TO THE CENTERLINE OF WILKE ROAD, PASSING THE SOUTH LINE OF FRACTIONAL SECTION 5 AT 278.64 FEET, 2258.64 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 41 NORTH RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AS SAID POINT MARKS THE SOUTH WEST CORNER OF THE GOVERNMENT PROPERTY; THENCE NORTH 88 DEGREES 55 MINUTES 2 SECONDS EAST ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 8 AND THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 9, 1868.31 FEET TO A POINT IN THE EAST LINE OF THE WEST 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 9; THENCE NORTH 00 DEGREES 01 MINUTES 45 SECONDS WEST ALONG SAID EAST LINE OF THE WEST 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 9; 730.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 02 SECONDS 770.00 FEET; THENCE NORTH 30 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 668.30 FEET TO A POINT IN THE GOVERNMENT SECURITY FENCE; THENCE NORTH 00 DEGREES 00 MINUTES 52 SECONDS WEST ALONG SAID FENCE 706.00 FEET; THENCE NORTH 89 DEGREES 51 MINUTES 32 SECONDS EAST 308.77 FEET ALONG SAID FENCE; THENCE NORTH 00 DEGREES 02 MINUTES 09 SECONDS WEST OF 757.03 FEET TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PARCEL OF CENTRAL ROAD INCLUDED IN THE ABOVE DESCRIBED TRACT).

PARCEL C: COMMENCING AT THE NORTHEAST CORNER OF SAID FRACTIONAL SECTION 5, TOWNSHIP 41 NORTH RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, THENCE WESTERLY ALONG THE NORTH LINE OF SAID FRACTIONAL SECTION 5, 470.15 FEET; THENCE SOUTH 00 DEGREES 02 MINUTES 09 SECONDS EAST TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL ROAD AND THE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 02 MINUTES 09 SECONDS EAST 707.03 FEET; THENCE SOUTH 89 DEGREES 51 MINUTES 32 SECONDS WEST 308.77 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 53 SECONDS EAST 706.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 668.30 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST 30.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 770.00 FEET TO A POINT ON THE EAST LINE OF THE WEST 1/2 OF THE WEST 1/2 OF SAID SECTION 9; THENCE SOUTHERLY ALONG THE SAID EAST LINE OF THE WEST 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 9 72.76 FEET, TO A POINT ON THE NORTH LINE OF LOT 1 IN THE COUNTY CLERK'S DIVISION AS RECORDED MARCH 29, 1889 AS DOCUMENT 1079766 IN BOOK 33 OF PLATS, PAGE 49 IN THE RECORDERS OFFICE OF COOK COUNTY, ILLINOIS; THENCE SOUTH 89 DEGREES 10 MINUTES 49 SECONDS EAST 1,016.76 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 1,306.09 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 150.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST 503.31 FEET; THENCE NORTH 89 DEGREES 10 MINUTES 49 SECONDS WEST 725.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST 155.26 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 141.87 FEET THE SAID EAST LINE OF THE WEST 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 9; THENCE CONTINUING NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 95.27 FEET; THENCE NORTH 00 DEGREES 02 MINUTES 09 SECONDS WEST 1,273.79 FEET TO THE SAID SOUTHERLY RIGHT OF WAY OF CENTRAL ROAD; THENCE WESTERLY ALONG THE SAID SOUTHERLY RIGHT OF WAY OF CENTRAL ROAD TO THE POINT OF BEGINNING.

Commonly known as: 1211 S. New Wilke Rd. & 1625 W. Central Rd.

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or health@mail@villageofah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Published in Daily Herald January 24, 2026 (319543)

CERTIFICATE OF PUBLICATION

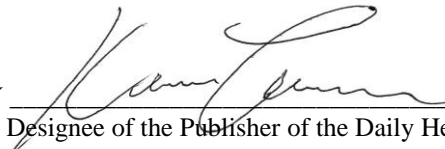
Paddock Publications, Inc.

Northwest Suburbs Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the Northwest Suburbs DAILY HERALD. That said Northwest Suburbs DAILY HERALD is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

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BY


Designee of the Publisher of the Daily Herald

Control # 319543



Village of Arlington Heights



To: Chance Andell, Arlington Heights Park District
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-048
Project: 1211 S. New Wilke Road
Date: January 6, 2026

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 1-foot variance to allow a 4-foot, open style fence to be located in the required front yard where the maximum fence height is 3-feet in the required front yard.

If you have any questions, please contact dosoba@vah.com:

Planning and Community Development – Steve Hautzinger

1. The proposed new fence has a nice appearance that will be an improvement from the existing wire fence. It is encouraged to replace all of the existing wire fencing with the same new fencing for a cohesive appearance.

Building and Life Safety – Alex Kang

1. Approved with Notes: 1. The frost depth in the Village of Arlington Heights is 42 inches; therefore, all footings for fence shall extend to a minimum depth of 42 inches below grade.

Engineering – Joe Munno

1. No comments.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to [Section 11](#) of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. This petition form must be completely filled out and signed. The Petitioner may supplement this form with a separate document submitted with the application through the Customer Self-Service (CSS) Portal.

PETITION

Now comes the Petitioner **Chance Andell**

being the owner of the property commonly known as: **Arlington Lakes Golf Club**

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Chapter 28, Section(s) **6.13-3a**

of the Arlington Heights Municipal Code, in order to: **install a new 4' high fence along New Wilke Rd, on the west side of the Arlington Lakes Golf Club to replace the existing 4' high fence.**

*I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): **The new fence is being installed to improve the visual appeal of the property. The new fence is replacing an existing fence. It will be located in the same location and have the same height, so there are no changes/alterations that will affect the neighboring properties.***

*I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): **These circumstances are unique because the existing fence, which was installed 10+ years ago, sits around the entire course and is 4' in height. The park district would prefer to keep the new fence at 4' so there is a uniform height around the entire course.***

*I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): **This variation is in harmony with this chapter because installing a 4' tall fence will allow the course to maintain a uniform fence height around the course which maintains the character of the property. While providing an open but private appearance to protect the public and neighboring properties.***

*I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): **The variance from 3' to 4' is the minimum variance possible and will allow the course to maintain a uniform fence height along the entire property. This height will also keep the fence tall enough to reduce the number of people who attempt to sneak onto the course to play.***

Signed: **Chance Andell**

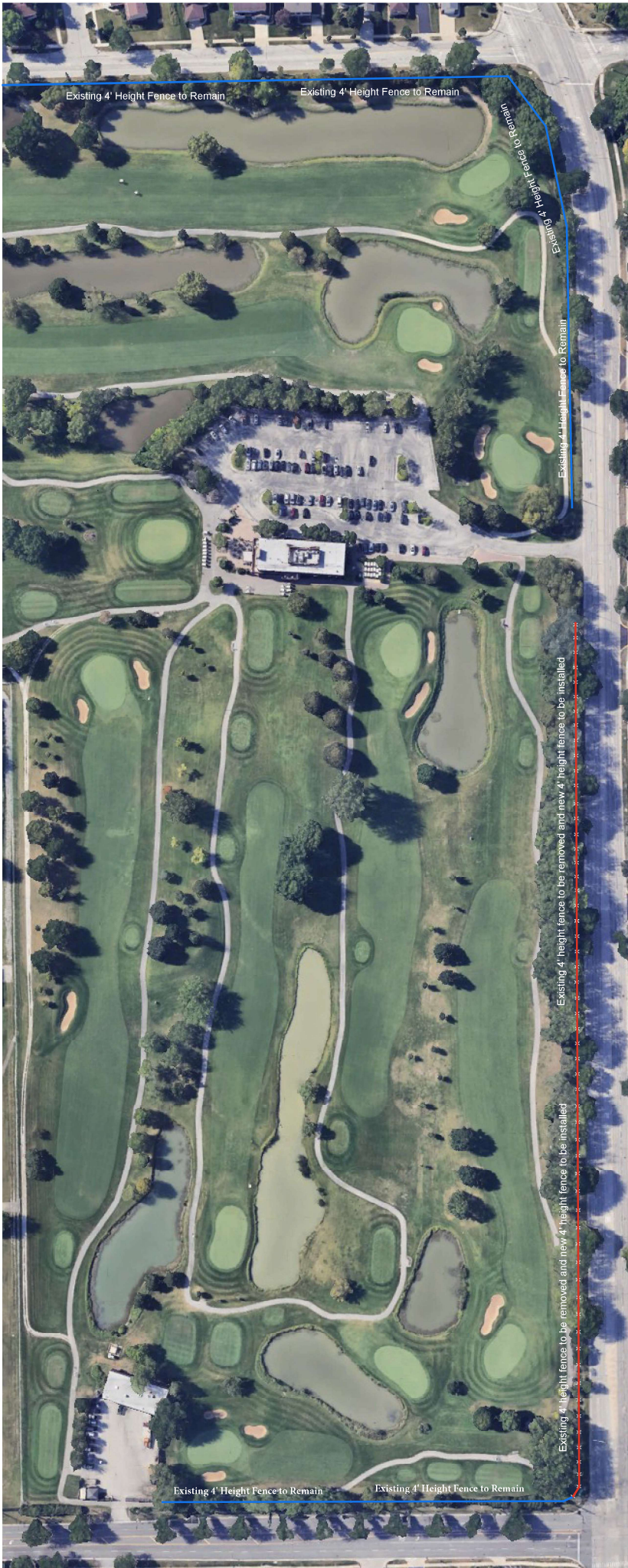
Date: **11/13/2025**

Petitioner

The Arlington Heights Park District owns and operates the Arlington Lakes Golf Club. Currently, there is a 4' tall wire fence around the golf course. The Park District would like to install a new fence along New Wilke Rd in the same location as the existing fence to provide a better visual appearance for the course, the neighboring properties, and Arlington Heights.

The current fence is 4' tall. We would like to install a new 4' tall fence along New Wilke Rd on the west side of the Arlington Lakes Golf Club. The existing 4' tall fence will remain along W Central Rd and W White Oak St. We are requesting this variance to install a new 4' tall fence so that there is a uniform height between the existing fence that is to remain and the new fence that will be installed.

We feel that by maintaining a uniform fence height along the entire course, it will provide a better visual appearance. This new fence will also be an open fence type, which will maintain the existing open appeal, but also still provide a private appeal, by being tall enough to prevent anyone from jumping the fence to enter the golf course.



Existing 4' Height Fence to Remain

Existing 4' Height Fence to Remain

Existing 6' Height Fence to be removed and new 4' height fence to be installed

Existing 4' Height Fence to Remain

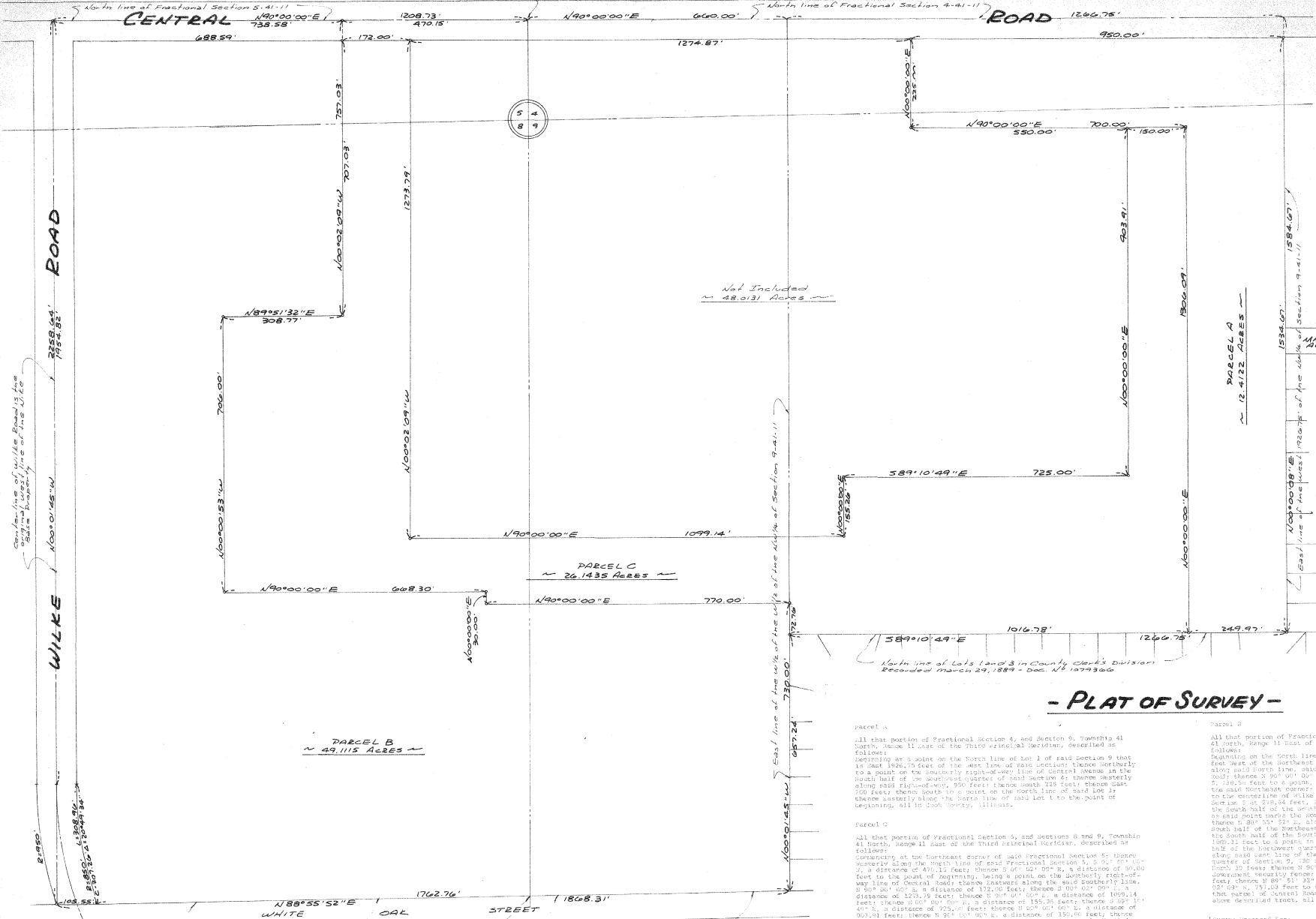
Existing 4' height fence to be removed and new 4' height fence to be installed

Existing 4' height fence to be removed and new 4' height fence to be installed

Existing 4' Height Fence to Remain

Existing 4' Height Fence to Remain

N.E. corner of Prop. Section 3-4-111 & W. corner of Prop. Section 4-4-111



Not Included ~ 48.013 Acres ~

PARCEL C ~ 26.1435 Acres ~

PARCEL B ~ 49.115 Acres ~

- PLAT OF SURVEY -

Parcel A All that portion of Fractional Section 4, and Section 9, Township 41 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning at a point on the North line of Lot 1 of said Section 9 that is 15 feet 19 1/2 feet of the west line of said Section 9; thence Northwesterly to a point on the southerly right-of-way line of Central Avenue in the south half of the southwest quarter of said Section 4; thence westerly along said right-of-way, 550 feet; thence south 225 feet; thence east 700 feet; thence south to a point on the North line of said Lot 1; thence easterly along the North line of said Lot 1 to the point of beginning, all in Cook County, Illinois.

Parcel B All that portion of Fractional Section 4, and Sections 8 and 9, Township 41 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning at the northeast corner of said Fractional Section 8; thence westerly along the North line of said Fractional Section 8, 5 1/2 feet; thence North 41 1/2 feet; thence S 65 1/2° 00' 00" W, a distance of 30.00 feet to the point of beginning, being a point on the southerly right-of-way line of Central Road; thence southerly along the said southerly line, 3 1/2 feet; thence S 65 1/2° 00' 00" W, a distance of 127.75 feet; thence N 91 1/2° 00' 00" E, a distance of 109.14 feet; thence S 65 1/2° 00' 00" W, a distance of 153.21 feet; thence S 55 1/2° 00' 00" E, a distance of 72.00 feet; thence S 65 1/2° 00' 00" W, a distance of 130.00 feet; thence S 65 1/2° 00' 00" W, a distance of 130.00 feet to a point on the North line of Lots 1 and 2 as measured and occupied by me, disclosed in County Clerk's Division, recorded March 29, 1889 as Document 127936 in Book 33 of Atlas, page 49, in the Recorder's office of Cook County, Illinois; thence westerly along the said North line, N 85 1/2° 15' 45" W, a distance of 102.10 feet to a point on the east line of the west half of the east half of the Northwest quarter of said Section 9; thence Northwesterly along the said east line, S 20 1/2° 00' 00" E, a distance of 77.00 feet; thence S 65 1/2° 00' 00" W, a distance of 75.00 feet; thence S 65 1/2° 00' 00" W, a distance of 30.00 feet; thence S 25 1/2° 00' 00" E, a distance of 69.00 feet; thence S 80 1/2° 15' 32" W, a distance of 301.71 feet; thence S 60 1/2° 00' 00" W, a distance of 70.00 feet to the point of beginning, and containing 25.1435 acres, all in Cook County, Illinois.

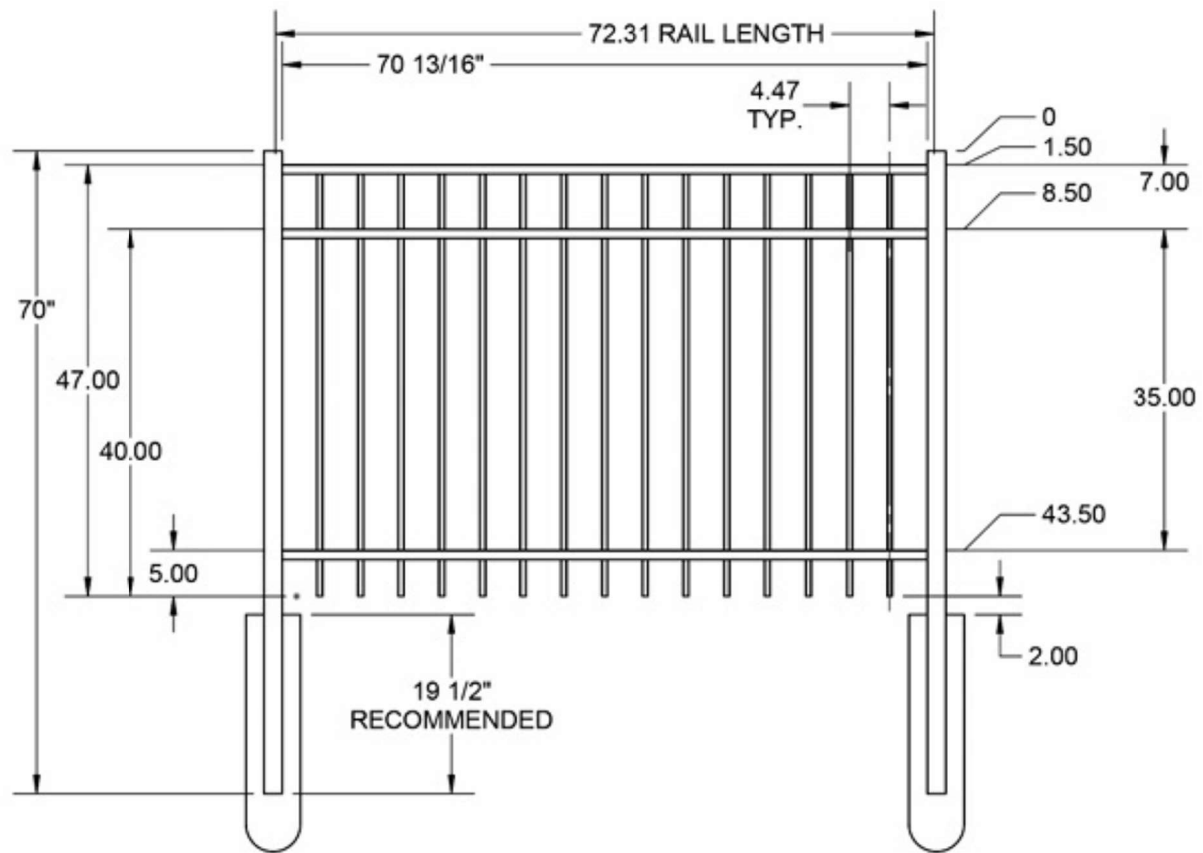
Parcel C All that portion of Fractional Section 5, and Sections 8 and 9, Township 41 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning on the North line of Fractional Section 5 at a point 470.15 feet west of the northeast corner of said Fractional Section 5 and 100 feet west of the North line of said Fractional Section 5; thence Northwesterly along said North line, 200 feet; thence North 90 1/2° 00' 00" W, along the North line of Fractional Section 5, 730.50 feet to a point, which point is located 1270.75 feet west of the said Northeast corner; thence S 60 1/2° 00' 00" E, along a line parallel to the southerly line of said road, 1270.75 feet to the North line of Fractional Section 5 at 730.50 feet, 232.54 feet to a point on the North line of the South half of the North half of the Northwest quarter of Section 9, on said point being the southeast corner of the Government property thence S 85 1/2° 00' 00" E, along the North line of the South half of the South half of the Northwest quarter of Section 9, and the North line of the South half of the North half of the Northwest quarter of Section 9, 180.22 feet to a point, in the east line of the west half of the west half of the Northwest quarter of Section 9, 230 feet; thence S 85 1/2° 00' 00" E, 230 feet; thence North 20 feet; thence N 60 1/2° 00' 00" E, 80.45 feet to a point in the Government security fence; thence S 65 1/2° 00' 00" W, along said fence 705 feet; thence S 85 1/2° 00' 00" E, 705.77 feet; thence North 2 1/2° 00' 00" E, 751.03 feet to the point of beginning, excepting therefrom that portion of Central Road, containing 0.040 acres, included within the above described tract, all in Cook County, Illinois.

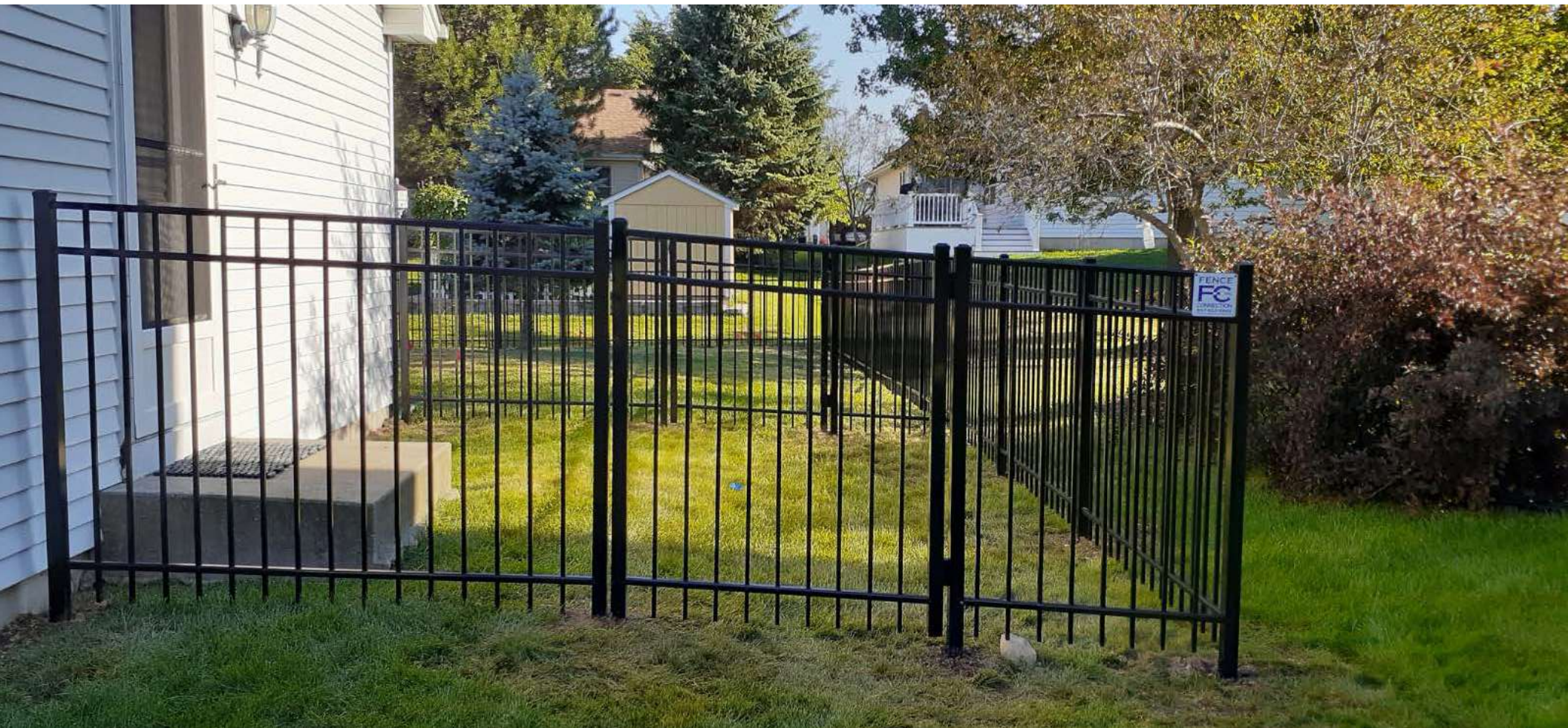
Survey Prepared For: Madison Heights Park District 90 East Falcon Drive Madison Heights, Illinois 60459 Survey and Plat by: S. H. Frederick a Licensed Land Surveyor, Illinois No. 2847 Robert Highway Mount Prospect, Illinois State of Illinois } ss County of Cook } I, Robert S. Frederick, an Illinois Registered Land Surveyor do hereby certify that the above described property has been surveyed, under my supervision, in the manner and according to the provisions of the laws of the State of Illinois and that the same are shown in these plat and map. Robert S. Frederick, Surveyor



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VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
2/9/2026**

Item: 421 S. Bristol Ln. - ZBA25-049
Department: Planning & Community Development

Item Description:

REQUEST

A 1.26-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow an addition with a 4.74-foot side yard setback where a 6-foot side yard setback is required.

ATTACHMENTS:

1. 421 S Bristol Ln_2-9-26

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Darko Bojin, Planner
Hearing Date: February 9, 2026
Date Prepared: January 7, 2026
Project Title: Tuite Residence
Address: 421 S. Bristol Ln.

Background Information

Petition Number: ZBA #25-049
Petitioner: Nick Holm – Advance Design Studio
Address: 30 Railroad St.
Gilberts IL 60126

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

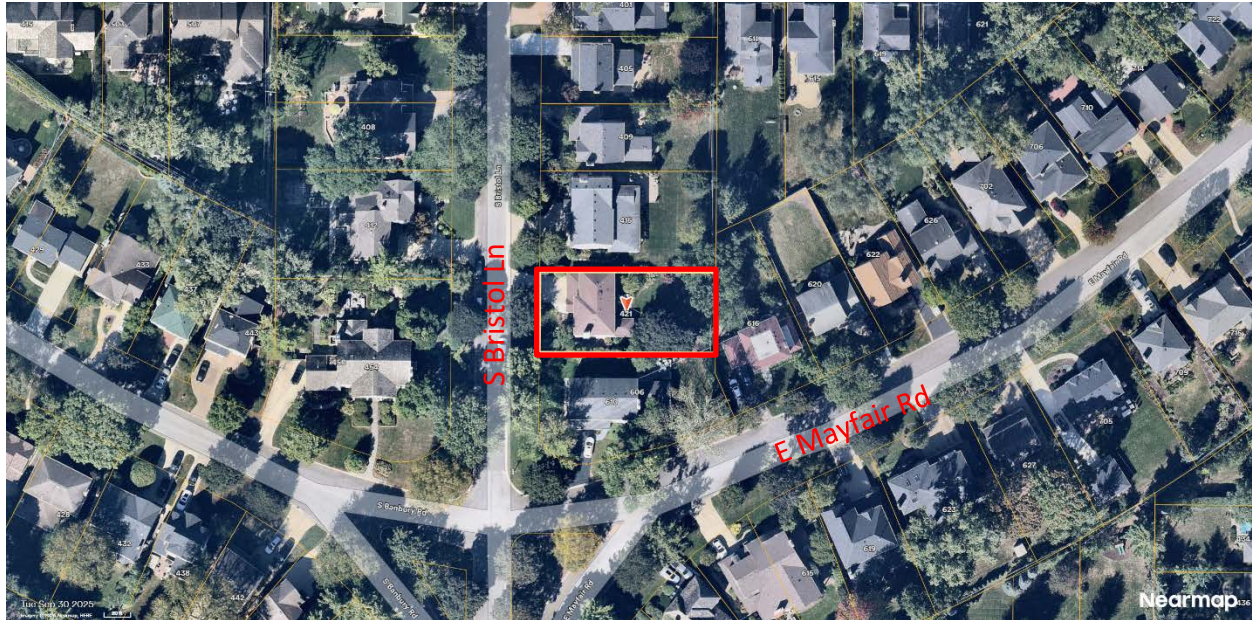
The property is zoned R-3 and has a total land area of approximately 7,898 square feet. The petitioner is proposing to construct a one-story addition in the rear of the house. This proposed addition is set back 4.74 feet from the side lot line where 6 feet is required. Therefore, the petitioner is requesting the following variations:

- A 1.26-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow an addition with a 4.74-foot side yard setback where a 6-foot side yard setback is required.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12.15.25	
2. List of Property Owners Within 250 feet of Subject Property	✓	12.15.25	
3. Letter that was Mailed	✓	12.15.25	
4. Photographs of Sign on Property	✓	12.19.25	

Photographs of Existing Structure



NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, February 9, 2026, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 1.26-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow an addition with a 4.74-foot side yard setback where a 6-foot side yard setback is required.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planningmail@yah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

The south 25 feet of Lot four hundred ninety-seven (497) and the north 35 feet of Lot four hundred ninety-eight (498) in "Scarsdale" being a subdivision of part of the West half (1/2) of the East half (1/2) of the West half (1/2) of Section 32, Township 42 North, Range 11, East of the Third Principal Meridian in Cook County, Illinois.

Commonly known as: 421 S Bristol Lane, Arlington Heights IL 60005

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@yah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals

Published in Daily Herald January 24, 2026 (319538)

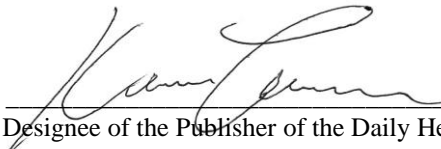
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 01/24/2026 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 319538



Village of Arlington Heights



To: Sean & Laura Tuite (Owners) / Nick Holm (Petitioner)
From: Darko Bojin
Department: Department of Planning and Community Development
File Number: ZBA 25-049
Project: 421 S Bristol Ln
Date: January 5, 2026

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 1.26-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow an addition with a 4.74-foot side yard setback where a 6-foot side yard setback is required.

If you have any questions, please contact dbojin@vah.com:

Planning and Community Development

1. The proposed addition is nicely designed to fit with the existing house. Since this is a single-story, rear yard addition, a Design Commission application is not required.

Building and Life Safety

1. Approved with Note: 1. The exterior wall of the addition is required to have a 1-hour fire-resistance rating due to the fire separation distance is less than 5'-0".

Engineering

1. No comments.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to [Section 11](#) of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. This petition form must be completely filled out and signed. The Petitioner may supplement this form with a separate document submitted with the application through the Customer Self-Service (CSS) Portal.

PETITION

Now comes the Petitioner Nick Holm on behalf of Advance Design Studio
being the owner of the property commonly known as: 421 S. Bristol Ln.
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a
Variation from Chapter 28, Section(s) 5.1-0.3 MINIMUM YARDS
of the Arlington Heights Municipal Code, in order to: CONSTRUCT A NEW REAR ADDITION
TO EXPAND THE LIVING SPACE AND KITCHEN. MODIFY THE SIDE YARD SETBACK TO
ACCOMMODATE THE WORK.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): THE PROPOSED WORK IS ALIGNED WITH THE EXISTING SCALE AND GENERAL RHYTHM OF THE EXISTING NEIGHBORHOOD. THE PROPOSED WORK DOES NOT EXTEND ANY FURTHER EAST THAN THE EXISTING SCREEN ROOM OR THE NEIGHBORS PROPERTIES.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): THE EXISTING STRUCTURE IS ALREADY POSITIONED WITH THE SIDE YARDS AS NOTED. THE NEW ADDITION WILL NEED TO BE SQUARE TO THE EXISTING CORNER AND FOLLOW THE EXISTING ANGLE OF THE RESIDENCE. THEREFORE THE SIDE YARD IS SLIGHTLY LESS THAN EXISTING 1.5" +/-

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): OUR PROJECT IS CONSCIOUS OF THE PROVISION OF THE CHAPTER AND SEEKS TO FIT IN AESTHETICALLY WITH THE SCALE AND CHARACTER OF ITS SURROUNDINGS

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): The residence is in need updating, the work proposed will allow the residence to better fit the general improvements ongoing throughout the neighborhood. In addition, the work will make the residence a more contemporary example of residential living making it more usable.

Signed: 

Petitioner

Date: 12/12/2025



Advance Design Studio
30 Railroad St.
Gilberts, IL 60136

Village of Arlington Heights
Building & Planning Department

Narrative - Variance Application

To Whom It May Concern,

Advance Design Studio is proposing a 1-story addition to an existing 2-story brick and frame home located at residence **421 S Bristol Ln. Arlington Heights, IL 60005.**

The new rear addition will expand the living space and kitchen. The new addition will be square to the existing corner and follow the existing angle of the residence. Our project is conscious of the neighborhood to fit aesthetically in scale and character of the home's surroundings.

Thank you,

Nick Holm
Director of Operations
The Advance Design Studio

office: (847) 836-2600
direct: (224) 802-2843
30 Railroad St. Gilberts, IL 60136

LEGEND

A = ASSUMED
 C = CALCULATED
 CH = CHORD
 CL = CENTERLINE
 D = DEED
 E = EAST
 F.I.P. = FOUND IRON PIPE
 F.I.R. = FOUND IRON ROD
 FT. = FEET/FOOT
 IL = ARC LENGTH
 M = MEASURED
 N = NORTH
 NE = NORTHEAST
 NW = NORTHWEST
 P.O.B. = POINT OF BEGINNING
 P.O.C. = POINT OF COMMENCEMENT
 R = RECORD
 RAD = RADIUS
 R.O.W. = RIGHT OF WAY
 S = SOUTH
 S.I.P. = SET IRON PIPE
 S.I.R. = SET IRON ROD
 SE = SOUTHEAST
 SW = SOUTHWEST
 W = WEST

PLAT OF SURVEY

OF

THE SOUTH 25 FEET OF LOT FOUR HUNDRED NINETY-SEVEN (497) AND THE NORTH 35 FEET OF LOT FOUR HUNDRED NINETY-EIGHT (498) IN "SCARSDALE" BEING A SUBDIVISION OF PART OF THE WEST HALF (1/2) OF THE EAST HALF (1/2) AND PART OF THE EAST HALF (1/2) OF THE WEST HALF (1/2) OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

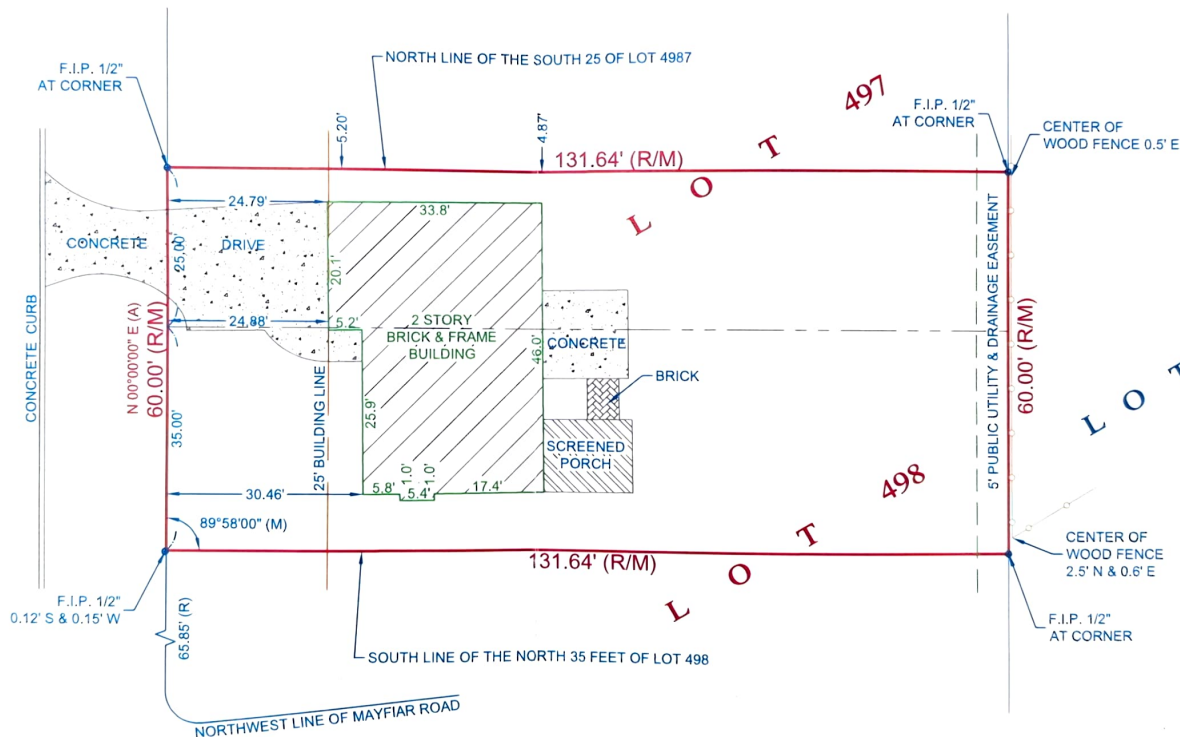
AREA OF SURVEY:

CONTAINING 7,898 SQ. FT. OR 0.18 ACRES MORE OR LESS



BASIS OF BEARING:
 EAST LINE OF S. BRISTOL LANE AS FOUND
 MONUMENTED AND OCCUPIED PER RECORD
 SUBDIVISION.
 N 00°00'00" E (A)

S. BRISTOL LANE
 (66' R.O.W.)



STATE OF ILLINOIS }
 COUNTY OF DUPAGE }SS

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 7TH DAY OF AUGUST, A.D., 2020,
 AT LISLE, ILLINOIS.



NOTE:

- ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
- ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
- COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 421 S. BRISTOL LANE
 ARLINGTON HEIGHTS, ILLINOIS

CLIENT DROST KIVLAHAN MCMAHON & O'CONNOR LLC

FIELDWORK DATE (CREW) 08/07/2020 (DS/JB)
 DRAWN BY: R.S. REVISED: _____

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3253
 LICENSE EXPIRATION DATE NOVEMBER 30, 2026
 ILLINOIS BUSINESS REGISTRATION NO. 184-00245

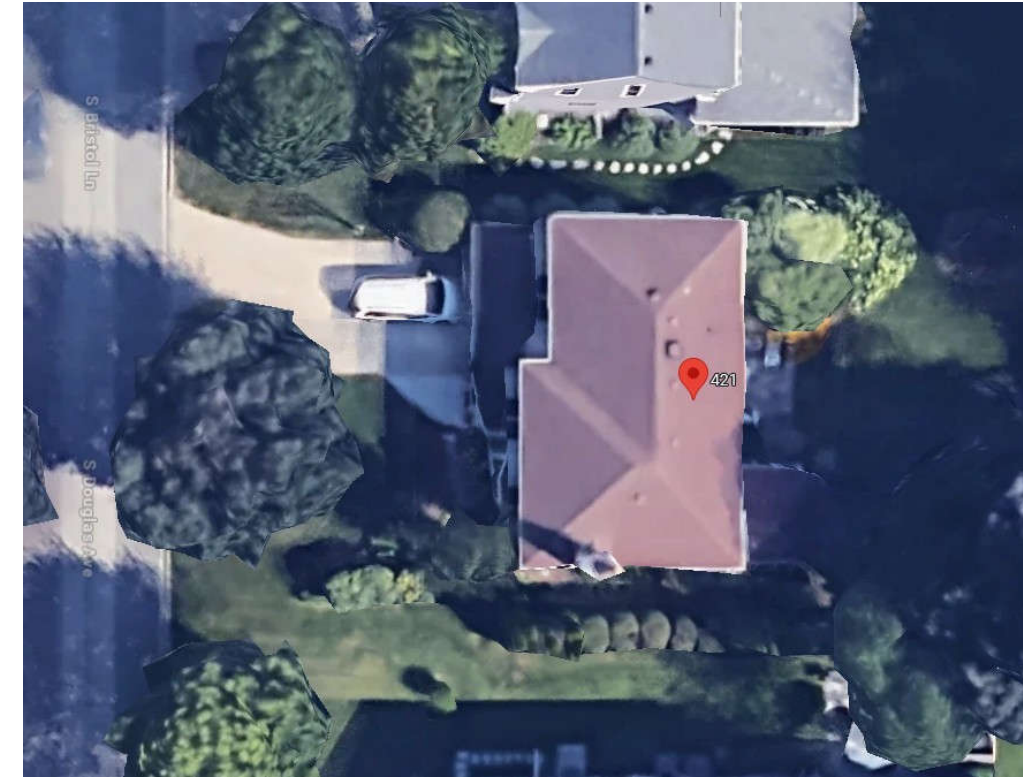


Morris Engineering, Inc.
 515 Warrenville Road, Lisle, IL 60532
 Phone: (630) 271-0770
 FAX: (630) 271-0774
 WEBSITE: WWW.ECIVIL.COM

ONE STORY ADDITION FOR:

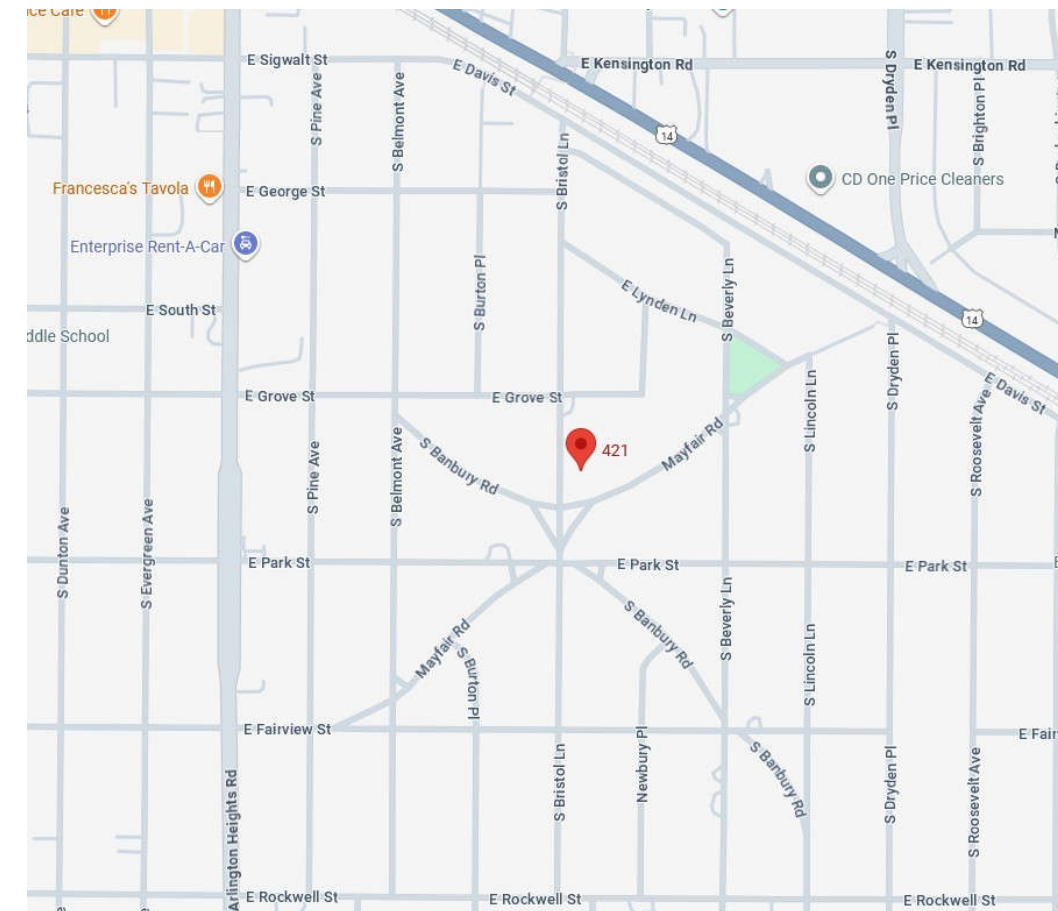
421 S. BRISTOL LANE

ARLINGTON HEIGHTS, ILLINOIS 60005



AERIAL IMAGE

NO SCALE



LOCATION MAP

NO SCALE

SPECIAL SAFETY NOTE

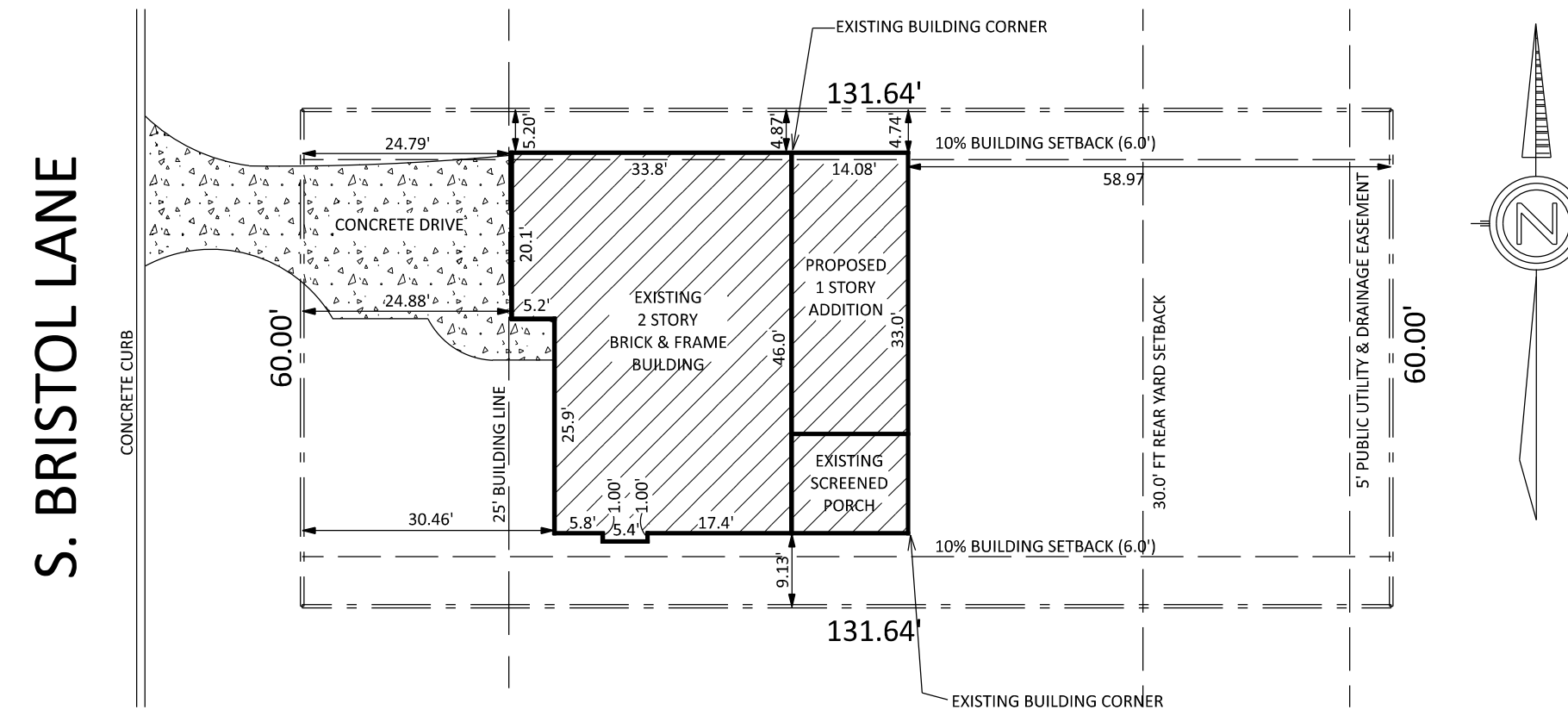
ALL CONTRACTORS, SUBCONTRACTORS AND THEIR REPRESENTATIVES ON THE PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF THE ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS OTHERS AND IN THE CARE OF THE PROPERTY, EACH AS REPRESENTATIVES OF THEIR EMPLOYEES SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUESTED TO ACCOMPLISH THEIR WORK ARE SAFE AND MEET ALL REGULATIONS OF THE OCCUPATIONAL SAFETY AND HAZARD ACT OR OTHER GOVERNING REGULATIONS. THE BEGINNING OF WORK BY A CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE SATISFACTION CONCERNING SAFETY AND FULL RESPONSIBILITY FOR ACCIDENTS AND/OR DAMAGE. IF UNSATISFIED, THE CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE THE ACTIONS AND/OR DEVICES NECESSARY TO RENDER THE JOB-SITE SAFE. IF THE WORK OF OTHER PARTIES IS UPON INSPECTION, FOUND AT ANY TIME TO BE UNSAFE, THE CONTRACTOR OR SUBCONTRACTOR SHALL IMMEDIATELY STOP ALL WORK AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNING OF WORK SHALL INDICATE ACKNOWLEDGEMENT AND ACCEPTANCE OF THESE REQUIREMENTS.

SPECIAL NOTE

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THE BUILDING.

THEREFORE, THE USE OF THESE DRAWINGS BY THE OWNER OR ANY CONTRACTORS, SUBCONTRACTORS, BUILDER, TRADESMAN OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWINGS USER AND THE ARCHITECT. THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. FURTHER THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR, SUBCONTRACTOR, BUILDER, TRADESMAN OR WORKMAN OR FOR THEIR FAILURE TO COMPLY WITH AND ADHERE TO THESE PLANS AND SPECIFICATIONS.

THE USE OF THESE PLANS TO OBTAIN A BUILDING PERMIT SHALL CONSTITUTE THE ACCEPTANCE AND APPROVAL OF ALL REQUIREMENTS CONTAINED THEREIN.



SITE PLAN

SCALE: 1" = 20' - 0"

EXISTING FIRST FLOOR 965 SQFT
EXISTING GARAGE 460 = 60 SQFT
EXISTING SECOND FLOOR 1,244 SQFT
TOTAL EXISTING SQFT = 2,269
FIRST FLOOR ADDITION 464 SQFT
TOTAL SQFT = 2,733
MAXIMUM FAR: 7,898 SQFTX0.35 = 2764 SQFT

2021 ILLINOIS ENERGY CONSERVATION CODE:
R402.2 COMPLIANCE: PROJECTS SHALL COMPLY WITH ONE OF THE FOLLOWING:
1. SECTIONS R401 THROUGH R404.
2. SECTION R405 AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 OR SECTION 405 OR ALTERNATIVE SECTION 406.
3. WITH THE CONCURRENCE OF THE CODE OFFICIAL, AN ALTERNATIVE METHOD, AN ENERGY RATING INDEX (ERI) APPROACH IN SECTION R406, AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 LABELED PROPOSED PROJECT COMPLIANCE METHOD - PRESCRIPTIVE METHOD INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT ARE OUTLINED ON SHEET C
A. UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE.
B. R403.3.2. DUCTS LOCATED IN CONDITIONED SPACES, SHALL COMPLY WITH PARTS 1 THROUGH 4
C. R403.3.5 DUCT TESTING, TESTED (NACCORDEANCE WITH ANSI/RESNET/ICC 380 OR ASTM E1554
D. R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS >105F OR <55F INSULATE MIN. R3
E. R403.5.1 CIRCULATING HOT WATER SYSTEMS - R403.5.1.1 HEATED WATER CIRCULATION SYSTEMS SHALL BE PROVIDED WITH A CIRCULATION PUMP. THE SYSTEM RETURN PIPE SHALL BE A DEDICATED RETURN PIPE OR A COLD WATER SUPPLY PIPE.
F. TABLE 402.1.2 INSULATION AND FENESTRATION CRITERIA.
G. THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF SECTIONS R402.1.1 THROUGH R402.1.5.
H. R403.1.1 PROGRAMMABLE THERMOSTAT - THE THERMOSTAT CONTROLLING THE PRIMARY HEATING OR COOLING SYSTEM OF THE DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55F (13°C) OR UP TO 85F (29°C). THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70F (21°C) AND A COOLING TEMPERATURE SET POINT NO LOWER THAN 78F (26°C).
I. R403.2.2 FIREPLACES, NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127
J. R403.5.2 HOT WATER PIPE INSULATION R-3
K. R403.6 MECHANICAL VENTILATION. THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC. OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT WORKING.
L. 404.1 LIGHTING EQUIPMENT: ALL PERMANENTLY INSTALLED LIGHT FIXTURES, EXCLUDING KITCHEN APPLIANCES LIGHTING FIXTURES, SHALL CONTAIN ONLY HIGH EFFICIENCY LIGHTING SOURCES

AIR BARRIER AND INSULATION INSTALLATION	
COMPONENT	CRITERIA
AIR BARRIER AND THERMAL BARRIER	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-FERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE AIR BARRIER IN ANY DROPPED CEILING/SCOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.
CEILING/ATTIC	CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.
WALLS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.
WINDOWS, SKYLIGHTS AND DOORS	RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER.
RIM JOISTS	INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
FLOORS (INCLUDING ABOVE-GARAGE AND UNFINISHED FLOORS)	WHERE PROVIDED IN LIEU OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS. EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPED JOINTS TYPED.
CRAWL SPACE WALLS	DUCTS (SHAFTS), UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
SHAFTS, PENETRATIONS	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
GARAGE SEPARATION	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL.
RECESSED LIGHTING	BATT INSULATION SHALL BE CUT HEAVILY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
PLUMBING AND WIRING	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.
SHOWERS/TUB ON EXTERIOR WALL	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	HVAC REGISTER BOOTHS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.
HVAC REGISTER BOOTHS	AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACES SHALL HAVE GASKETED DOORS.
FIREPLACE	

TABLE R402.1.3 INSULATION MINIMUM R-VALUES AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^{b, 1}	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{c, *}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE ^e	MASS WALL R-VALUE ^e	FLOOR R-VALUE	BASEMENT ^a WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACES ^a WALL R-VALUE
5 and Marine 4	0.30 ^d	0.55	0.40	49	30 or 2085cc ³ or 13&10cc ³ or 0.820cc ³	13/17	30	15ci or 19 or 13&5ci	10ci, 4 ft	15ci or 19 or 13&5ci

SECTION R503 "ALTERATIONS"
R503.1.1 BUILDING ENVELOPE EXCEPTION 2.
EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION

REQUIRED VALUES RELATED TO THE WORK ARE INDICATE ON THE ARCHITECTURAL BUILDING PLANS/SECTIONS.

SHEET INDEX

SHEET NUMBER	SHEET DESCRIPTION
C	INDEX / LOCATION MAP
1	BASEMENT PLANS
2	FIRST FLOOR PLANS
3	ROOF PLANS
4	ELEVATIONS
5	BUILDING SECTIONS AND NOTES
6	PLUMBING DIAGRAMS AND NOTES
E1	BASEMENT & FIRST FLOOR ELECTRICAL PLANS

6) TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
Add the table as the minimums used in the design presented for review

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per square foot)	
Attics with limited storage	30
Attics without storage	10
Attics Habitable	30
Decks	40
Exterior balconies	60
Guardrails and handrails	200
Rooms other than sleeping rooms	40
Sleeping rooms	30
Stairs	40

4) TABLE 301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD 30 PSF
WIND LOAD 115 MPH FOR 3 SEC (USE 20 PSF)

LUMBER SPECIFICATIONS:

SPECIES: S-P-F	MANUF. LVL BEAMS
GRADE: NUMBER 2	1.8E MICROLAM LVL
Fb: 875 PSI	Fb: 2,600 PSI
E: 1,400,000 PSI	E: 1,800,000 PSI
Fv: 70 PSI	Fv: 285 PSI
Fsp: 425 PSI	Fc : 2,460 PSI
	Fc _⊥ : 250 PSI

CITY CODES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IRC AND 2021 IECC ILLINOIS AMENDED-

ALL CODES ADOPTED BY ARLINGTON HEIGHTS, ILLINOIS

2018 INTERNATIONAL RESIDENTIAL CODE
2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FIRE CODE
2014 ILLINOIS PLUMBING CODE
2021 ILLINOIS ENERGY CONSERVATION CODE

AND ALL LOCAL AMENDMENTS PER ARLINGTON HEIGHTS CODE

ARCHITECT LICENSE NO. 001 - 022252

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO ARLINGTON HEIGHTS ILLINOIS BUILDING & ZONING CODES.

EXPIRES 11/ 30/ 2026

GINO ROMOZZI - ARCHITECT
117 S. COOK ST. STE. #275 BARRINGTON, IL 60010
847 - 707 - 2453 - ROMOZZIDESIGN@GMAIL.COM

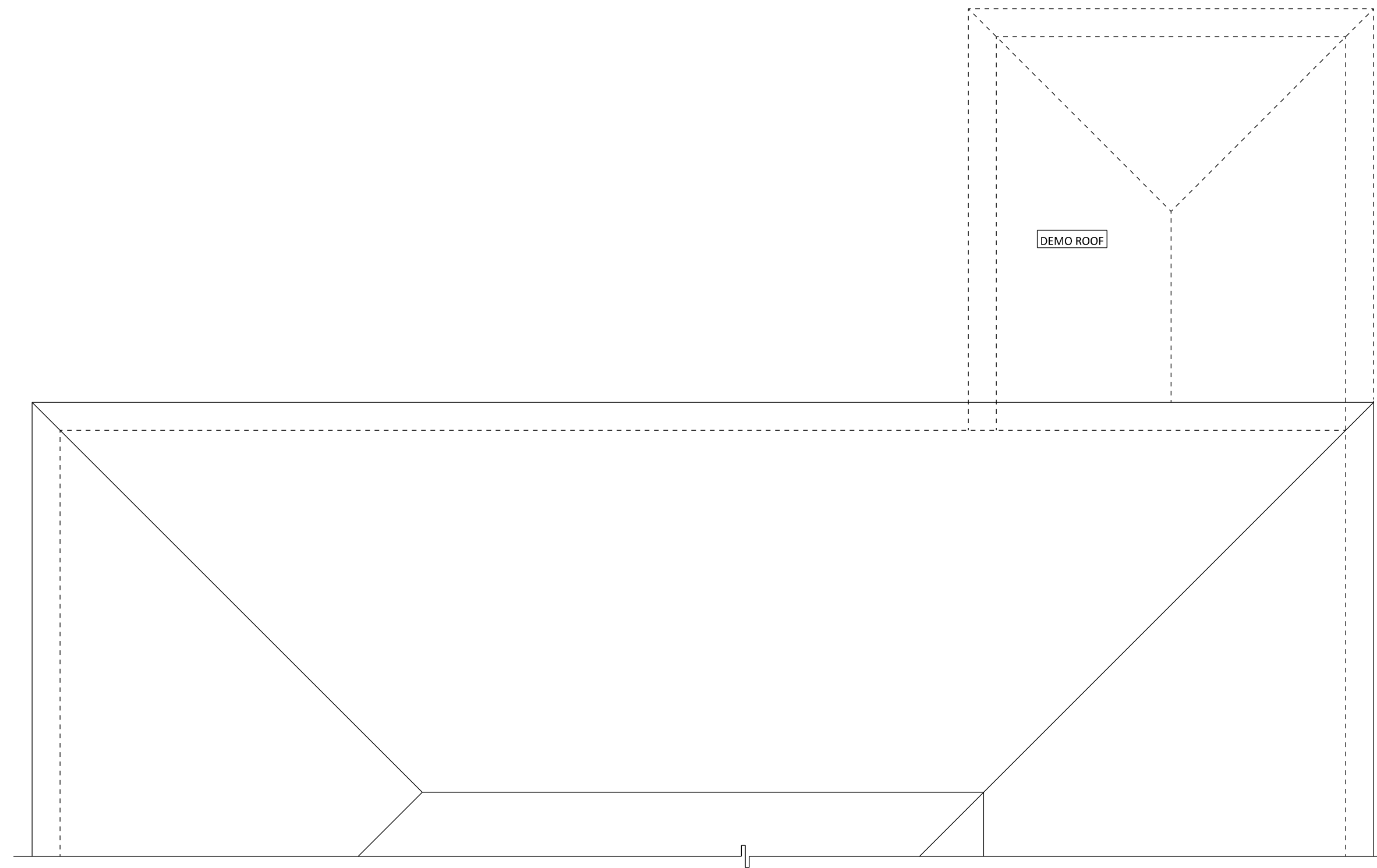
ONE STORY ADDITION FOR:
421 S. BRISTOL LANE
ARLINGTON HEIGHTS, ILLINOIS 60005

DATE
OCT 17, 2025
OCT 20, 2025
OCT 21, 2025
OCT 30, 2025
NOV 19, 2025
REVISION

JOB #

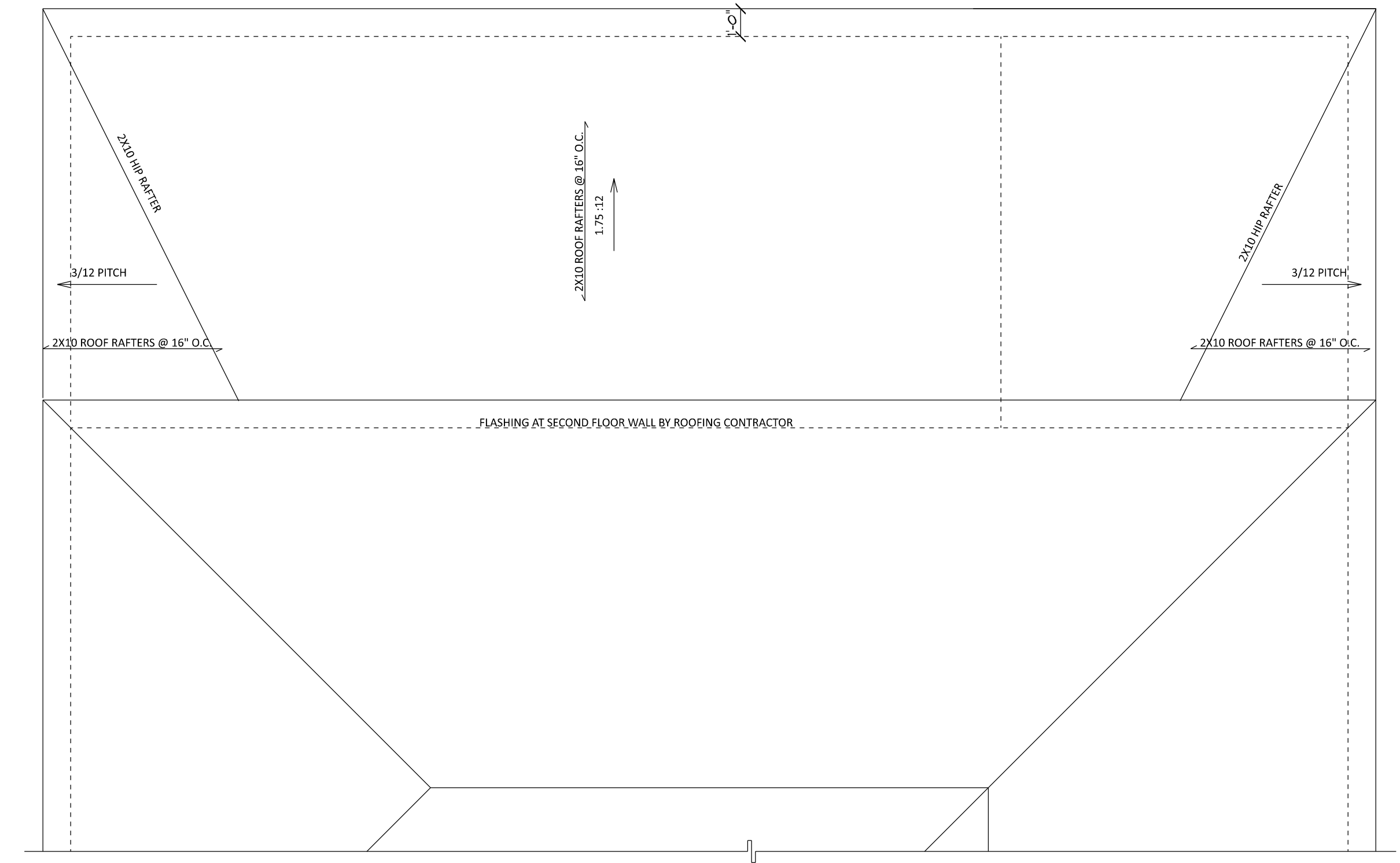
SHEET #

C



EXISTING/DEMO
ROOF PLAN

SCALE: 1/4" = 1' - 0"



PROPOSED
ROOF PLAN

SCALE: 1/4" = 1' - 0"

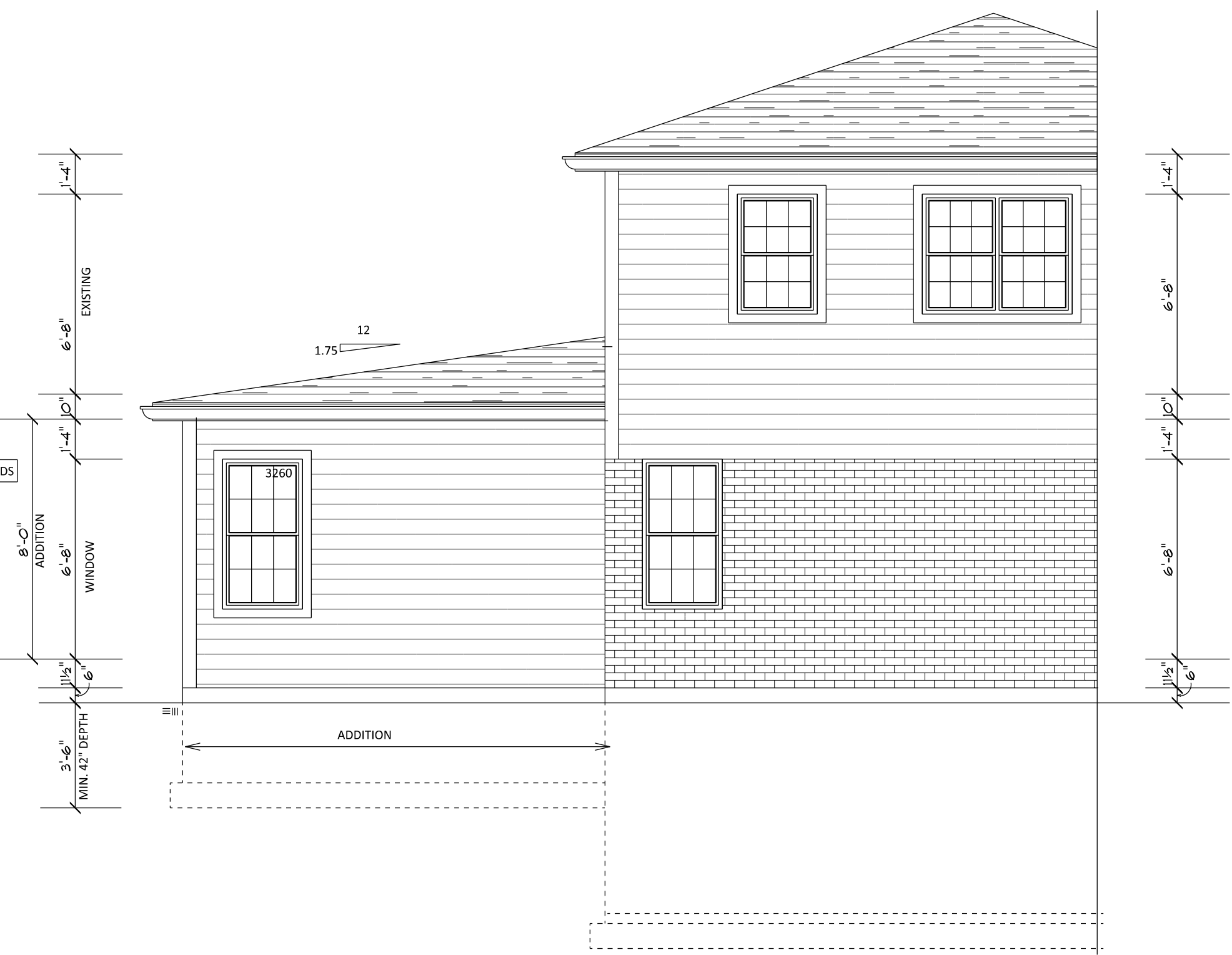
DATE	REVISION
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OCT 21, 2025	
OCT 30, 2025	
NOV 19, 2025	



REAR ELEVATION

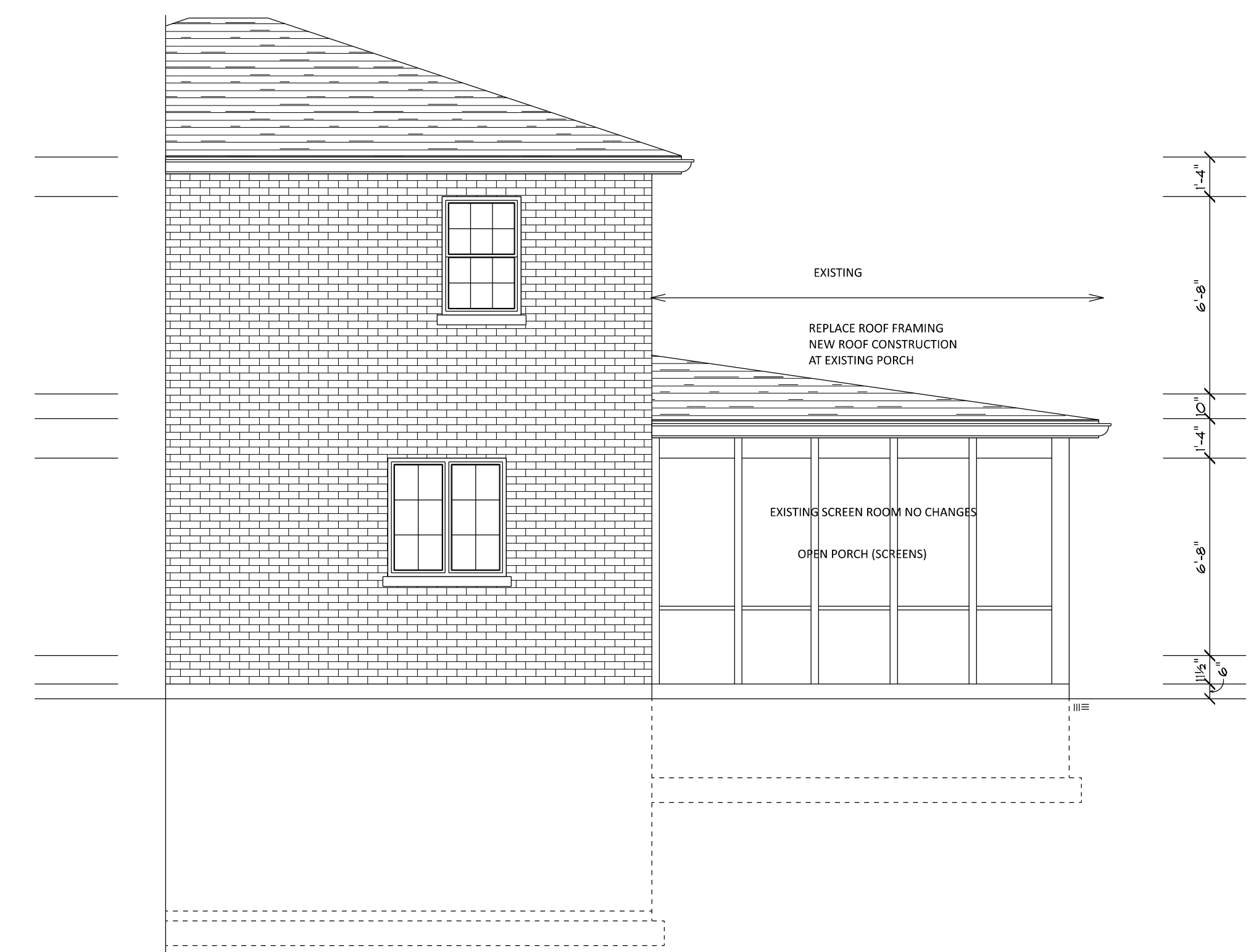
SCALE: 1/4" = 1' - 0"

ALL NEW WINDOWS TO HAVE A U-FACTOR OF 0.30 OR BETTER



LEFT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

DATE	REVISION
OCT 17, 2025	
OCT 20, 2025	
OCT 21, 2025	
OCT 30, 2025	
NOV 19, 2025	

GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES ORDINANCES, REGULATIONS AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
2. CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.
3. ALL INTERIOR BEARING WALLS TO BE 2 X 4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
4. PROVIDE 2" MIN. WOOD FIRESTOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS BETWEEN FLOORS AND ATTIC. PER INTERNATIONAL RESIDENTIAL CODE.
5. ALL JOISTS AND RAFTERS TO BE NO. 2 OR BETTER, E = 16, fb = 87.5 MIN DOUGLAS FIR LARCH OR CANADIAN SPF, E = 14 LB, fb = 87.5
6. ALL JOISTS TO HAVE MIN 2" BEARING ON WOOD OR STEEL.
MIN 3 1/2" ON MASONRY
7. 3) 2 X 10 HEADERS W/ 1/2" SHEATHING OVER ALL EXTERIOR OPENING UNLESS NOTED OTHERWISE
8. SILL SEALER UNDER ALL EXTERIOR WALLS
9. ALL FURNACE ROOMS TO BE DRYWALLED AND TAPED PRIOR TO INSTALLATION OF FURNACE.
10. HOLES MAY BE BORED THROUGH JOISTS MAX 2 1/2" DIA. WITH EDGES MINIMUM 2" FROM BOTTOM OR TOP OF JOISTS. EACH SIDE, 4'-0" CLEAR FRONT AND 6'-6" MAXIMUM HEADROOM INCLUDING PIPING
11. ALL WOOD SILL PLATES BEARING ON CONCRETE SHALL BE PRESSURE TREATED FOR ROT AND TERMITES.
12. ALL GLAZING SHALL BE PER INTERNATIONAL RESIDENTIAL CODE.
13. ALL CONTRACTORS SHALL CARRY WORKMANS COMMENDATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE. THE OWNER SHALL MAINTAIN FIRE EXTENDED COVERAGE AND BUILDERS RISK INSURANCE.
14. PROVIDE MIN 1/4" UNLAMEATED BOARD UNDER FLOOR AREAS THAT ARE TO HAVE FLOOR TILE.
15. APPROVED JOIST HANGERS ARE REQUIRED AS CONNECTORS.
16. STAIRS TO COMPLY TO INTERNATIONAL RESIDENTIAL CODE.
17. ALL STAIR RISERS TO BE A MAX. 7 3/4" HIGH AND TREADS TO BE MINIMUM 10" DEEP PER INTERNATIONAL RESIDENTIAL CODE. MAXIMUM DIFFERENCE BETWEEN THE TALLEST AND THE SMALLEST RISER SHALL BE NOT GREATER THEN 3/8". GRIPABLE STAIR RAILS SHALL BE LOCATED AT 2'-10" HEIGHT.
18. SAFETY GLAZING REQUIRED IN ALL HAZARDOUS LOCATION INCLUDING WINDOW WHERE AN EDGE IS WITHIN 24" OF EITHER EDGE OF A SWINGING DOOR, WINDOWS LOCATED LESS THAN 60" ABOVE THE STANDING SURFACE OF A TUB OR SHOWER, WINDOWS LOCATED LESS THAN 60" ABOVE A STAIRWAY LANDING OR WALKING SURFACE, WINDOWS WITH AN AREA OF GREATER THAN 9 SQUARE FOOT AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
19. WINDOWS LOCATED ABOVE FINISH GRADE 72" ABOVE FINISHED GRADE OR THE SURFACE BELOW SHALL NOT HAVE ANY OPENING LESS THAN 24" ABOVE THE FINISHED FLOOR IN THE ROOM OR HAVE OPENINGS THAT A 4" SPHERE CANNOT PASS.
20. ALL EXTERIOR WALLS, INCLUDING BEHIND BATH TUBS, SHALL HAVE CONTINUOUS AIR BARRIER.
21. CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.
22. EXTERIOR OR LOAD BEARING WALLS WITH PLATES, CUT DRILLED OR NOTED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAUGE AND 1 1/2" WIDE FASTENED TO EACH PLATE.
23. EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE.

INSULATION & AIR NOTES

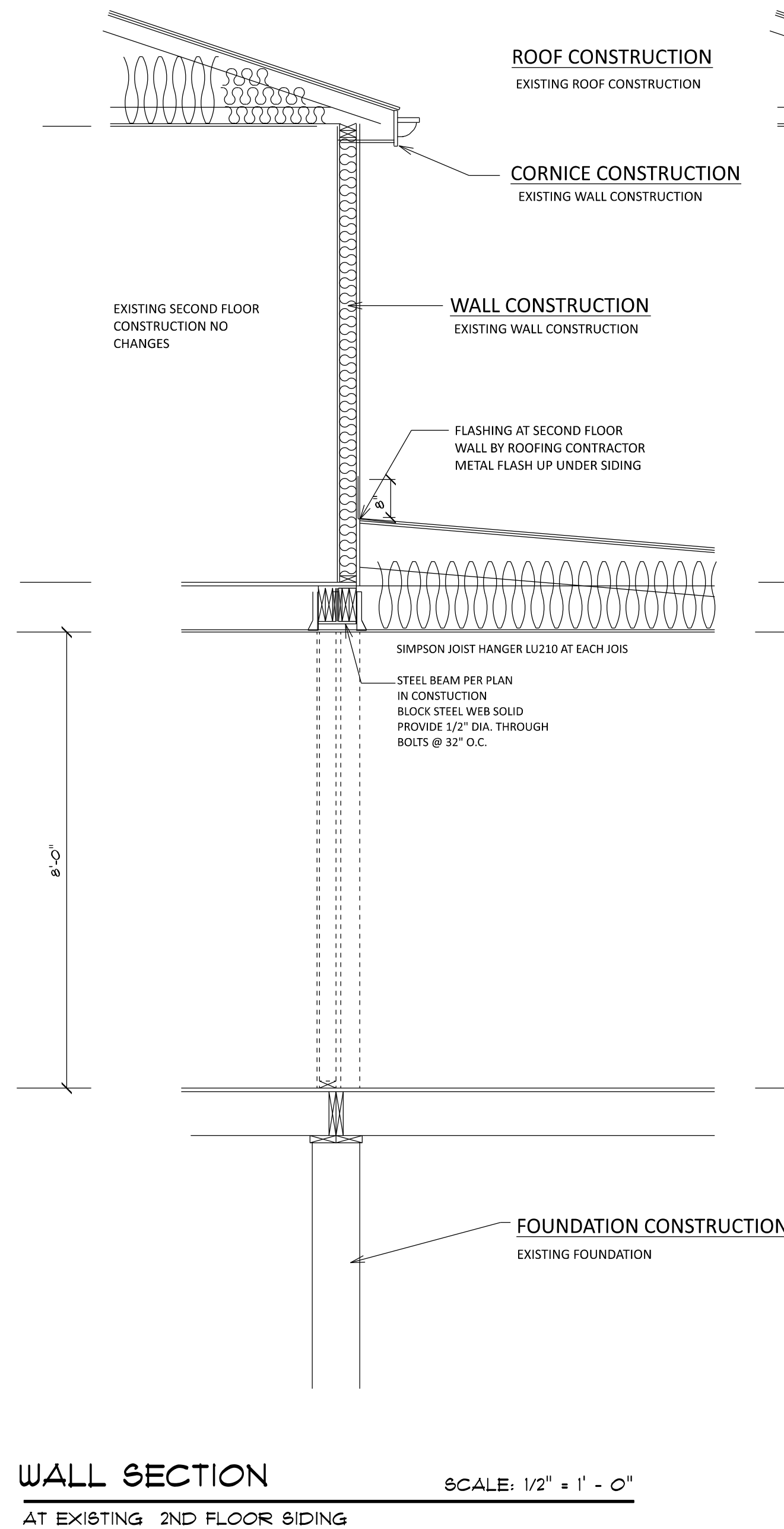
1. FOR BLOWN INSULATION OR SPRAYED INSULATION (FIBERGLASS AND CELLULOSE) INSTALLERS CERTIFICATION SHALL INCLUDE INSTALLED THICKNESS, SETTLED THICKNESS, SETTLED R-VALUE, INSTALLED DENSITY, COVERAGE AREA AND NUMBER OF BAGS SHALL BE LISTED ON CERTIFICATION.
2. FOR SPRAYED POLYURETHANE FOAM INSULATION THE INSTALLED THICKNESS OF THE AREAS COVERED AND R-VALUE OF INSTALLED THICKNESS BE POSTED ON THE CERTIFICATION. THE INSULATION INSTALLER SHALL SIGN AND DATE AND POST THE CERTIFICATION ON THE JOB SITE.
3. BLOWN IN OR SPRAYED ROOF/CEILING INSULATION SHALL BE WRITTEN IN INCHES ON MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 300 SQ. FT. THROUGHOUT THE ATTIC SPACE. THE MARKERS SHALL BE AFFIXED TO TRUSSES OR JOISTS
4. A PERMANENT CERTIFICATE SHALL BE POSTED SHALL BE POSTED ON OR IN THE ELECTRICAL DIST PANEL BY THE BUILDER. IT SHALL LIST THE FOLLOWING.
5. PREDOMINANT R-VALUE OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION WALL, SLAB, BASEMENT WALL, CRAWLSPACE WALL AND OR FLOOR, DUCTS OUTSIDE CONDITIONED SPACES AND U-FACTORS OF FENESTRATION.
6. RESULTS OF ANY REQUIRED DUCT SYSTEM, AND BUILDING ENVELOPE AIR LEAKAGE TEST, LIST TYPES AND EFFICIENCIES OF HEATING COOLING AND SERVICE WATER HEATING EQUIPMENT.
7. AIR BARRIER SHALL BE INSTALLED ON FIREPLACE TO HAVE GASKETED DOORS - FLUE TO BE WITH TIGHTFITTING DAMPER AND OUTDOOR COMBUSTION AIR.
8. THE FENESTRATION SHALL BE LISTED AND LABELED BY MANUFACTURE. MAXIMUM AIR INFILTRATION OF SWINGING DOORS IS .5 CFM PER SQ. FT.
9. THE BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AIR LEAKAGE NOT EXCEEDING THREE CHANGES PER HOUR AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. TESTING SHALL BE CONDUCTED WITH BLOWER DOOR AT A PRESSURE OF 50 PASCALS. A WRITTEN AIR LEAKAGE REPORT SHALL BE PROVIDED TO THE CODE OFFICIAL.
10. DUCT TIGHTNESS TEST SHALL BE EITHER POST CONSTRUCTION OR ROUGH-IN TEST (LEAKAGE LESS THAN OR EQUAL TO 4 CFM PER 100 SQ. FT. AT A PRESSURE DIFFERENTIAL 0.1 INCH W.G. (25 PASCAL))
11. AIR HANDLER MANUFACTURER TO CONFIRM AIR LEAKAGE OF NOT MORE THAN 2%
12. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.
13. SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3" DIAMETER AND GREATER AND R-6 WHERE LESS THAN 3" IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-6 WHERE 3" IN DIAMETER OR GREATER AND R-4.2" WHERE LESS THAN 3" DIAMETER.

ELEMENTS TO BE SEALED

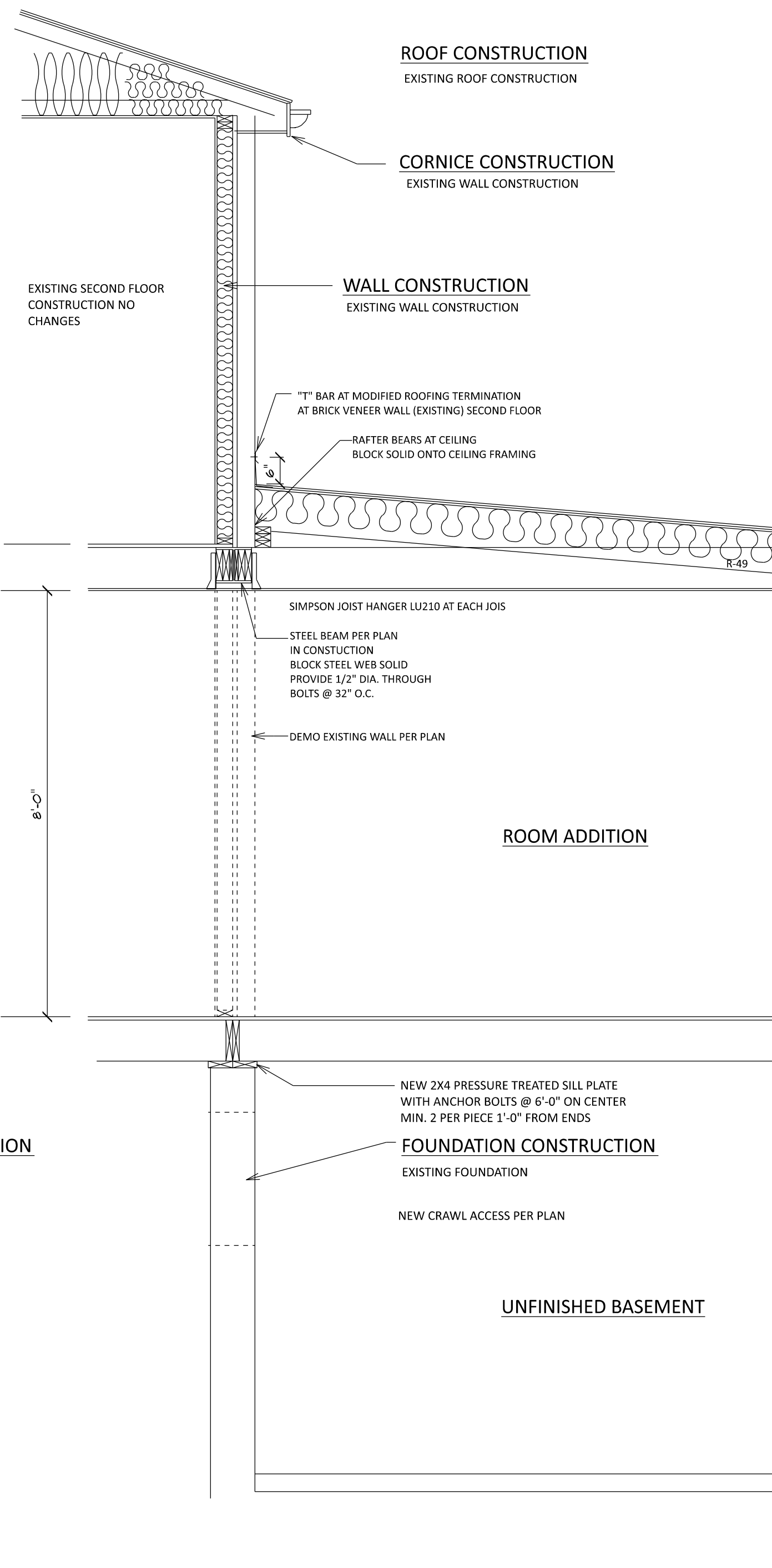
1. BREAKS IN JOINTS IN THE AIR BARRIER
2. ACCESS OPENINGS DROP DOWN STAIR OF KNEE WALL DOORS
3. UNCONDITIONED ATTIC SPACE
4. JUNCTION OF TOP PLATE AND TOP OF EXTERIOR WALL
5. JUNCTION OF FOUNDATION SILL PLATE
6. SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING
7. SPACE BETWEEN SKYLIGHT AND FRAMING
8. DUCT SHAFTS UTILITY PENETRATIONS AND FLUE SHAFTS OPENING TO EXTERIOR UNCONDITIONED SPACE
9. RECESSED LIGHT FIXTURES (AIRTIGHT, IC RATED)
10. HVAC REGISTER BOOTS THAT PENETRATE ENVELOPE
11. DUCTS, AIR HANDLERS AND FILTER BOXES
12. JOINTS AND SEAMS IN HVAC DUCTWORK
13. WALL CEILING AND DOOR BETWEEN GARAGE AND CONDITIONED SPACE

FIREBLOCKING NOTE:

- FIRE-BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE-BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS.
- A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS:
 1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
 - B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - D. OPENINGS AROUND VENTS, SILL PLATES WITH SECTION R302.2.
 - E. OPENINGS AROUND VENTS, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL, ASTM E136, TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
 - E. FOR THE FIRE-BLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
 - F. FIRE-BLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.



WALL SECTION
AT EXISTING 2ND FLOOR SIDING
SCALE: 1/2" = 1' - 0"



WALL SECTION
AT EXISTING 2ND FLOOR BRICK VENEER
SCALE: 1/2" = 1' - 0"

DRILLING AND NOTCHING

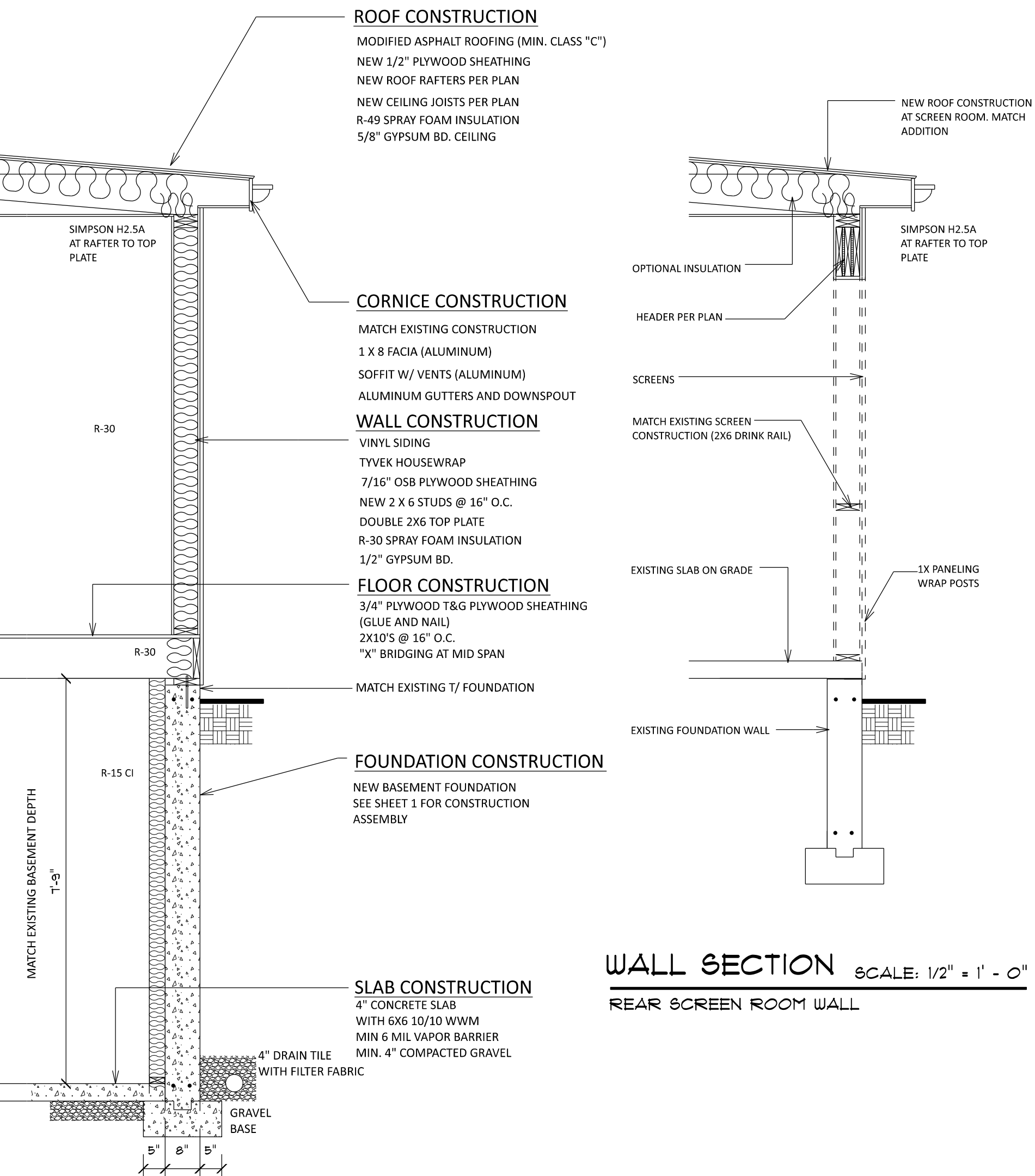
DRILLING AND NOTCHES IN SOLID LUMBER JOISTS AND RAFTERS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

- A. NOTCHING: IT SHALL NOT EXCEED ONE-SIXTH (1/3) OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD (1/3) OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD (1/3) OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH (1/4) THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS FOUR INCHES (4") OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS.
- B. DRILLING: THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD (1/3) THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN TWO INCHES (2") TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN TWO INCHES (2") TO THE NOTCH.

CUTS AND NOTCHES AND HOLES IN TRUSSES, STRUCTURAL COMPOSITE LUMBER ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS.

DRILLING AND NOTCHING OF STUDS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

- A. NOTCHING: ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING TWENTY-FIVE PERCENT (25%) OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED FORTY PERCENT (40%) OF A SINGLE STUD WIDTH.
- B. DRILLING: ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN SIXTY PERCENT (60%) OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN FIVE-EIGHTHS OF AN INCH (5/8") TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER FORTY PERCENT (40%) AND UP TO SIXTY PERCENT (60%) SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO (2) SUCCESSIVE DOUBLED STUDS BORED.



WALL SECTION
REAR SCREEN ROOM WALL
SCALE: 1/2" = 1' - 0"

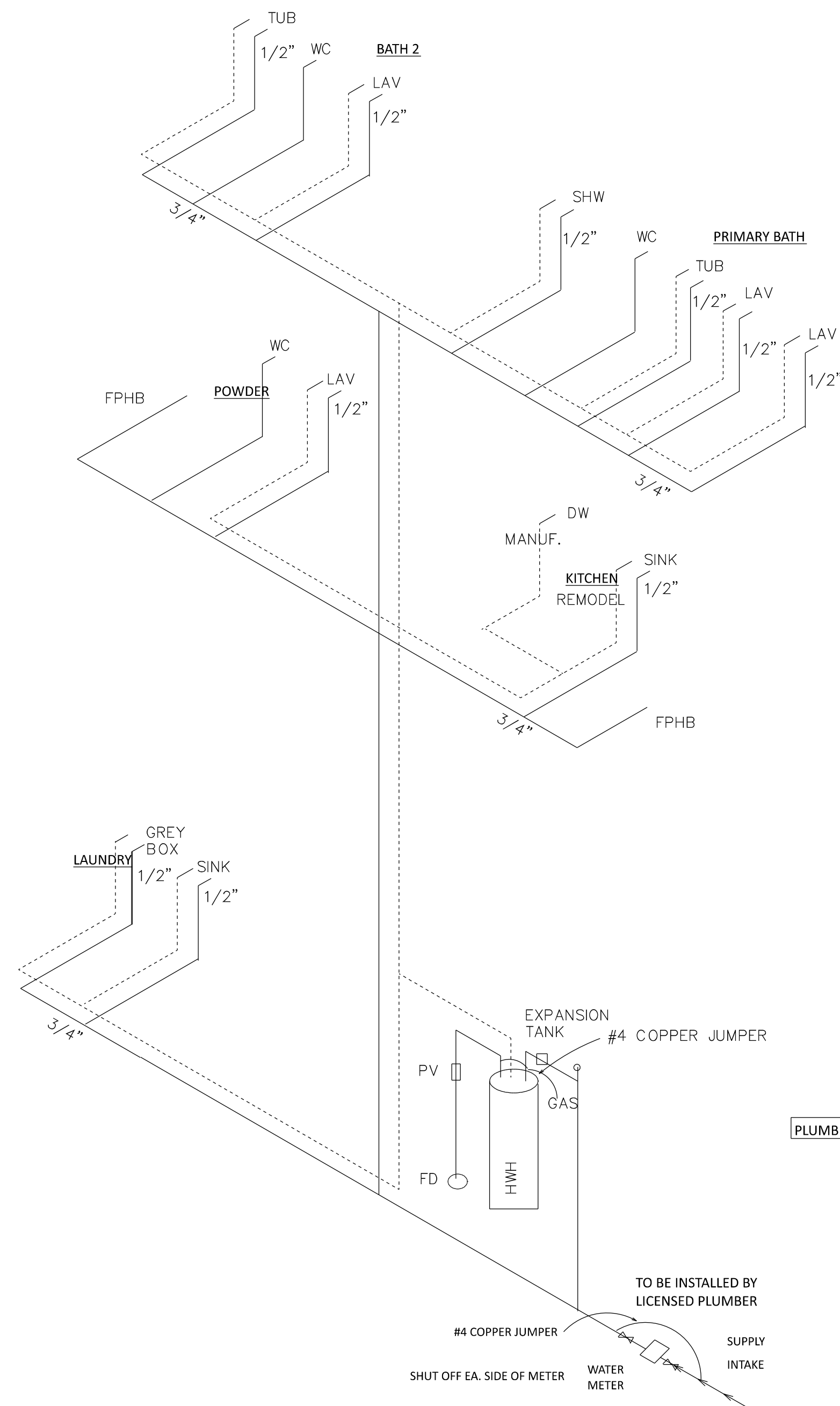
GINO ROMOZZI - ARCHITECT
117 S. COOK ST. STE. #275 BARRINGTON, IL 60010
847 - 707 - 2453 - ROMOZZIDESIGN@GMAIL.COM

ONE STORY ADDITION FOR:
421 S. BRISTOL LANE
ARLINGTON HEIGHTS, ILLINOIS 60005

DATE
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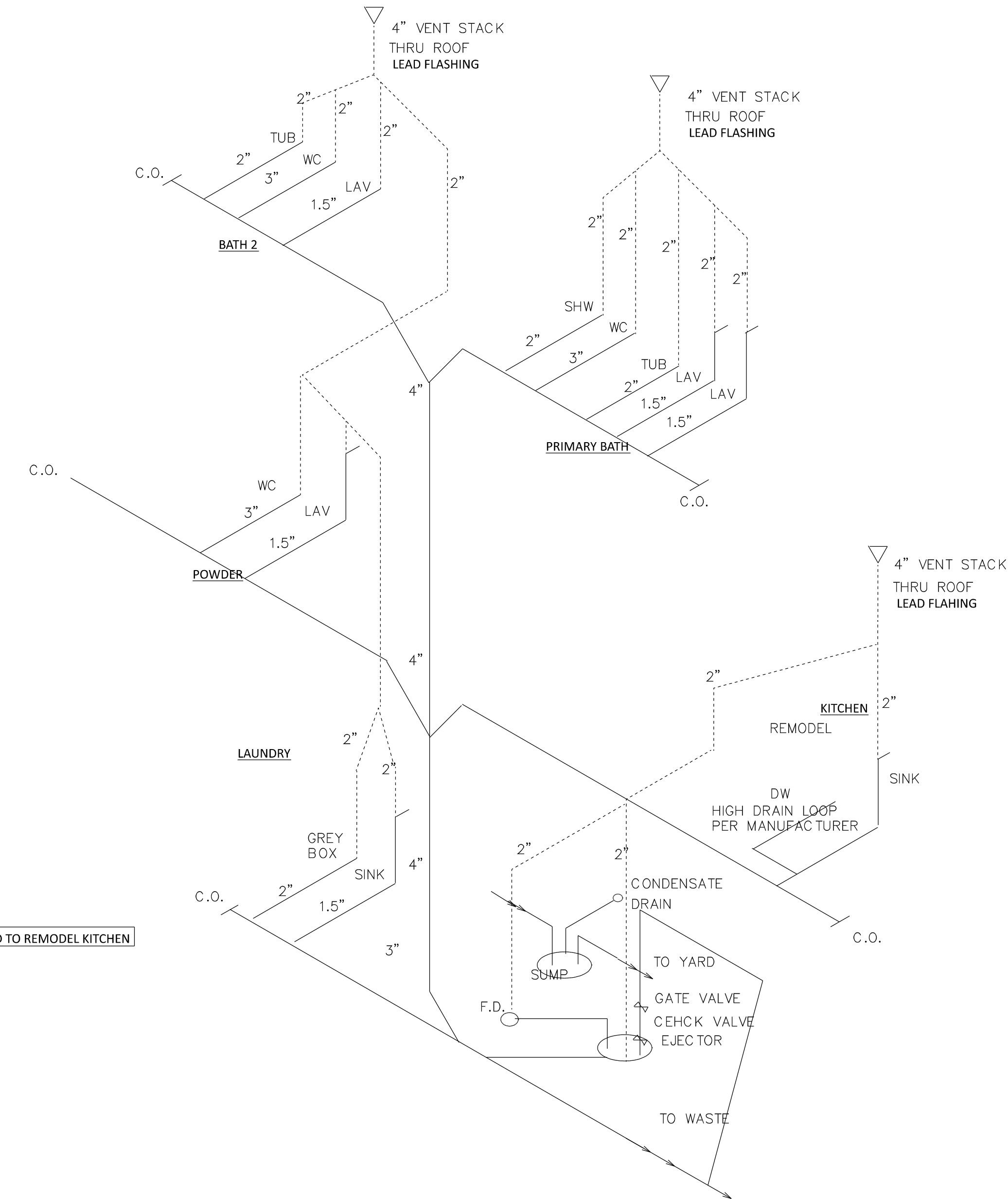
PLUMBING WORK IS LIMITED TO REMODEL KITCHEN

WATER SUPPLY DIA.

- ALL CHAMBERS 12"
 ABOVE GROUND TYPE 'L' OR 'M' COPPER
 BELOW GROUND TYPE 'K' COPPER
- PROVIDE AIR CHAMBERS AT ALL FIXTURES INCLUDING WATER CLOSET
 CHAMBERS 24" AT MAIN RISERS
- MINIMUM INSULATION ON HOT WATER PIPES TO BE R-3
- ON ALL PIPING LARGER THAN 3/4" NOMINAL DIAMETER
 - PIPING ON WATER HEATER TO KITCHEN OUTLETS
 - PIPING LOCATED OUTSIDE THE CONDITIONED SPACE
 - PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD
 - PIPING LOCATED UNDER A FLOOR SLAB
 - BURIED PIPING
 - SUPPLY AND RETURN PIPING IN A RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS
 - PIPING WITH RUN LENGTHS GREATER THAN THE MAXIMUM RUN LENGTHS FOR THE NOMINAL PIPE DIAMETER GIVEN IN IEC R403.4.2
 - ALL OTHER PIPING TO BE INSULATED TO AT LEAST R-3 OR MEET THE RUN LENGTH REQUIREMENTS OF TABLE R403.4.2

THE PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL SHOWER COMPARTMENTS AND SHOWER-BATH COMBINATIONS SHALL BE PROVIDED WITH AN AUTOMATIC SAFETY WATER MIXING DEVICE AND WILL COMPLY WITH ASSE 1016, ASSE 1017 OR ASSE 1070. THE SAFETY WATER-MIXING DEVICE SHALL BE ADJUSTED TO A MAXIMUM SETTING OF ONE HUNDRED AND FIFTEEN (115°) DEGREES FAHRENHEIT AT THE TIME OF INSTALLATION. (IPC 890.690 B)

THE PLUMBING CONTRACTOR SHALL FIELD VERIFY THE DRAIN, WASTE, VENT AND WATER DISTRIBUTION SYSTEM ARE PROPERLY SIZED.



WASTE & VENT. DIA.

WASTE AND VENT PIPING TO BE SCHEDULE 40 PVC, COPPER TYPE M, L OR K; OR CAST IRON
 ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE AND LOCAL ORDINANCES

A 3" FULL SIZE STACK IS REQUIRED FOR WATER CLOSET UNLESS RE-VENTED BACK TO MAIN FULL SIZE STACK WITHIN 20 FEET.

PER 2014 ILLINOIS PLUMBING CODE SECTION 890 APPENDIX A TABLE M:

FIXTURE	SUPPLY FEATURE UNITS
PRIMARY BATH SHOWER	2
TUB	2
WATER CLOSET	3
LAUNDRY	1
BATH 2 TUB	2
WATER CLOSET	3
LAUNDRY	1
POWDER WATER CLOSET	3
LAUNDRY	1
KITCHEN SINK	2
DISHWASHER	1
LAUNDRY WASHER	2
SINK	2
TOTAL	26

WATER SERVICE SIZE CALCULATION

















VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
2/9/2026**

Item: 611 E. Fairview St. - ZBA25-050
Department: Planning & Community Development

Item Description:

REQUEST

1. A 1.0-foot variation from Chapter 28, Section 5.1-3.3(a) Required Minimum Yards; Side Yard to construct a room addition setback 4-feet from the side lot line where a minimum side setback of 5.0-feet is required.
2. A 1,123 square-foot variation from Chapter 28, Section 5.1-3.4 Maximum Floor Area Ratio to allow a total floor area of 4,085 square-feet where 2,962 square-feet is the maximum.
3. A 239 square-foot variation from Chapter 28, Section 5.1-3.5(a) Maximum Building Lot Coverage to allow a total building lot coverage of 2,543 square-feet where 2,304 square-feet is the maximum.

ATTACHMENTS:

1. 611 E. Fairview St._Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: February 9, 2026
Date Prepared: January 7, 2026
Project Title: House Residence
Address: 611 E. Fairview St.

Background Information

Petition Number: ZBA #25-050
Petitioner: Robert Flubacker Architects
Address: 1895 Rohlwing Rd, Suite B
Rolling Meadows IL 60008

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

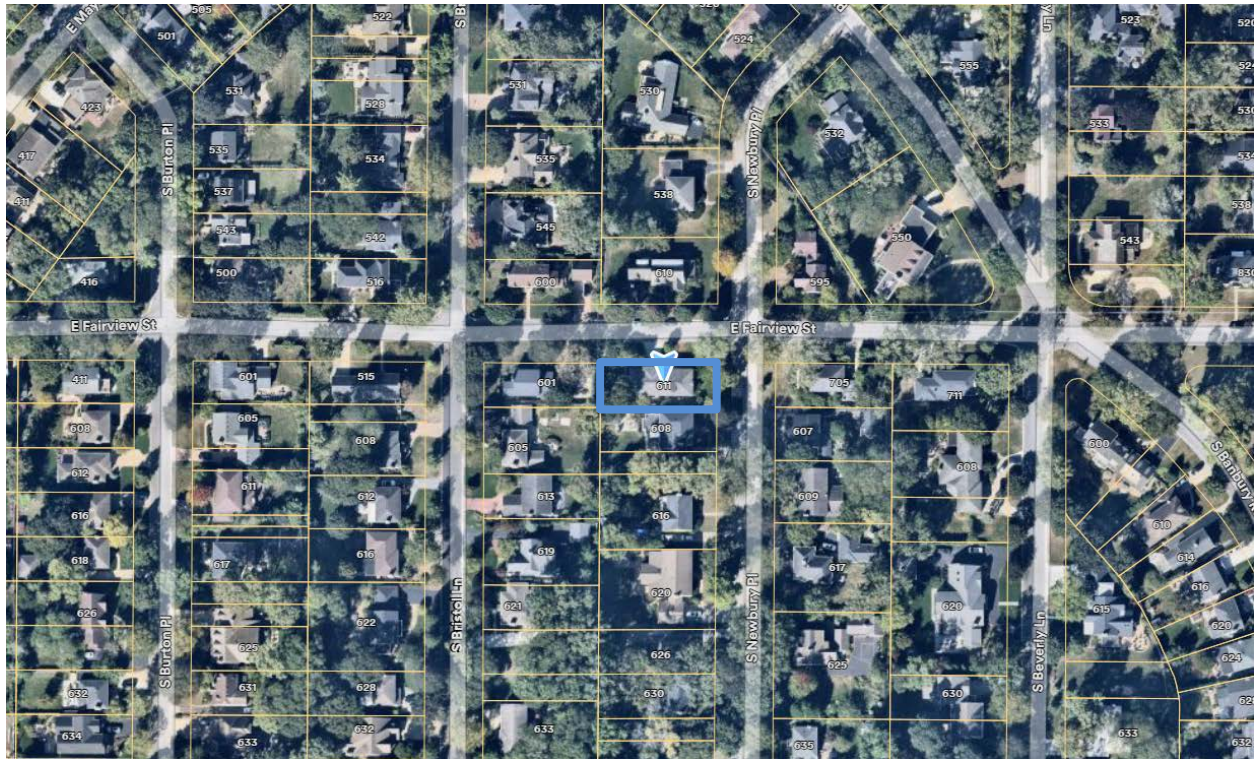
The petitioner is proposing a one-story addition along the southern elevation on the subject property. The 155-square-foot addition is located in the interior side yard of the corner property and will encroach 1-foot into the required 5.0-foot side yard setback. The existing home is already greater than the maximum floor area ratio and building lot coverage allowance established by the R-3 District. The existing floor area is 3,930 square-feet where the maximum allowance is 2,962 square-feet; and the existing building lot coverage is 2,388 square-feet where the maximum allowance is 2,304 square-feet. This proposed addition will increase these existing non-compliant conditions. The property did receive Zoning Board approval of variances for building lot coverage and floor area ratio in 2002 for a similar sized building addition and again in 2020. In both cases, the ZBA granted approval of the variances; however, the addition was never constructed and thus the approved variances expired. Pursuant to Chapter 6, Section 6-202(e)(5), no order of the ZBA permitting an addition or alteration shall be valid for more than one year. Therefore, the petitioner is requesting the following variances:

- A 1.0-foot variation from Chapter 28, Section 5.1-3.3(a) Required Minimum Yards; Side Yard to construct a room addition setback 4-feet from the side lot line where a minimum side setback of 5.0-feet is required.
- A 1,123 square-foot variation from Chapter 28, Section 5.1-3.4 Maximum Floor Area Ratio to allow a total floor area of 4,085 square-feet where 2,962 square-feet is the maximum.
- A 239 square-foot variation from Chapter 28, Section 5.1-3.5(a) Maximum Building Lot Coverage to allow a total building lot coverage of 2,543 square-feet where 2,304 square-feet is the maximum.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/22/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/22/25	
3. Letter that was Mailed	✓	12/22/25	
4. Photographs of Sign on Property	✓	12/22/25	

Photographs of Existing Structure



NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, February 9, 2026, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

• A 1.0-foot variation from Chapter 28, Section 5.1-3.3(a) Required Minimum Yards; Side Yard to construct a room addition setback 4-feet from the side lot line where a minimum side setback of 5.0-feet is required.

• A 1,123 square-foot variation from Chapter 28, Section 5.1-3.4 Maximum Floor Area Ratio to allow a total floor area of 4,085 square-feet where 2,962 square-feet is the maximum.

• A 239 square-foot variation from Chapter 28, Section 5.1-3.5(a) Maximum Building Lot Coverage to allow a total building lot coverage of 2,543 square-feet where 2,304 square-feet is the maximum.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planningmail@vah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 635 in Scarsdale, being a subdivision of part of the west 1/2 of the east 1/2 and part of the east 1/2 of the west 1/2 of Section 32, Township 42 North, Range 11, east of the third principal meridian, in Cook County, Illinois.

Commonly known as: 611 E. Fairview Street, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals

Published in Daily Herald January 24, 2026 (319542)

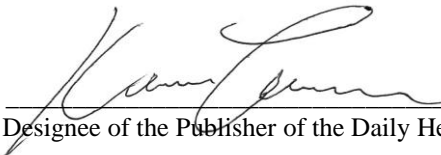
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 01/24/2026 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 319542



Village of Arlington Heights



To: Robert Flubacker
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-050
Project: 611 E. Fairview Street
Date: January 6, 2026

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 1.0-foot variation from Chapter 28, Section 5.1-3.3(a) Required Minimum Yards; Side Yard to construct a room addition setback 4-feet from the side lot line where a minimum side setback of 5.0-feet is required.
- A 1,123 square-foot variation from Chapter 28, Section 5.1-3.4 Maximum Floor Area Ratio to allow a total floor area of 4,085 square-feet where 2,962 square-feet is the maximum.
- A 239 square-foot variation from Chapter 28, Section 5.1-3.5(a) Maximum Building Lot Coverage to allow a total building lot coverage of 2,543 square-feet where 2,304 square-feet is the maximum.

If you have any questions, please contact dosoba@vah.com:

Planning and Community Development – Steve Hautzinger

1. The proposed small additions do not raise appearance concerns. However, exterior elevations need to be provided for review.

Building and Life Safety – Alex Kang

1. Approved with Note: 1. A 1-hour fire-resistance rating is required for the exterior wall of the addition, as the fire separation distance is less than 5 feet.

Engineering – Joe Munno

1. No comments.

ZONING BOARD OF APPEALS

PETITION

NOW COMES the Petitioner, **Robert Flubacker**, being the petitioner of the property commonly known as: **611 East Fairview Street**, and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a variation from, **Section 5.1-3.3(b) Required Minimum Yards, Section 5.1-3.4 Maximum Floor Area Ratio and Section 5.1-3.5(a) Maximum Building Lot Coverage**, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Construct a one-story room addition in which:

- 1. Encroaches 1.0 feet into the required 5.00 foot interior side yard setback.**
- 2. Exceeds allowable Floor Area Ratio (F.A.R.) of 2,962 sq.ft. by 1,123 sq.ft.**
- 3. Exceeds allowable Building Lot Coverage of 2,304 sq.ft. by 239 sq.ft.**

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variations were granted:

The use of the existing house is not changing and the surrounding neighborhood has single-family homes of a widely varied mix of sizes and shapes. The proposed addition enhances the existing architectural character of the home and maintains its compatibility with the neighborhood. The proposed addition minimally expands the existing house without altering the essential character of the existing home.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned:

Due to the unique design of the existing house, with the garage in the middle of the plan, additional space is needed behind the garage to provide a space wide enough to meet the needs of this caliber of home.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter:

The new addition is small enough that there is no significant alteration of the existing conditions. The proposed distance between the new addition and the existing house to the south is greater than the minimum combined side yards would require.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property:

The proposed design is meant to convert the current living room to a guest suite (for various family members) and correct a substandard kitchen and dining room arrangement. The submitted design, in our opinion, is the most efficient to provide the required spaces.

Signed: _____
Petitioner



Date: _____

11.24.25.

ZONING BOARD OF APPEALS

PROJECT DESCRIPTION

611 E. Fairview St.:

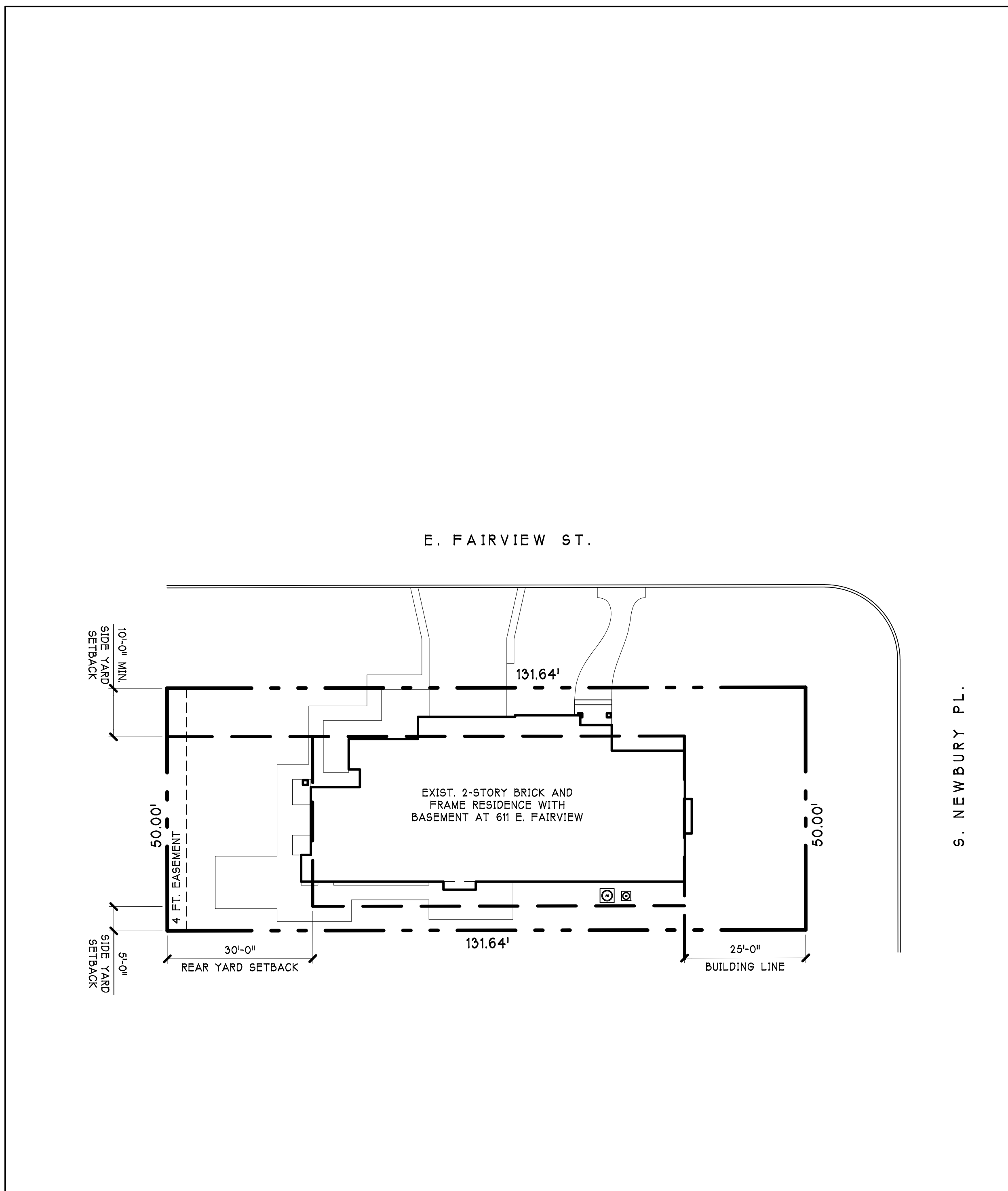
The purpose of this request is for a variance from the Arlington Heights Municipal Code, Chapter 28 (Zoning Regulations), **Section 5.1-3.3(b) Required Minimum Yards, Section 5.1-3.4 Maximum Floor Area Ratio and Section 5.1-3.5(a) Maximum Building Lot Coverage**, in order to:

Construct one-story masonry additions which:

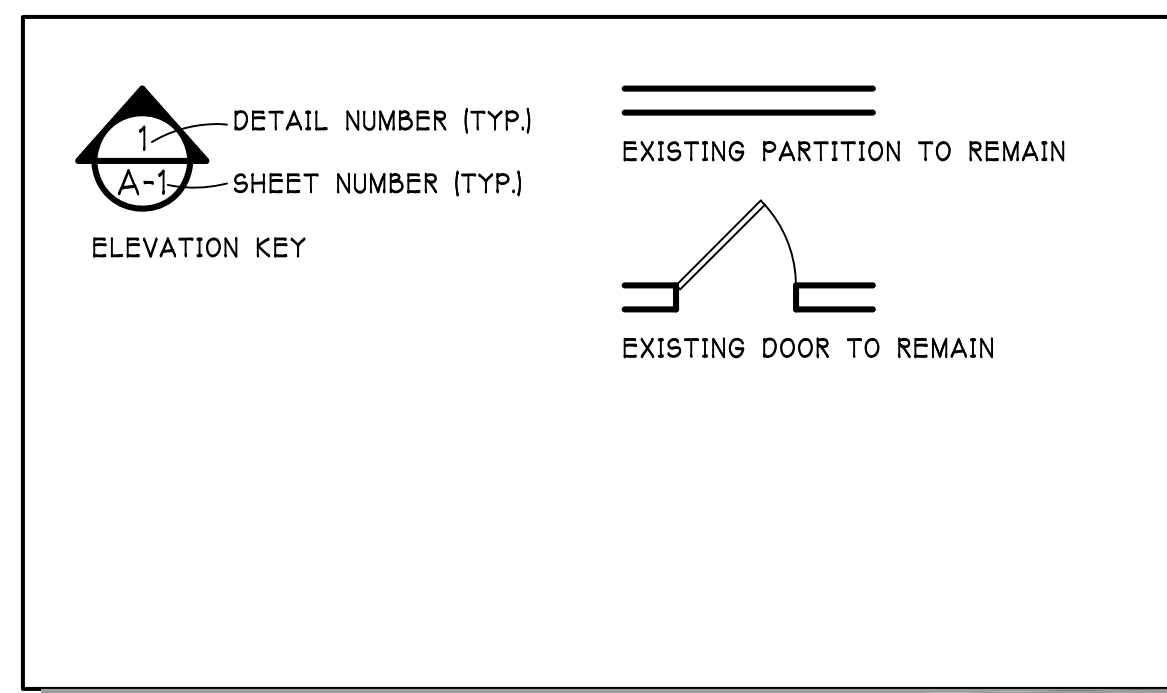
- 1. Encroaches 1.0 feet into the required 5.00 foot interior side yard setback.**
- 2. Exceeds allowable Floor Area Ratio (F.A.R.) of 2,962 sq.ft. by 1,123 sq.ft.**
- 3. Exceeds allowable Building Lot Coverage of 2,304 sq.ft. by 239 sq.ft.**

ALTERATIONS AND ADDITIONS FOR
THE HOUSE RESIDENCE
 611 E. FAIRVIEW ST.
 ARLINGTON HTS., ILLINOIS 60005

SITE PLAN

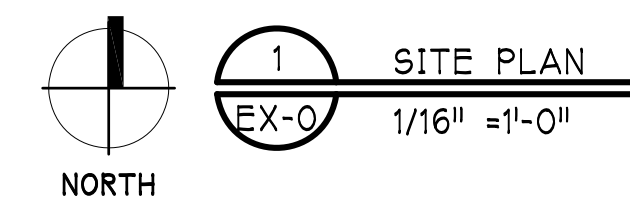


SYMBOLS

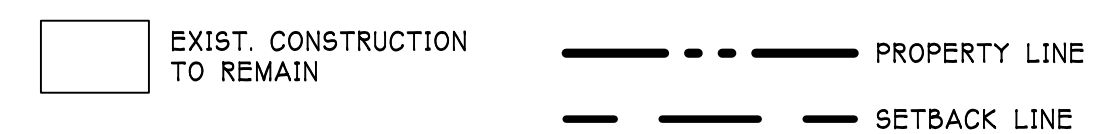


LIST OF DRAWINGS

EX-0	TITLE SHEET / EXIST. SITE PLAN
EX-1	EXIST. FIRST FLOOR PLAN
EX-2	EXIST. BASEMENT PLAN / EXIST. SECOND FLOOR PLAN
EX-3	EXIST. EXTERIOR ELEVATIONS
EX-4	EXIST. EXTERIOR ELEVATIONS

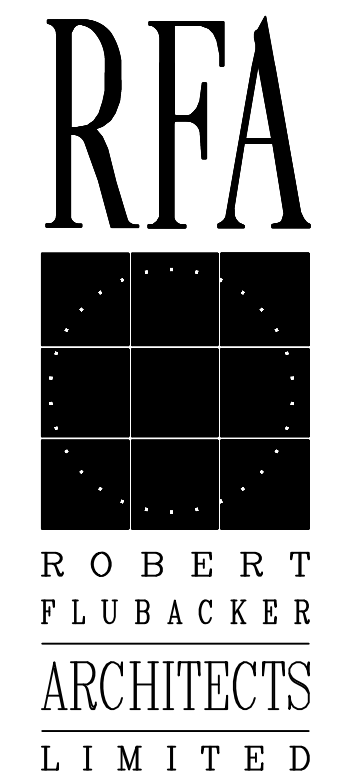


SITE PLAN LEGEND:



CODE REVIEW

PIN	03-32-400-014-0000		
ZONING	R-3 SINGLE-FAMILY		
LOT AREA	6,582 SQ.FT.		
BUILDING AREAS	EXISTING	ALLOWED	PROPOSED
FIRST FLOOR	1,934 SQ.FT.		
SECOND FLOOR	1,979 SQ.FT.		
ATTACHED GARAGE	417 SQ.FT.		
FRONT PORCH	37 SQ.FT.		
DRIVEWAY	96 SQ.FT.		
ADDITIONAL IMPERVIOUS ACCESSORY STRUCTURES	698 SQ.FT.		
	NONE		
FLOOR AREA RATIO (FAR)	3,930 SQ.FT.	2,962 SQ.FT.	
BUILDING LOT COVERAGE	2,388 SQ.FT.	2,304 SQ.FT.	35%
IMPERVIOUS SURFACE COVER.	3,182 SQ.FT.	3,620 SQ.FT.	55%
BUILDING HEIGHT	21.67 FT.	25 FT.	



1895-B Rohlwing Rd.
 Rolling Meadows,
 Illinois 60008
 847-704-3200
 IL Design Firm
 #184.001489
 Expires: 4/30/2027

ALTERATIONS AND ADDITION FOR
THE HOUSE RESIDENCE
 611 E. FAIRVIEW ST.
 ARLINGTON HTS., ILLINOIS 60005

Date	Description
9/3/25	PLANS
9/8/25	ELEVS

© 2025 R.F.A. LTD.
 Project Number
 25017

EX-0

ALTERATIONS AND ADDITIONS FOR THE HOUSE RESIDENCE 611 E. FAIRVIEW ST. ARLINGTON HTS., ILLINOIS

ABBREVIATIONS

•	AT	EXP.	EXPANSION	P.LAM.	PLASTIC LAMINATE
•	ANGLE	F.D.	FLOOR DRAIN	P.LYWD.	PLYWOOD
SS	FIVE SHELVES	F.F.	FINISH FLOOR	P.S.F.	POUNDS PER SQUARE FOOT
A/C	AIR CONDITIONING	FIN.	FINISH	P.S.I.	POUNDS PER SQUARE INCH
ADJ.	ADJUSTABLE	FIXT.	FIXTURE	PSL	PARALLEL STRAND LUMBER
A.F.F.	ABOVE FINISH FLOOR	FND.	FOUNDATION	PVC.	POLYVINYL CHLORIDE
ALT.	ALTERNATE	F.O.C.	FACE OF CONCRETE	R.	RADIUS
ALUM.	ALUMINUM	F.O.S.	FACE OF STUD	R.D.	ROOF DRAIN
APPROX.	APPROXIMATE	FRZ.	FREEZER	R.R.	ROOF RAFTERS
ARCH.	ARCHITECTURAL	F.S.	FOOTING SUMP	R&S	ROD & SHELF
B/	BOTTOM OF	FTG.	FOOTING	REBAR.	REINFORCING BAR
BD.	BOARD	FURN.	FURNACE	REF.	REFRIGERATOR
B.I.	BUILT-IN	GA.	GAUGE	REG.	REGULAR
BLDG.	BUILDING	GALV.	GALVANIZED	REINFC.	REINFORCE
B.O.	BY OWNER	GLU-LAM.	GLUE LAMINATED BEAM	RM.	ROOM
BRG.	BEARING	GYP.BD.	GYPSUM BOARD	R.O.	ROUGH OPENING
C.	CARPET	HGT.	HEIGHT	S.C.	SOLID CORE
CAB.	CABINET	H.M.	HOLLOW METAL	SECT.	SECTION
C.I.	CAST IRON	HORZ.	HORIZONTAL	SH.	SINGLE-HUNG CLOSET ROD
C.J.	CONSTRUCTION JOINTS	HTS.	HEATING	SIM.	SIMILAR
CL.	CENTER LINE	H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING	S.P.	SUMP PIT
CLG.	CEILING	H.W.	HOT WATER	SPEC.	SPECIFICATION
C.M.U.	CONCRETE MASONRY UNIT	INSUL.	INSULATION	SQ.	SQUARE
C.O.	CASED OPENING/ CLEAN OUT	INT.	INTERIOR	STD.	STANDARD
COL.	COLUMN	LAM.	LAMINATE	STL.	STEEL
CONC.	CONCRETE	LAV.	LAVATORY	STOR.	STORAGE
CONST.	CONSTRUCTION	LVL.	LAMINATED VENEER LUMBER	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	MAX.	MAXIMUM	SUSP.	SUSPENDED
C.T.	CERAMIC TILE	M.C.	MEDICINE CABINET	TJ	TOP OF
C.W.	COLD WATER	MCH.	MECHANICAL	T&B	TOP & BOTTOM
D.	DRYER	MECH.	MEDIUM	T.&G.	TONGUE & GROOVE
DEMO.	DEMOLITION	M.F.	MICROWAVE	TEL.	TELEPHONE
D.H.	DOUBLE-HUNG CLOSET RODS	MIN.	MINIMUM	TEL.	TO MATCH EXIST.
DIA.	DIAMETER	MISC.	MISCELLANEOUS	T.O.P.	TOP OF PLATE
DIM.	DIMENSION	M.O.	MASONRY OPENING	TV.	TELEVISION
DISP.	DISPOSAL	MTL.	METAL	TYP.	TYPICAL
DIV.	DIVISION	N.F.H.B.	NON-FREEZE HOSE BIBB	U.O.N.	UNLESS OTHERWISE NOTED
DN.	DOWN	N.I.C.	NOT IN CONTRACT	V.C.T.	VINYL COMPOSITION TILE
D.S.	DOWN SPOUT	NO.	NUMBER	VERT.	VERTICAL
D.W.	DISHWASHER	NOM.	NOMINAL	VENT.	VENT THRU ROOF
EA.	EACH	N.S.	NOT TO SCALE	W/	WITH
E.I.P.S.	EXTERIOR INSULATION AND FINISH SYSTEM	N.T.S.	NOT TO SCALE	W.	WASHER
ELECT.	ELECTRICAL	O.A.	OVER ALL	W.C.	WATER CLOSET
ELEV.	ELEVATION	O.C.	ON CENTER	WD.	WOOD
EQ.	ELECTOR PIT/SUMP	O.H.	OVERHANG	WDW.	WINDOW
EQ.	EQUIPMENT	OP.	OPPOSITE	WH.	WATER HEATER
EQU.	EQUIVALENT	OPP.	OPPOSITE	W.I.C.	WALK-IN CLOSET
EW.	EACH WAY	OV.	OVEN	W/O	WITHOUT
EXIST.	EXISTING	PERF.	PERFORATED	WT.	WEIGHT
		PL.	PLATE	W.W.F.	WELDED WIRE FABRIC

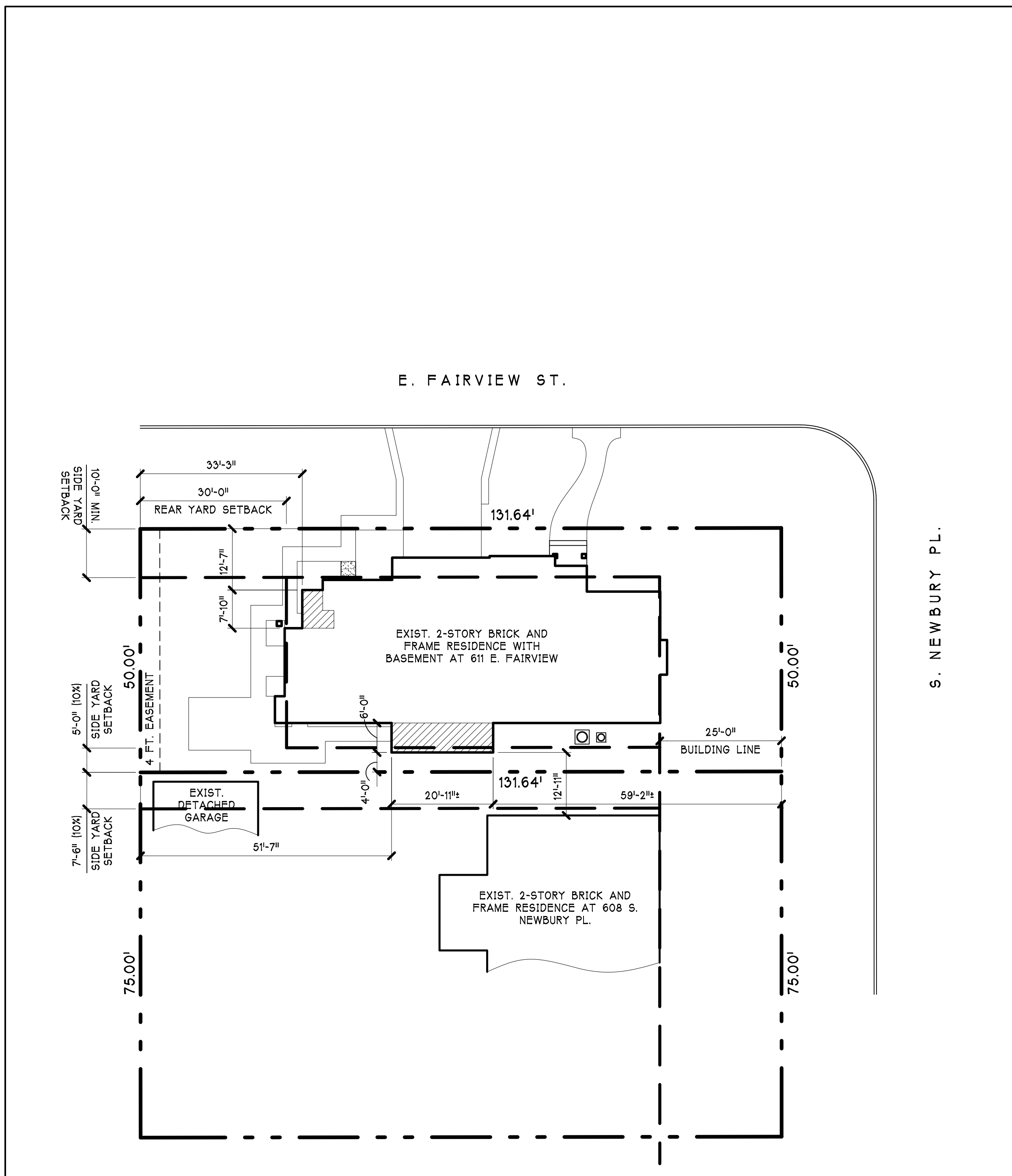
LIST OF DRAWINGS

A-0	TITLE SHEET
A-1	FIRST FLOOR PLAN
A-2	EXTERIOR ELEVATIONS

SYMBOLS

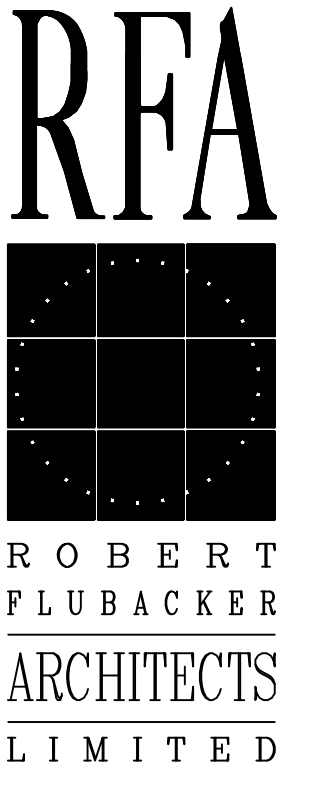
	DETAIL NUMBER [TYP.]		EXISTING PARTITION TO REMAIN
	SHEET NUMBER [TYP.]		NEW FRAMED PARTITION
	ELEVATION KEY		
	ROOM NAME		

SITE PLAN



CODE REVIEW

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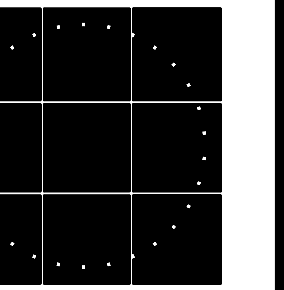
1895-B Rohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200
Il. Design Firm
#184.001489
Expires: 4/30/2027

ALTERATIONS AND ADDITION FOR
THE HOUSE RESIDENCE
611 E. FAIRVIEW ST.
ARLINGTON HTS., ILLINOIS 60005

Date Description
11/25/25 ZBA

A-0

RFA



ROBERT
FLUBACKER
ARCHITECTS
LIMITED

1895-B Rohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

IL Design Firm
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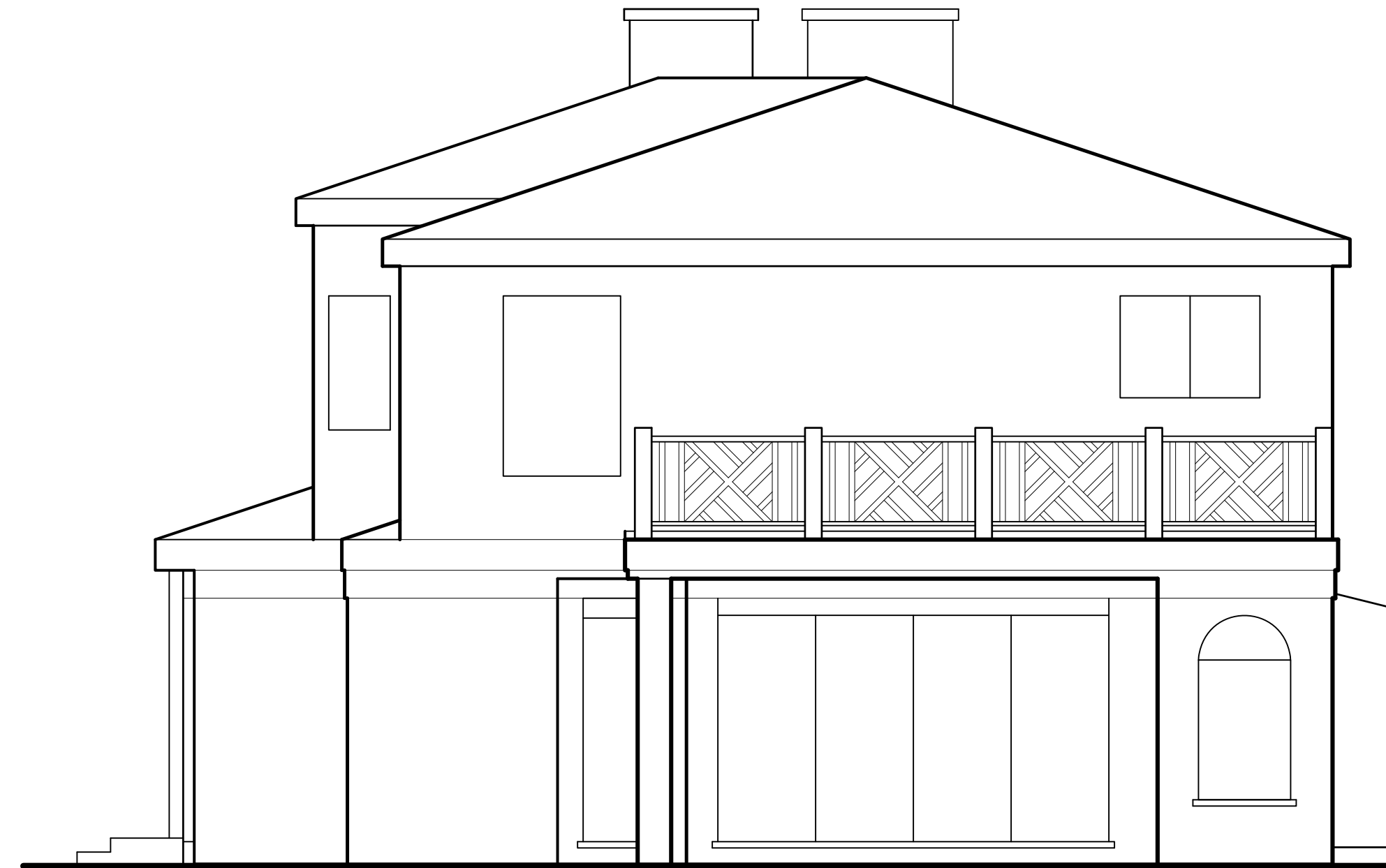
ALTERATIONS AND ADDITION FOR
THE HOUSE RESIDENCE
611 E. FAIRVIEW ST.
ARLINGTON HTS., ILLINOIS 60005

Date	Description
09/10/25	ELEVS.

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Project Number
25017

EX-4



3 EXIST. WEST ELEVATION
EX-4 1/4" = 1'-0"



4 EXIST. EAST ELEVATION
EX-4 1/4" = 1'-0"

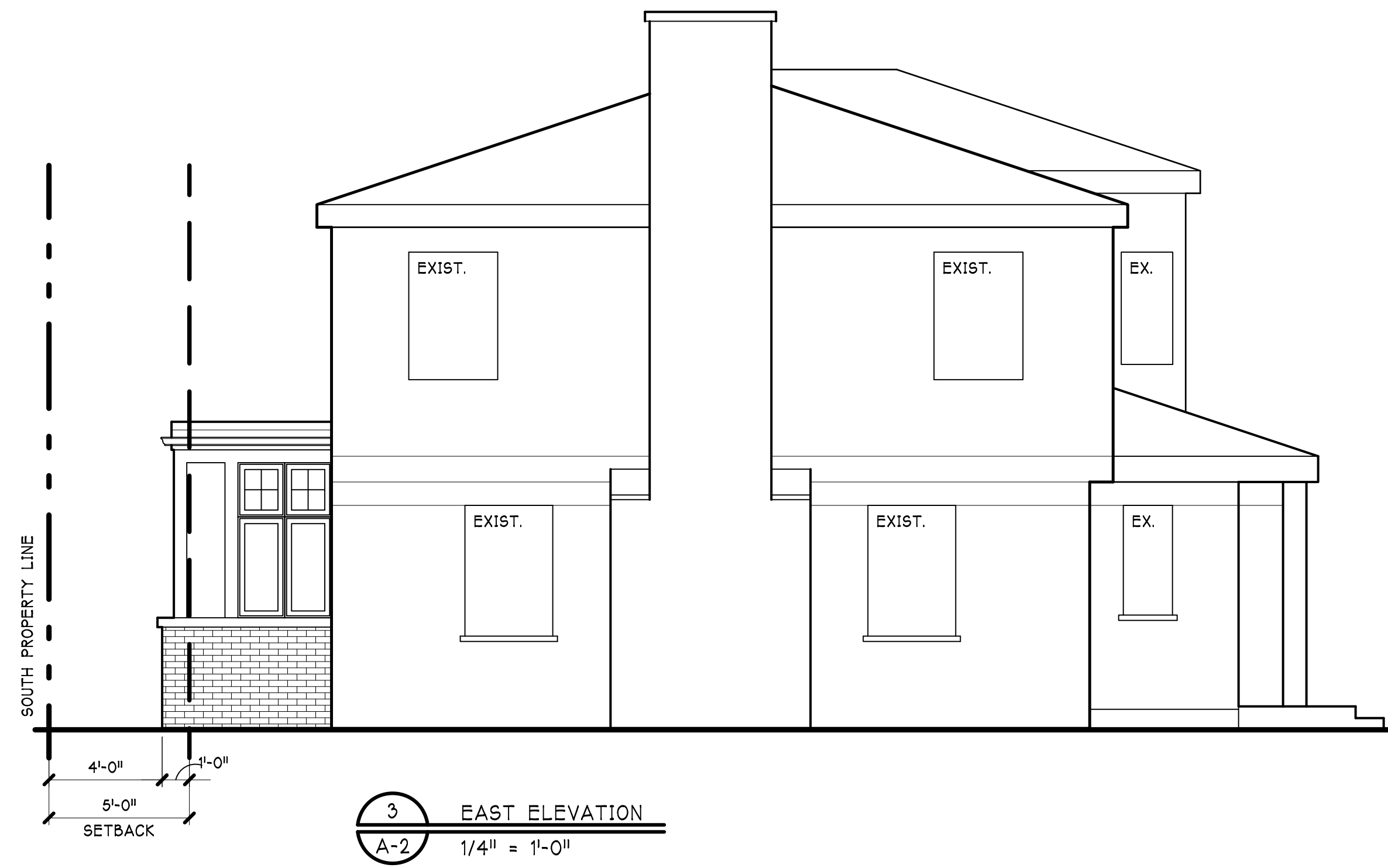
Date	Description
11/25/25	ZBA



1 SOUTH ELEVATION
 A-2 1/4" = 1'-0"



2 WEST ELEVATION
 A-2 1/4" = 1'-0"



3 EAST ELEVATION
 A-2 1/4" = 1'-0"

RECEIVED

FEB - 5 2026

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Tim and Teresa Geisler
608 S. Newbury Place
Arlington Heights, IL 60005
[REDACTED]
[REDACTED]

February 4, 2026

Dear Members of the Zoning Board, Village of Arlington Heights

We are writing in support of the zoning application submitted by our neighbors Iona and Jeff House, owners of the property located at 611 E. Fairview Street, Arlington Heights, IL 60005. We have reviewed the proposed plans for their home expansion and are fully in favor of the project. As the immediate neighbors to the south, our homes are in close proximity, and our kitchen windows currently face one another directly. The proposed addition would thoughtfully address this condition and improve privacy for both our properties. Additionally, the proposed elevation is in keeping with the existing character of the home and the surrounding neighborhood. The scale and design of the project appear well considered and would have little to no impact on our property.

For these reasons, we support the request and appreciate the Board's consideration of this application.

Sincerely,

Teresa Geisler



Tim Geisler





VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

**Zoning Board of Appeals
2/9/2026**

Item: 907 W. Braeside Dr. - ZBA25-052
Department: Planning & Community Development

Item Description:

REQUEST

1. A 2.02-foot variation from Chapter 28, Section 5.1-3.3(c) (Required Minimum Yards – Exterior Side Yard) to allow a building addition to be setback 24.42-feet where a setback of 26.44-feet is required.
2. A 16.7-foot variation from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards – Rear Yard) to allow a building addition to be setback 13.3-feet where a setback of 30-feet is required.

ATTACHMENTS:

1. 907 W Braeside Dr_2-9-26

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: February 9, 2026
Date Prepared: January 7, 2026
Project Title: Brennan Residence
Address: 907 W. Braeside Dr.

Background Information

Petition Number: ZBA #25-052
Petitioner: Sean James Brennan & Crista K. Gerzevski
Address: 907 W. Braeside Drive, Arlington Heights, IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The petitioner is proposing an 829 square-foot family room addition in the rear (east) yard of the property along with an extension of the existing porch in the exterior side (north) yard. The property is a corner lot, therefore, the yard adjacent to N. Kennicott Avenue is considered the front yard as it is the shorter of the two corner lot frontages. The architectural design of the proposed addition and front porch extension have been reviewed and approved administratively by Village Staff pending the approval of required variances by the ZBA through a Design Commission application. The addition encroaches 16.7-feet into the required 30-foot rear yard setback and the front porch extension of an added portico encroaches 2.02-feet into the required 26.44-foot exterior side yard setback. Therefore, the petitioner is requesting the following variations:

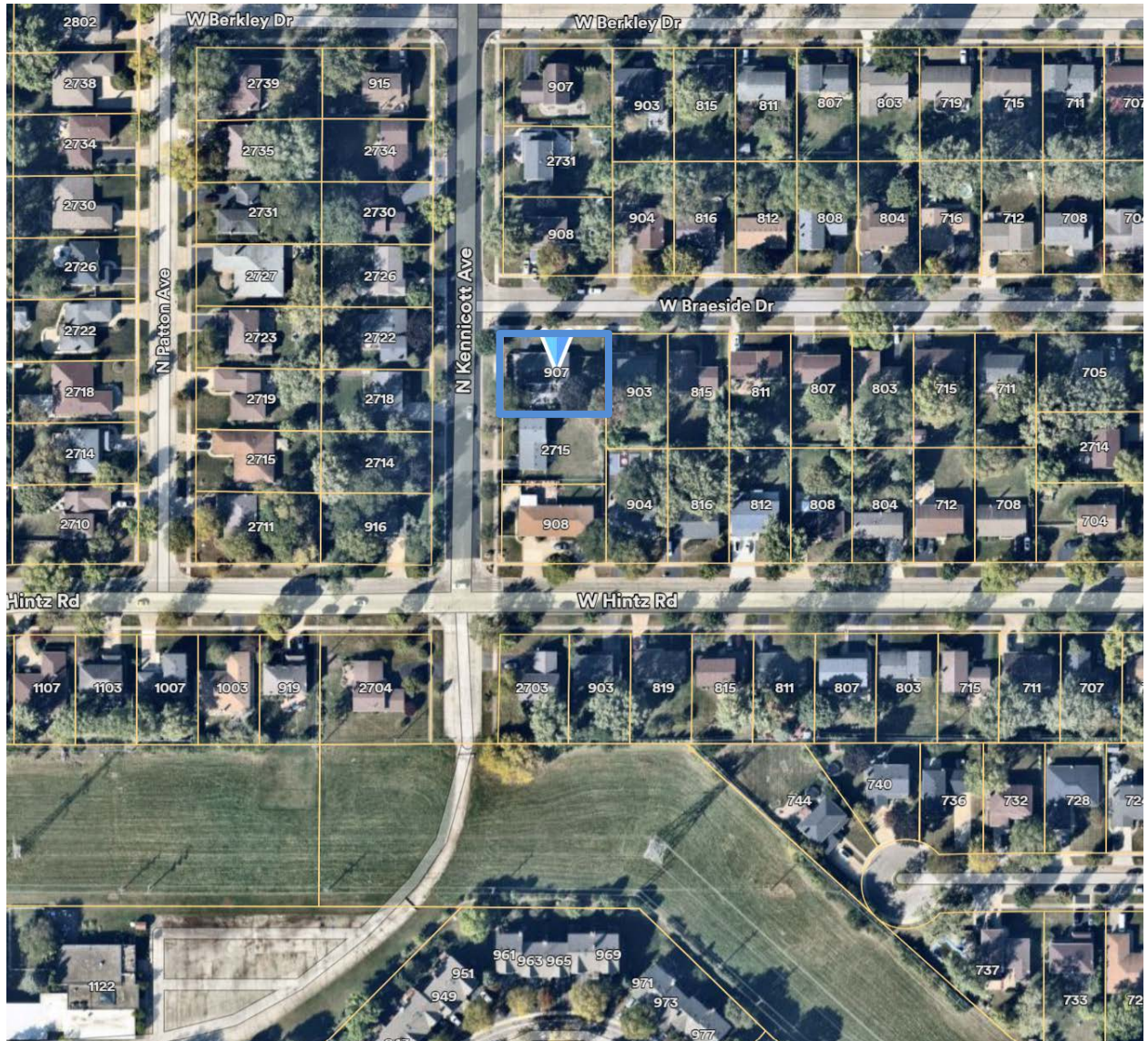
- A 2.02-foot variation from Chapter 28, Section 5.1-3.3(c) (Required Minimum Yards – Exterior Side Yard) to allow a building addition to be setback 24.42-feet where a setback of 26.44-feet is required.
- A 16.7-foot variation from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards – Rear Yard) to allow a building addition to be setback 13.3-feet where a setback of 30-feet is required.

It should be noted that one (1) letter in opposition to the proposal was received on Tuesday, January 6, 2026 and is included with this report.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/26/26	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/26/26	
3. Letter that was Mailed	✓	12/26/26	
4. Photographs of Sign on Property	✓	12/26/26	

Photographs of Existing Structure



NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, February 9, 2026, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 2.02-foot variation from Chapter 28, Section 5.1-3.3(c) (Required Minimum Yards – Exterior Side Yard) to allow a building addition to be setback 24.42-feet where a setback of 26.44-feet is required.
- A 16.7-foot variation from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards – Rear Yard) to allow a building addition to be setback 13.3-feet where a setback of 30-feet is required.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planningmail@yah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 11 in Block 11 in Berkley Square Unit 3, a Subdivision of part of the southeast quarter of Section 7, Township 42 North, Range 11 East of the Third Principal Meridian, in Cook County, Illinois.

Commonly known as: 907 W. Braeside Drive, Arlington Heights, IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@yah.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals

Published in Daily Herald January 24, 2026 (319544)

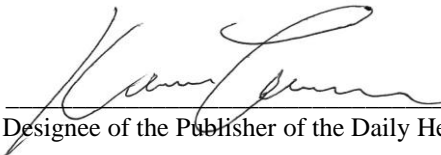
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 01/24/2026 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY  _____
Designee of the Publisher of the Daily Herald

Control # 319544



Village of Arlington Heights



To: Rose Medina; Trevor Rohn – Icon Building Group
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-052
Project: 907 W. Braeside Drive
Date: January 7, 2026

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 2.02-foot variation from Chapter 28, Section 5.1-3.3(c) (Required Minimum Yards – Exterior Side Yard) to allow a building addition to be setback 24.42-feet where a setback of 26.44-feet is required.
- A 16.7-foot variation from Chapter 28, Section 5.1-3.3(d) (Required Minimum Yards – Rear Yard) to allow a building addition to be setback 13.3-feet where a setback of 30-feet is required.

If you have any questions, please contact dosoba@vah.com:

Planning and Community Development – Steve Hautzinger

1. Overall, the proposed design is nicely done, which will enhance the exterior appearance of the home. A Design Commission application has been received, which is favorable for an Administrative (Staff) design approval, pending the outcome of the ZBA review.

Building and Life Safety – Alex Kang

1. No comments.

Engineering – Joe Munno

1. No comments.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Sean James Brennan & Crista K. Gerzevski
being the owner of the property commonly know as: 907 W Braeside Dr, Alington Heights, IL 60005
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a
Variation from Section 5.4

Chapter 28, of the Arlington Heights Municipal Code, in order to: reduce the required 30' rear setback to the proposed 13' from the current 30'. The exterior side setback also does not meet the average setbacks.

We would like a reduction to add a front portico. I will submit separately a list of 9 addresses along with the measured setbacks and the average.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): The addition will not negatively impact light, air, or privacy to my neighbors surrounding my property. The warmth and elegance of the addition and new portico on the main door will aesthetically improve our corner. At the moment my property sits looking small in scale in comparison.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): my house was built prior to current zoning standards, and on a corner, which treats my sides as front and back, and the back and front as the sides. The structure is small in scale, no basement, so I need to add to it for more family space. My house, though smaller one in the surrounding area is located closer to the side which is the front.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): The variation supports the overall intent of the zoning ordinance by allowing the property to be used in a reasonable and functional manner while maintaining appropriate separation between other existing structures: ensuring safety, light, air, aesthetics, and protecting neighboring properties.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): Reducing the back setback by only 17' on the addition, and by 2' from the current exterior side setback to add 9" of stoop from where my current stoop ends on the front, for our new portico.

Signed: _____

Date: 11/26/2025

Petitioner

Letter of Intent for Variance
907 W. Braeside Dr, Arlington heights, IL 60004

Village of Arlington Heights
Dept. of Planning and Community Development
Request for Variance

To Whom It May Concern:

This Letter of Intent is in support of our request for a variance to the rear yard setback requirement and exterior side yard setback on our corner lot. The intention is to build an 829 sq ft family room addition to increase our living space and extend the existing porch by 9” to add a portico for protection from the elements and to compliment the architecture of the addition. This follows Section 5 of the Zoning Ordinance calculations with proposed Principal Structure Floor Area at 2,519 under the 4,262 Total Allowed, and 2,519 Building Lot Coverage under the Total Allowed of 3,196.

Due to the position of our home and the orientation of the home on the lot, the 30’ setback that is standardly at the rear of a home is on the side of our home. This variance would match the orientation of the surrounding homes on our block facing Braeburn.

Our home is smaller than the surrounding homes. The family room addition will make our home more comparable to those in the neighborhood. The porch extension and portico create balance and proportion to the home and creates cohesion with the addition and existing home.

We love our home and our neighborhood and are making intentional improvements to enhance our lives and to enhance our home and property.

Respectfully Submitted,

Crista K. Gerzeski and Sean James Brennan
(Homeowners)

PLAT OF SURVEY

LOT 11 IN BLOCK 11 IN BERKLEY SQUARE UNIT 3, A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

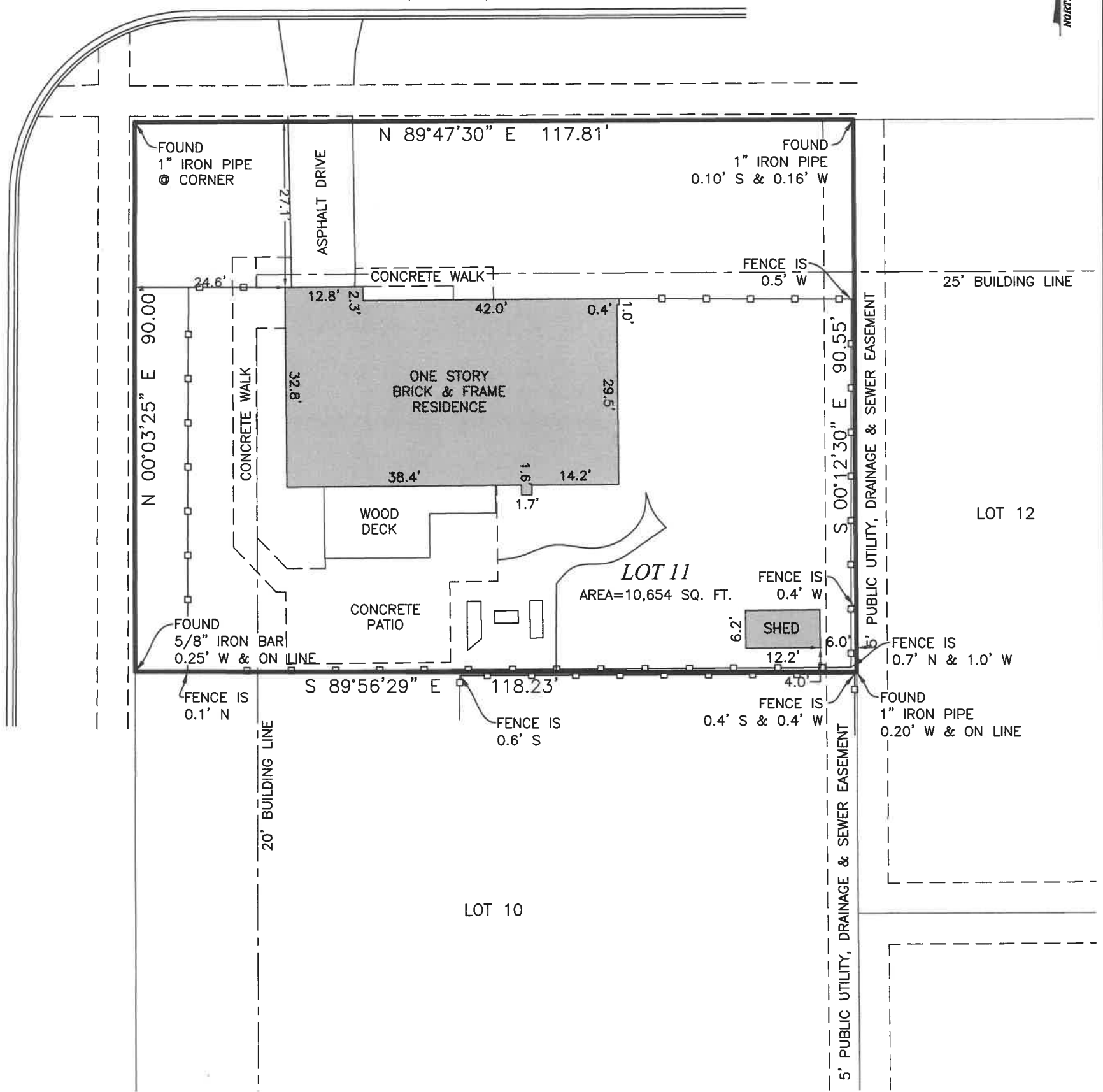


BRAESIDE DRIVE

(66' ROW)

KENNICOTT AVENUE

(80' ROW)



GENERAL NOTES

1. COMPARE THE DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND REPORT ANY DIFFERENCE IMMEDIATELY.
2. THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE.
3. BEARINGS SHOWN HEREON ARE ASSUMED.
4. ALL DISTANCES SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.
5. FIELD WORK COMPLETED 10/23/2025.
6. PREPARED FOR ICON BUILDGIN GROUP.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF McHENRY)SS

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER MY HAND AND SEAL AT WOODSTOCK, ILLINOIS, THIS 27TH DAY OF OCTOBER, A.D., 2025.

BY: *Chad D. Howard*

ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3552
LICENSES EXPIRE NOVEMBER 30, 2026.
PROFESSIONAL DESIGN FIRM 184.006160



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MERIDIAN
Land Surveying Co.
2547 APPLEWOOD LANE
WOODSTOCK, IL
(815)861-3135

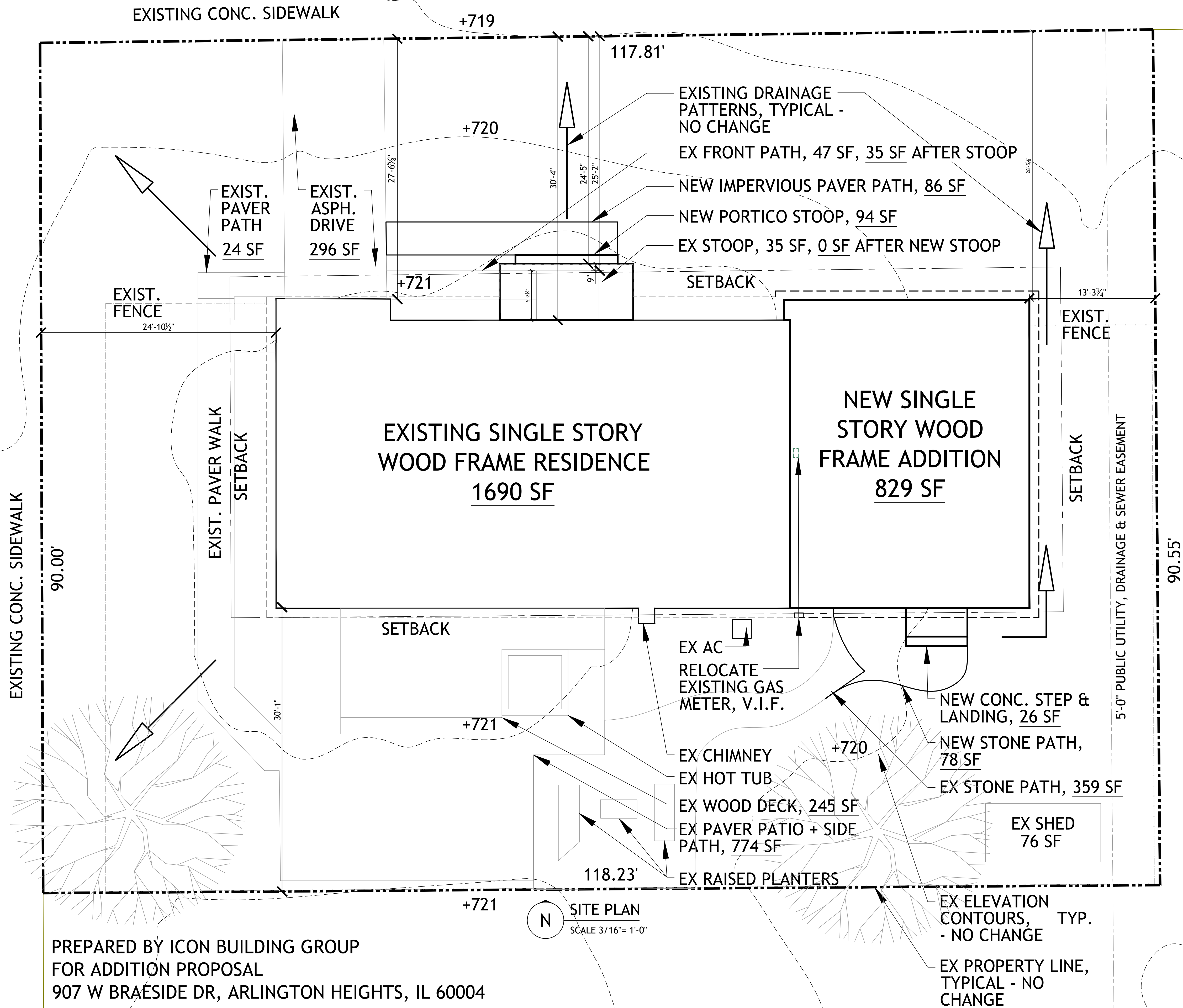
907 BRAESIDE DRIVE
ALGONQUIN, IL

PROJECT NO. 25-347
DATE 10/27/25
SCALE 1"=20'
DRAWN BY : CDH
CHECKED BY : CDH

PAGE
1
OF
1

KENNICOTT AVENUE

SITE PLAN

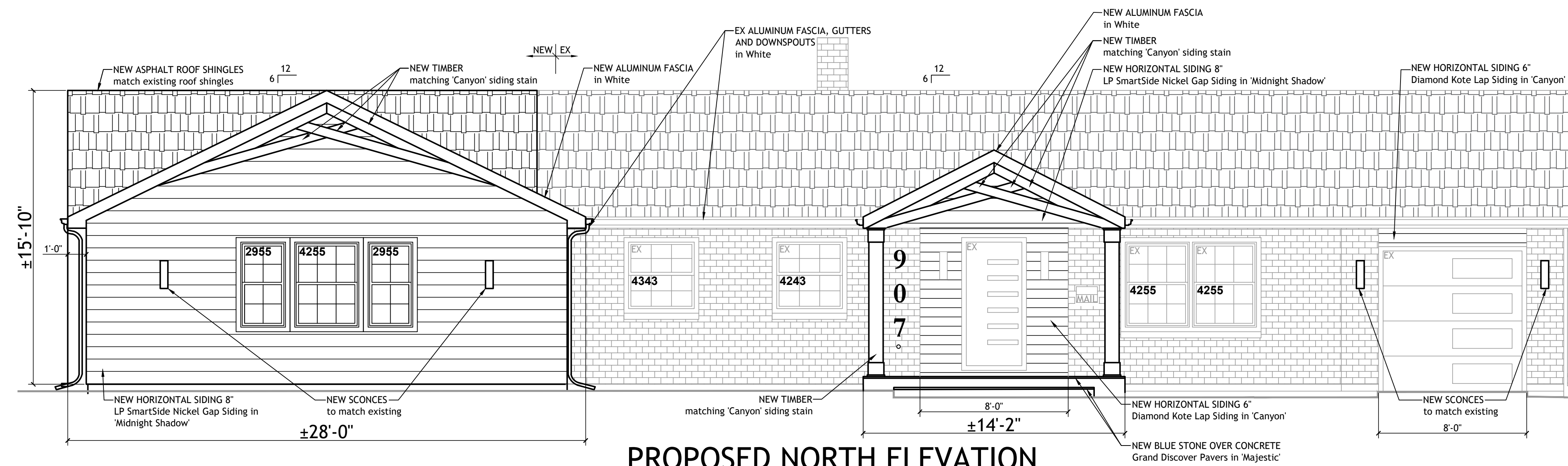


PREPARED BY ICON BUILDING GROUP
 FOR ADDITION PROPOSAL
 907 W BRAESIDE DR, ARLINGTON HEIGHTS, IL 60004
 OCTOBER 23RD, 2025

N
 SITE PLAN
 SCALE 3/16" = 1'-0"

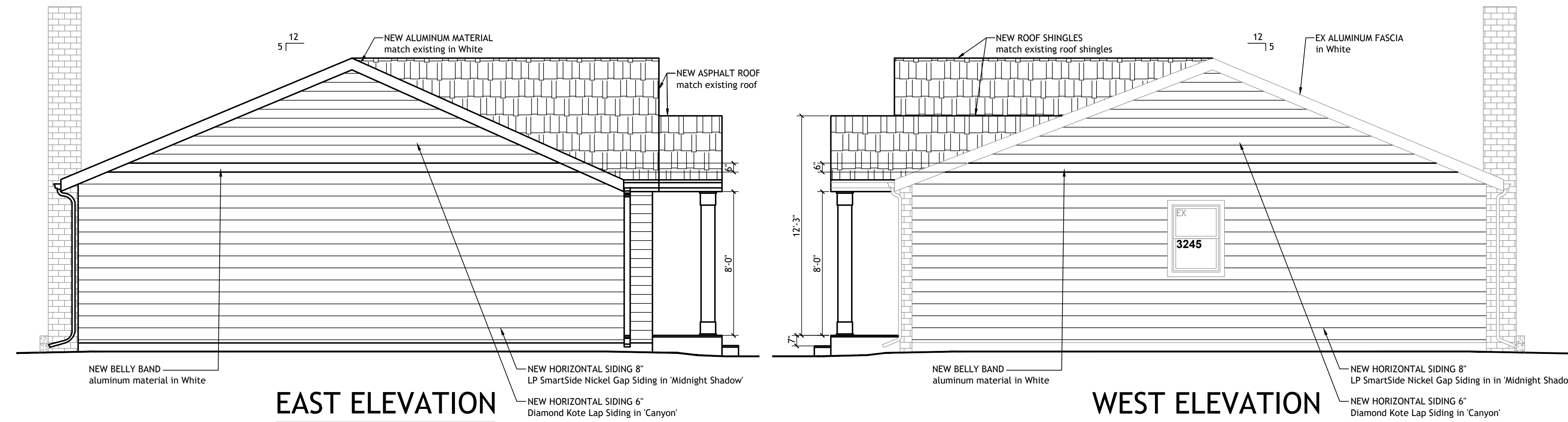
PREPARED BY ICON BUILDING GROUP
FOR ADDITION PROPOSAL
907 W BRAESIDE DR, ARLINGTON HEIGHTS, IL 60004
NOVEMBER 26TH, 2025





PROPOSED NORTH ELEVATION

SCALE 1/4" = 1'-0"

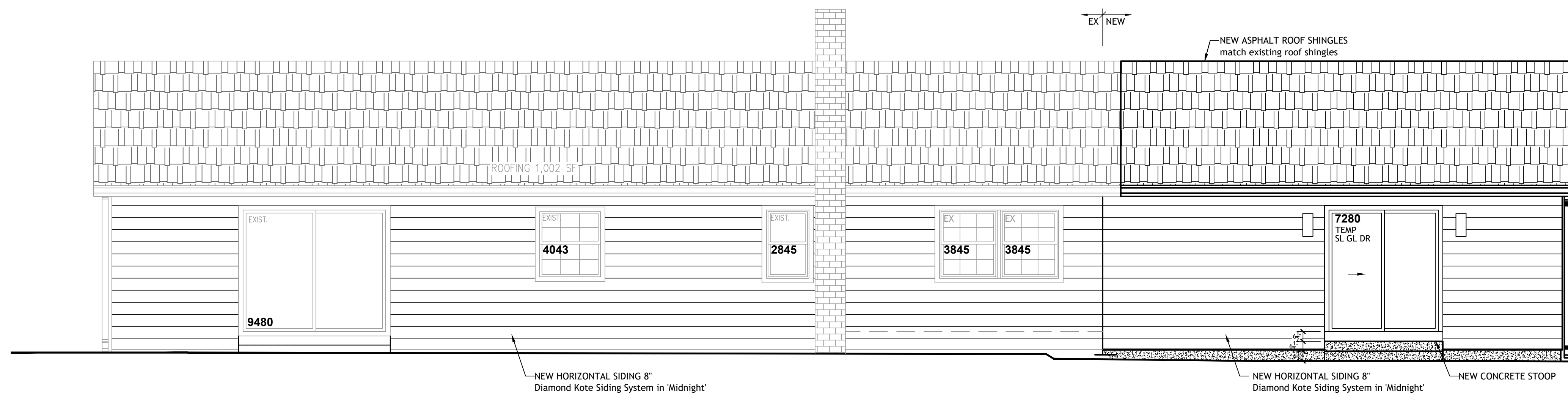


EAST ELEVATION

SCALE 1/4" = 1'-0"

WEST ELEVATION

SCALE 1/4" = 1'-0"

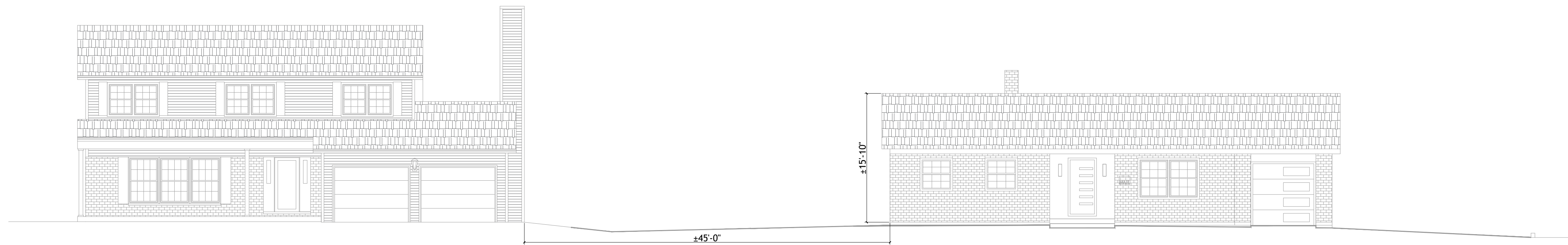


SOUTH ELEVATION

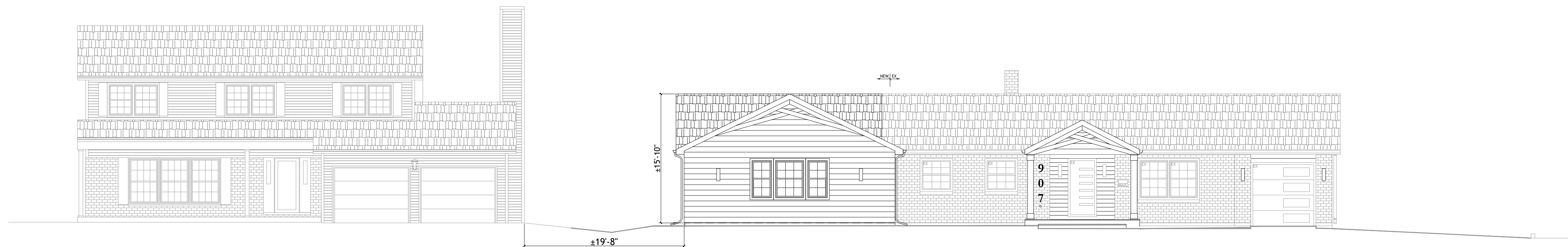
SCALE 1/4" = 1'-0"

PROPOSED ELEVATIONS

PREPARED BY ICON BUILDING GROUP
 FOR ADDITION PROPOSAL
 907 W BRAESIDE DR, ARLINGTON HEIGHTS, IL 60004
 OCTOBER 23RD, 2025



EXISTING CONTEXT ELEVATION
SCALE 1/8" = 1'-0"



PROPOSED CONTEXT ELEVATION
SCALE 1/8" = 1'-0"

PREPARED BY ICON BUILDING GROUP
FOR ADDITION PROPOSAL
907 W BRAESIDE DR, ARLINGTON HEIGHTS, IL 60004
OCTOBER 23RD, 2025

CONTEXT ELEVATION

Sample Material Schedule

907 W Braeside Dr., Arlington Heights, IL 60004

Item	Material	Manufacturer	Color
Brick	Clay	*Existing*	Painted Midnight Blue
Roof	Asphalt Shingles	Match Existing	Dark Grey - Match Existing
Siding 8" Brushed Smooth	Engineered Wood	LP Smartsiding Nickel Gap	Midnight Shadow
Siding 6" Cedar Textured	Engineered Wood	Diamond Kote Lap Siding	Canyon
Gutters/Trim/Fascia	Aluminum	Standard	White
Windows	Vinyl	White Vinyl	White
Portico Floor Tiles	Stone	County Materials Corporation	Majestic
Pavers	Stone	County Materials Corporation	Majestic
Columns	Timber	Standar Lumber	Canyon Matching
Decorative Gable Truss	Timber	Standar Lumber	Canyon Matching
Stone Path	NY Bluestone Chips	Schwake Stone	Blue stone

SAMPLE MATERIAL BOARD

907 W BRAESIDE DR., ARLINGTON HEIGHTS, IL 60004



ROOFING: ASPHALT SHINGLES
MATCH EXISTING COLOR



FASCIA: ALUMINUM
COLOR: BLACK



GUTTERS: ALUMINUM
COLOR: BLACK



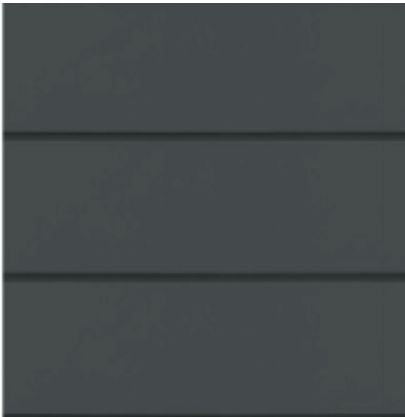
EXISTING BRICK: PAINTED
COLOR: MIDNIGHT



WINDOW: VINYL
COLOR: WHITE



TIMBER FOR EXTERIOR
TRUSSES IN LUMBER
COLOR: MATCH CANYON STAIN



SIDING: LP SMARTSIDE NICKEL
GAP ENGINEERED WOOD 8"
COLOR: MIDNIGHT SHADOW



SIDING: DIAMOND KOTE LAP
SIDING ENGINEERED WOOD 6"
COLOR: CANYON



PAVERS: COUNTY MATERIALS
STONE
COLOR: MAJESTIC



PATH: SCHWAKE STONE
COLOR: NY BLUESTONE CHIPS



Property to Right 3

811 W Braeside Dr



Property to Right 2

815 W Braeside Dr



Property to Right 1

903 W Braeside Dr



Subject Property

907 W Braeside Dr



Property Behind

2715 N Kennicott Ave



Property Adjacent 3

2718 N Kennicott Ave



Property Adjacent 2

2722 N Kennicott Ave



Property Adjacent 1

2726 N Kennicott Ave

W BRAESIDE DR

Property Across 3

816 W Braeside Dr



Property Across 2

904 W Braeside Dr



Property Across 1

908 W Braeside Dr



N KENNICOTT AVE

January 6, 2026

To the Planning and Community Development Department of the Village of Arlington Heights

In regards to the request for variances by the homeowners of 907 W. Braeside Drive

From Carol and Gary Elliott, 804 W. Braeside Drive

In our opinion allowing such a large variance from the AH Municipal Code sets a serious precedent that homeowners can do as they please and pay no attention to the village codes. These homeowners have already been allowed to break village codes recently by erecting a tall fence around their property. Now if these variances are allowed, other neighbors will be encouraged to do as they please with their homes and yards with no regard to their neighbors and to the overall unity of the neighborhood.

The Berkley Square neighborhood is known for its good-sized yards and appropriate spacing of homes. The neighborhood has a unified appearance that adds to the value of each property. Each property loses market value when neighbors are allowed to do as they please. These homeowners bought the smallest house in the neighborhood on a corner lot. If they want such a larger house as these variances request, they should move to a larger house.

Respectfully submitted,

Carol and Gary Elliott